

# *True Grit Home Inspection*

## Property Inspection Report



110 Ardsley Square Pl, Spring, TX 77382  
Inspection prepared for: Gailee Montgomery  
Real Estate Agent: Merrily Thompson -

Date of Inspection: 12/29/2021 Time: 2:00 PM  
Age of Home: 2001 Size: 2542  
Weather: 80F Cloudy  
122921JL2  
Home, WDI

Inspector: Justin Labardini  
TREC 24900  
Phone: 832/422-8440  
Email: [justin@truegrithomeinspection.com](mailto:justin@truegrithomeinspection.com)  
[truegrithomeinspection.com](http://truegrithomeinspection.com)





Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

TRUE GRIT HOME INSPECTION, PLLC. SERVICE AGREEMENT  
**THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT**

BETWEEN YOU THE CLIENT AND TRUE GRIT HOME INSPECTION, PLLC. , ITS SUBSIDIARIES,  
AND ALL SUBCONTRACTORS SCHEDULED OR ARRANGED THROUGH US

**PLEASE READ CAREFULLY**

1. **SCOPE OF THE INSPECTION:** The inspector will perform a general, non-Invasive limited visual ("eyeball") inspection of the property structure at the address listed below to provide Client(s) with a written opinion as to the apparent general condition of the structure(s) components and systems at the time of the inspection. The inspection will be performed in a manner consistent with the "Standard of Practice" and "Code of Ethics" of "TREC" Texas Real Estate Commission and prepare a written report of the apparent condition of the readily accessible systems and components of the Property unless otherwise indicated existing at the time of the inspection. A copy of these Standards are readily available to the Client(s) at:

[http://www.trec.state.tx.us/inspector/rules\\_governing\\_inspectors.asp](http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp)

Only systems and components that can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector will be inspected. Latent and concealed defects and deficiencies are excluded from the inspection, and Inspector is not liable for latent and concealed defects and deficiencies. Any area which is not exposed to view, concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings or other things, or areas/items which have been excluded by "TREC" Texas Real Estate Commission standards and/or by the agreement of the parties is not included in this inspection. The inspection does not include any destructive testing or dismantling. In the event that the property is a part of a condominium unit, such inspection will not include any other connected or external portions of a multi-unit building or any common areas covered by a joint use agreement or considered common areas.

2. **STANDARDS OF PRACTICE:** The parties agree that the Standards of Practice "TREC" Texas Real Estate Commission shall define the standard of duty and the conditions, limitations, scope, and exclusions of the inspection and are incorporated by reference herein.

3. **CLIENT'S DUTY:** Client agrees to read the entire report when it is received and promptly call the Inspector with any question or concern regarding the inspection or written report. The written report shall be the final exclusive findings of the Inspector. In the event client becomes aware of a reportable condition which was not reported by the Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said condition(s) before making any repair, alteration, or replacement.

4. **FURTHER EVALUATION:** Client acknowledges and agrees that the Inspector is a generalist and that further investigation of a reported condition by an appropriate certified licensed specialist may provide additional information that may affect a Client(s) decision to purchase the home. Client should seek further evaluation from licensed professionals regarding the deficiencies identified in the written report. Inspector is not liable for Client(s) failure to further investigate reported deficiencies.

5. **CHANGE IN CONDITION(S):** The parties agree and understand that conditions of systems and components may change between the inspection date and the time of closing. It is the Client's responsibility to further investigate before closing and the Inspector is not liable for any changes of conditions.

6. **NOT A WARRANTY:** The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components, or systems inspected. Client(s) understand that the inspection and inspection report does not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, expressed or implied, or insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law. **INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE PRESENT OR FUTURE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM, THE PRESENCE OR ABSENCE OF LATENT OR HIDDEN DEFECTS THAT ARE NOT REASONABLY ASCERTAIN IN A COMPETENTLY PERFORMED HOME INSPECTION, OR THE REMAINING USEFUL LIFE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY.**

7. **NOT AN APPRAISAL:** The Inspection will not include an appraisal of the value or a survey of building and/or property lines. This inspection or the inspection report may not be construed as an appraisal or survey and may not be used as such for any purpose.

8. **NOT A COMPLIANCE INSPECTION:** This inspection or inspection report is NOT a code compliance inspection or certification for past or present governmental codes or regulations.

9. **INSURABILITY:** The inspection or inspection report does not determine whether the property is insurable.

10. **THIRD PARTIES AND SUBROGATION:** The inspection and written report are performed and prepared

for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against the Inspector, its employees or agents, arising out of the services performed by the Inspector under this Agreement, or claims alleging in whole or part any negligent act or omission of the Inspector, the Client agrees to indemnify, defend, and hold harmless Inspector from any and all damages, expenses, costs, and attorney fees, arising from such a claim.

11. **LIMITATION OF LEGAL ACTION:** The parties agree that any legal action must be brought within one (1) year from the date of the inspection(s), or will be deemed waived and forever banned.

12. **LIABILITY:** The parties agree that True Grit Home Inspection, PLLC. and its employees and its agents assume no liability or responsibility for cost of repairing or replacing any defects specified in the written report, as well as no liability for the costs of further evaluation or investigation of the defects specified in the written report. Further, the parties agree and understand that the Inspector and its employees and its agents assume no liability for the costs of repairing or replacing any of the unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. In the event of a claim by the Client that an installed system, or component of the premises which was inspected by the inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. If repairs or replacement are done without giving the Inspector the required notice, the Inspector will have no liability to the client. Client agrees that prior to taking any action, legal or otherwise, Client shall: submit a written claim to Inspection Company within 10 days of the deficiency discovery to P.O. Box 2108, Tomball TX 77377. The written claim shall describe the suspected deficiency. Allow the Inspection Company, their agent or legal representative to perform a re-inspection of the deficiencies stated in the claim. Agree to not to disturb or repair the disputed item prior to a re-inspection except in cases where injury or subsequent property damage may occur.

13. **DISPUTES AND ARBITRATION** In the event a dispute arises regarding an inspection that has been performed under this service agreement, Client(s) agree to notify True Grit Home Inspection, PLLC. within ten (10) days of the time of discovery to give True Grit Home Inspection, PLLC. a reasonable opportunity to re-inspect the property and resolved the dispute amicably. Upon the request of either party, all unresolved disputes relating to this agreement shall be submitted for arbitration in accordance with (AAA) American Association of Arbitrators and pursuant to the Federal Arbitration Act then in effect with costs shared equally. This provision shall be specifically enforceable and damages for breach of this provision shall include but not limited to court costs and attorney's fees. Client agrees that True Grit Home Inspection, PLLC. and its agents' liability, if any, shall be limited to the amount of the inspection fee paid for inspection. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to, negligence.

14. **SEVERABILITY:** If any court of competent jurisdiction determines that any section, provision or part of this Agreement is void, unenforceable, or contrary to Texas law, the remaining sections of this Agreement shall remain in full force and effect.

15. **DAMAGES:** If the inspection company or any of its employees, agents, providers, officers, members, or shareholders, are found to be liable for any claim or damage due to the alleged negligence or willful misconduct of the Inspection company performing the home inspection or in the reporting on the condition of the property in the inspection report, **THE MAXIMUM DAMAGE THAT THE CLIENT CAN RECOVER SHALL NOT EXCEED THE COST OF THE INSPECTION FEE PAID BY THE CLIENT.** The Inspection Company shall not be liable to the Client for any loss of use of the property, repair or replacement cost, consequential or punitive damages or for attorneys' fees or court costs. The Inspection Company shall not be liable to the Client for any claims, loss or damage if the Client alters, tampers with or repairs or replaces the condition which is the subject matter of the Client's claim before the Inspection Company has had an opportunity to inspect the alleged defective condition.

16. **CLIENT UNDERSTANDS:** The integrity and moisture content of framing and sheathing behind finished wall coverings (exterior siding, stucco, cement stone coverings, fiber cement siding, drywall, interior bath and shower tile walls, etc) is not visible to inspect and beyond the scope of our services and is excluded within our services and is excluded within our inspection and inspection report. The lack of proper detailing and flashing may result in water penetration behind siding resulting in water penetration and structural damage which True Grit Home Inspection, PLLC makes no guarantee, warranty, or implied in the inspection or inspection report.

17. **EXPERT TESTIMONY / LITIGATION FINANCIAL COMPENSATION CLAUSE:** In the event our services are needed at any time in the future as expert testimony or in a litigation case, client agrees at this time / in advance to financially compensate this firm for it's time and services. Terms: Non-refundable retainer of \$2,500.00 upfront, Hourly rate of \$175.00 for any activities on our part for your case, including but not limited



to; deposition, phone time, research, court time, travel time portal to portal, review of case prior to court appearance, etc. Balance due invoiced weekly, submitted Friday, payable the next Friday

18. RE-INSPECTIONS: True Grit Home Inspection, PLLC does not normally conduct re-inspection services. We are not in the business of certifying the workmanship and/or warranting another company's repair work. Receipts and/or warranty for work performed should be obtained from the company or companies who have provided repairs. In the event a re-inspection is performed it is agreed to in advance that True Grit Home Inspection, PLLC does not assume responsibility of any kind for another company's work.

19. LIMITATION AND EXCLUSION CLAUSE: The Client expressly acknowledges and agrees that the following are not included in the scope of the inspection and the inspection report and further acknowledges that the Inspector makes no representations or warranties as to them. THE FOLLOWING SYSTEMS, ITEMS, AND CONDITIONS WHICH ARE NOT WITHIN THE SCOPE OF THE BUILDING INSPECTION INCLUDE BUT ARE NOT LIMITED TO: recreational, leisure, playground or decorative equipment or appliances including but not limited to pools, hot tubs, saunas, steam baths, landscape lighting, fountains, shrubs, trees, and tennis courts. Cosmetic conditions wallpapering, painting, carpeting, scratches, scrapes, dents, cracks, stains, soiled or faded surfaces on the structure, equipment or component, soiled, faded, torn, or dirty floor, wall or window coverings, etc. Noise pollution or air quality. Earthquake hazard, flood plain certification, liquefaction, soil, retaining walls, slide potential, wave action and hydrological stability, soil and earth measurements and stability, seismic safety, code and zoning, engineer level analysis, underground utilities, sink hole potential, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, mildew, fungi, other environmental hazards, pest infestation, security systems, fire protection systems, sump pumps, household appliances, humidifiers, paint, other treatment windows, interior walls, ceilings and floors, water purification systems, (ozone generator/saltwater, etc), underground storage tanks, energy efficiency measurements, motion or photo electric sensor lighting, concealed or private security systems, water wells, all over flow drains, heating system's accessories, solar heating systems, heat exchangers, wood burning stoves, sprinkler systems, water softener or purification systems, central vacuum systems, telephone intercom or cable TV systems, internet connections and cable connections, antennae, lightning arrestors, load controllers, governing codes, permits, ordinances, statues, and covenants, and manufacturer specifications, recalls, EIFS, Chinese drywall and tainted materials, plasterboard, sheet rock, gypsum board, latent and concealed defects, and manufactured stone veneer, culture stone siding, fiber cement siding, flues or chimneys, coal stoves, water leaks, water intrusion, design and architect problems, circuit breaker operation, fireplace drafting, boundaries egress and ingress, quality of materials, private sewage, wattage and wiring, electromagnetic field, non-built in appliances, rodents, ants, birds, or other wood boring organisms, security locks and devices, thermostat and gauges. Client understands that these systems, items, and conditions, are excepted and excluded from this inspection and Inspection report. Any general comments about these systems, items, and conditions of the written report are informal only and DO NOT REPRESENT AN INSPECTION.

20. THIRD PARTY SERVICE PROVIDERS: YOUR INSPECTOR MAY HAVE AN AFFILIATION WITH A THIRD PARTY SERVICE PROVIDER ("TPSP") IN ORDER TO OFFER YOU ADDITIONAL VALUE-ADDED SERVICES. BY ENTERING INTO THIS AGREEMENT YOU (A) AUTHORIZE YOUR INSPECTOR TO PROVIDE YOUR CONTACT INFORMATION (INCLUDING TELEPHONE NUMBER) TO THE TPSP, (B) WAIVE AND RELEASE ANY RESTRICTIONS THAT MAY PREVENT THE TPSP FROM CONTACTING YOU (INCLUDING BY TELEPHONE USING AUTOMATED DIALING TECHNOLOGY), AND (C) AUTHORIZE THE TPSP TO CONTACT YOU (INCLUDING BY TELEPHONE) REGARDING SPECIAL HOME ALARM SYSTEM OFFERS.

21. PERSONAL SAFETY: We are not responsible for another participant's personal safety during the inspection process. Client, their representative's, or others participation shall be at his/her own risk for falls, injuries, property damage, etc. We reserve the right to refuse service to anyone for any reason.

22. This Agreement, including the terms and conditions on all pages, represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties.

23. ACKNOWLEDGMENT: the undersigned has reviewed this document, understands its content and agrees to the terms and conditions contained. The client further represents and warrants that he or she has full and complete authority to execute this contract on behalf of any spouse or significant other, and to fully bind any spouse or significant other to all terms, conditions, exclusions and limitations of this agreement.

**If after walking thru the property with the inspector, if you are in anyway dissatisfied with the services provided by True Grit Home Inspection, PLLC., you are under no obligation to pay the inspection fee, but the inspection report will not be delivered. State "three-day right to cancel" may apply.**

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Slab Foundation

Comments:

- It is my opinion that the foundation is performing as intended, but may still have some deficiencies.
- Corner pop noticed. Corner sections of the foundation are not supported as much as rest of foundation. This is not typically an issue, but take notice if cracks begin to form in bricks or mortar above corner pop.



Corner pop noticed. Corner sections of the foundation are not supported as much as rest of foundation. This is not typically an issue, but take notice if cracks begin to form in bricks or mortar above corner pop.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Grading and Drainage
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Comments:

- Heavy debris in gutters. These should be cleaned to provided good water flow away from house.
- Damaged and bent gutters.



I=Inspected

NI=Not Inspected

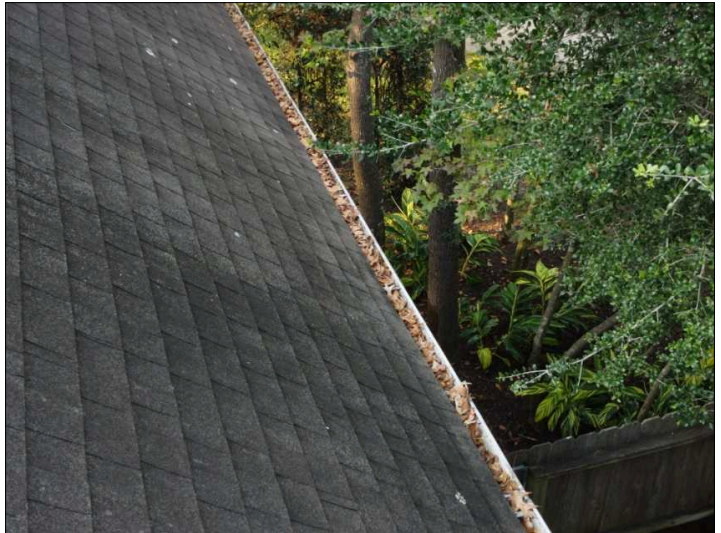
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Damaged and bent gutters.



Heavy debris in gutters. These should be cleaned to provided good water flow away from house.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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C. Roof Covering Materials

Type(s) of Roof Covering:

- Composition shingles noted. (25-30 year total estimated life)

Viewed From:

- Ariel Images

Comments:

- Missing kick out flashing to divert water away from house or areas of possible damage.
- Shingles are missing / torn
- Tree in contact with roof. Should remain clear to prevent damage.
- Satellite attached to house adds additional stresses to the roof deck and may cause leaks. Suggest removal and full sealant repairs.



Missing kick out flashing to divert water away from house or areas of possible damage.



Tree in contact with roof. Should remain clear to prevent damage.



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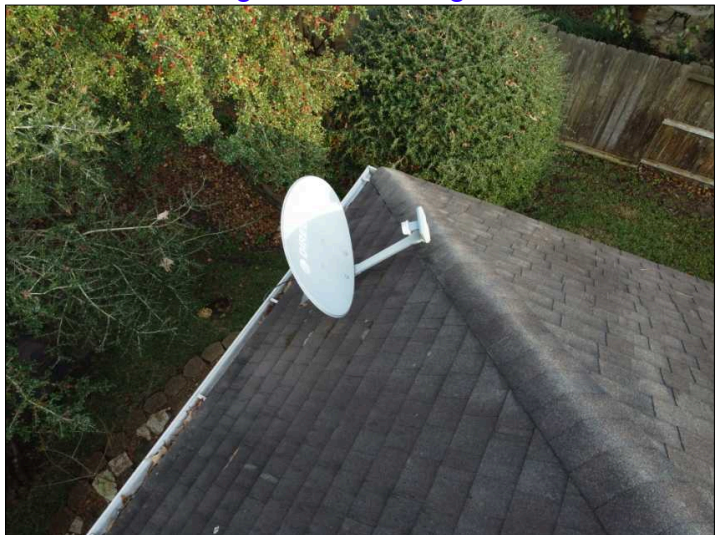
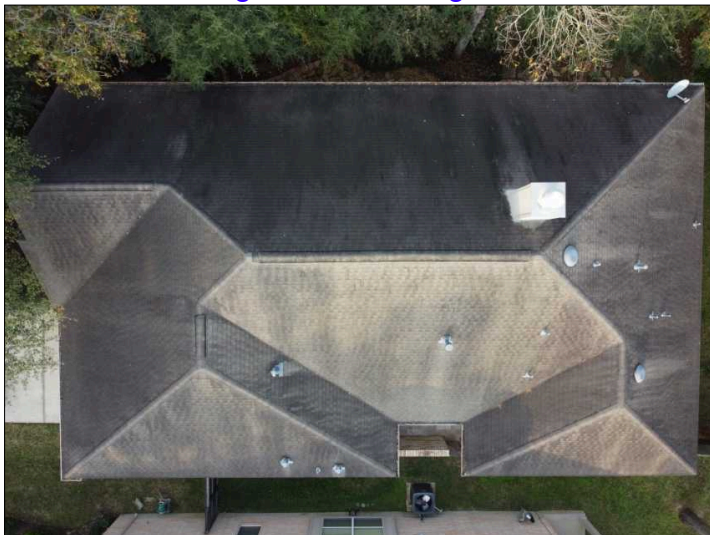
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Shingles are missing / torn



Shingles are missing / torn



Satellite attached to house adds additional stresses to the roof deck and may cause leaks. Suggest removal and full sealant repairs.



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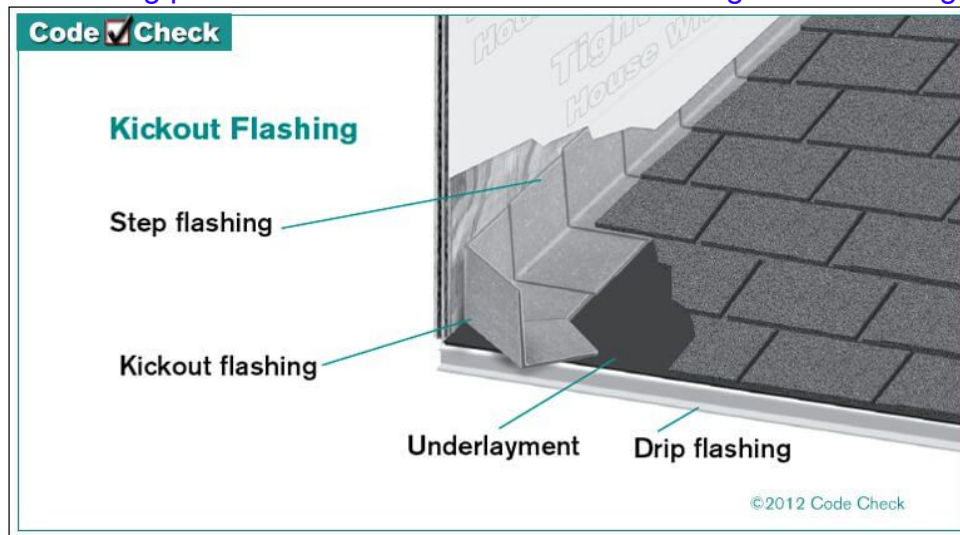
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Rust staining present.



Shingles are missing / torn



Sample Photo

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D. Roof Structure and Attics

Viewed From:

- Attic

Approximate Average Depth of Insulation:

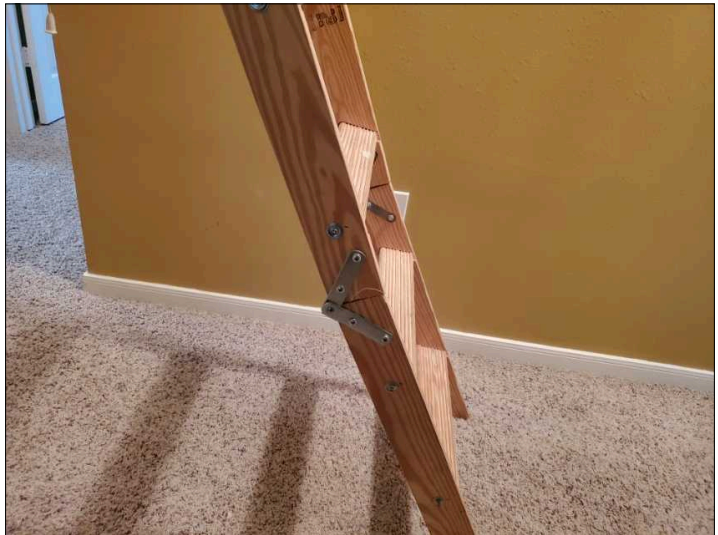
- Insulation is 10+ inches deep

Comments:

- Insulation type(s): Blown fiberglass
- Attic ladder has loose or damaged hardware. Suggest repairs prior to using access ladder.
- Attic access ladder is not cut to the correct length. Foot should sit flat on floor with all joints closed.
- Ladder should be secured with 16d nails where indicated by manufacture, not screws.
- Signs of either past or present rodent activity. Feces, urine, tunneling and / or bedding noted in attic.
- Split/Broken framing boards observed.



Attic ladder has loose or damaged hardware. Suggest repairs prior to using access ladder.



Attic access ladder is not cut to the correct length. Foot should sit flat on floor with all joints closed.



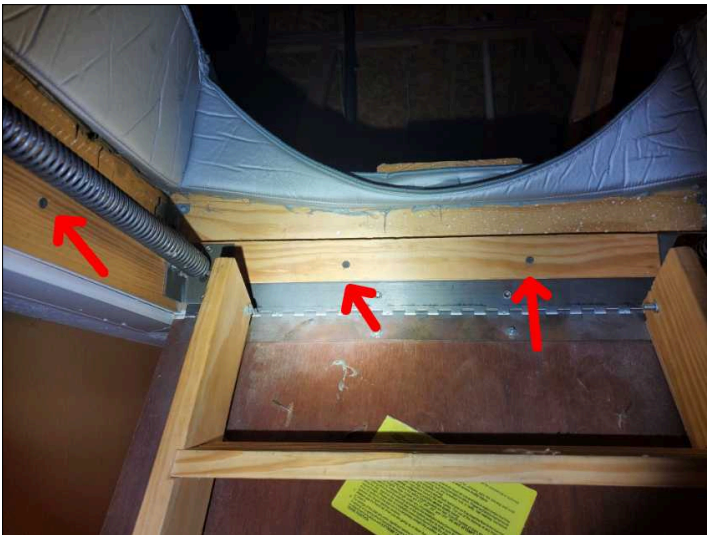
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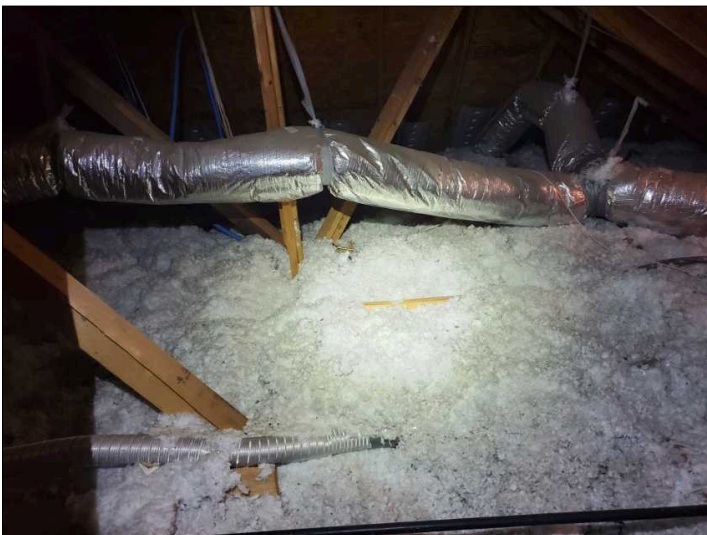
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Ladder should be secured with 16d nails where indicated by manufacture, not screws.



Signs of either past or present rodent activity. Feces, urine, tunneling and / or bedding noted in attic.



Insulation type(s): Blown fiberglass



Split/Broken framing boards observed.



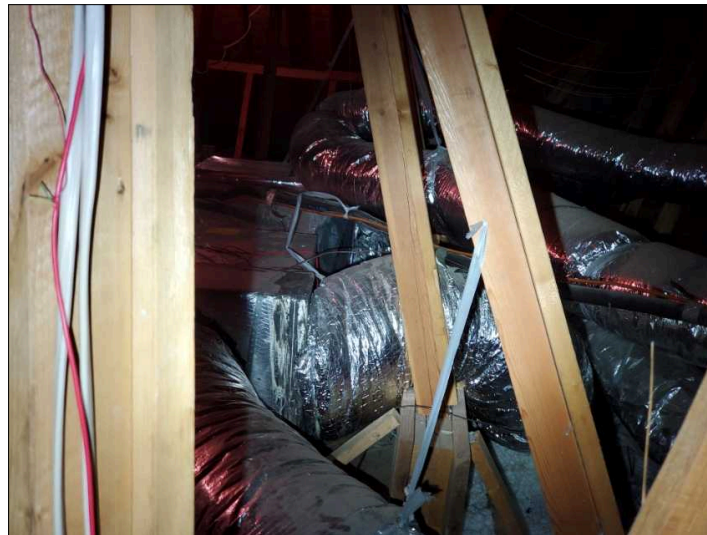
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Split/Broken framing boards observed.

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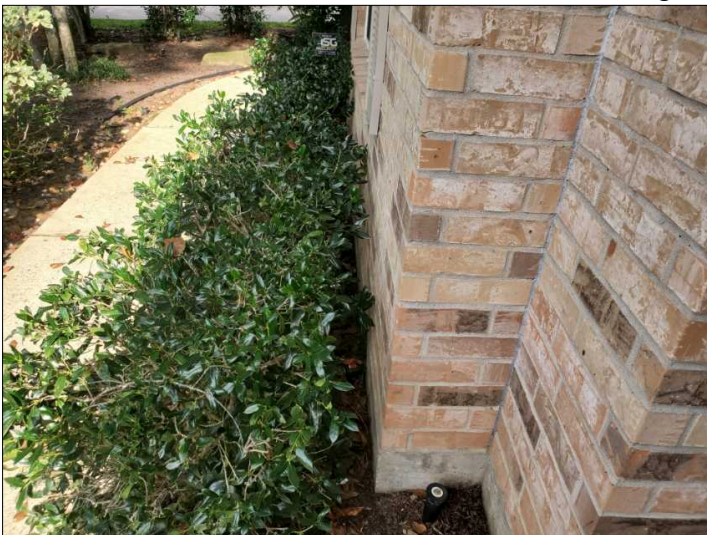
E. Walls (Interior and Exterior)

Wall Materials:

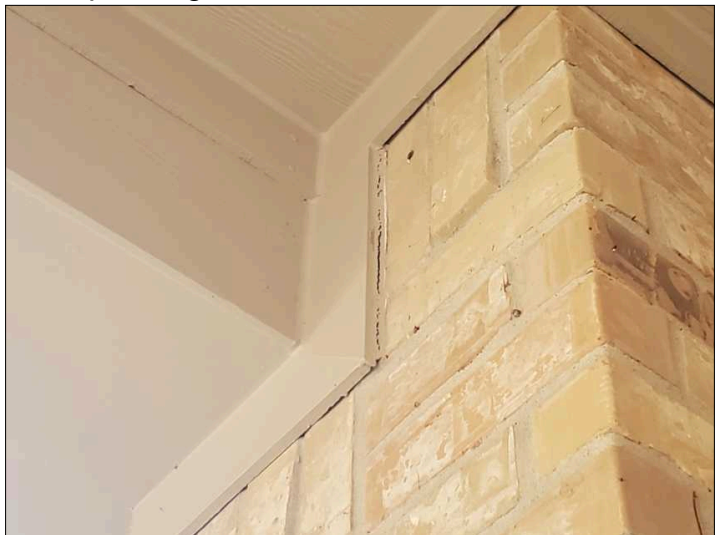
- Exterior walls are covered with cement fiber board. (Example: HardiePlank, LP Smartside, etc.)
- Exterior walls are made of brick
- Interior walls are made of Drywall

Comments:

- Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.
- Wood in contact with house.
- Recommend exterior siding weather proofing



Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.



Recommend exterior siding weather proofing

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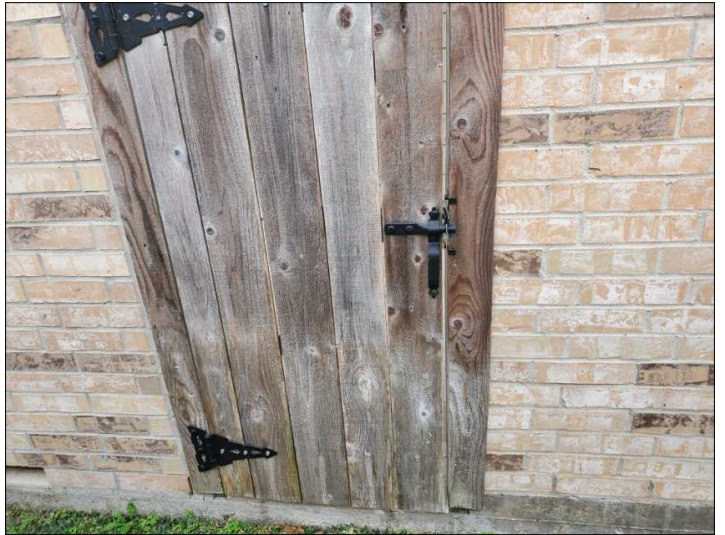
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Recommend exterior siding weather proofing



Wood in contact with house.

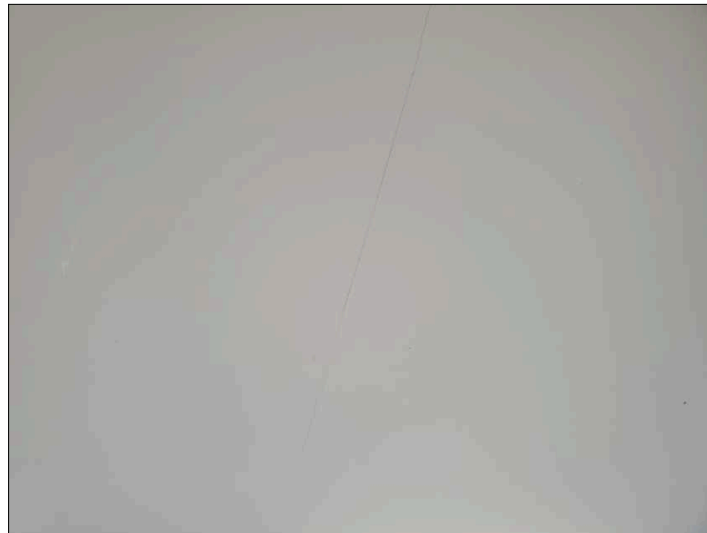
F. Ceilings and Floors

Ceiling and Floor Materials:

- Ceiling is made of drywall
- Floors have carpet on them.
- Floors have tile on them.

Comments:

- Cracks on ceiling noted.



Cracks on ceiling noted.

G. Doors (Interior and Exterior)

Comments:

- Missing door stops in a few locations. These help prevent wall damage.
- Garage door should have self-closing hinges that close door from wide open. Adjust hinge setting.



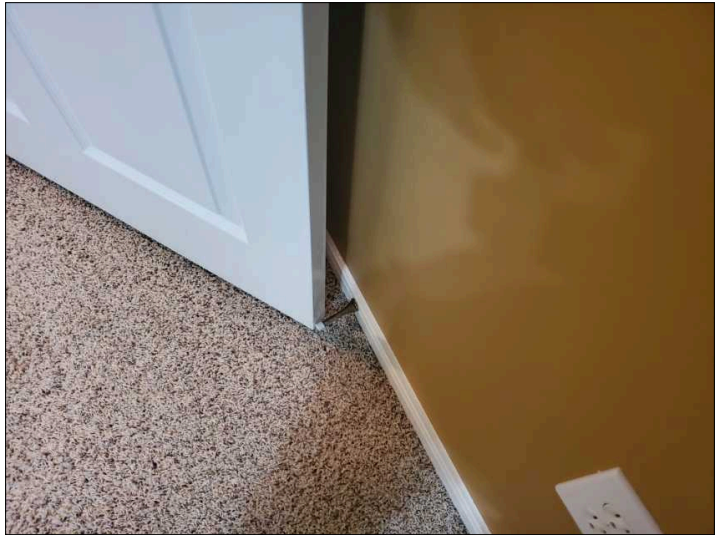
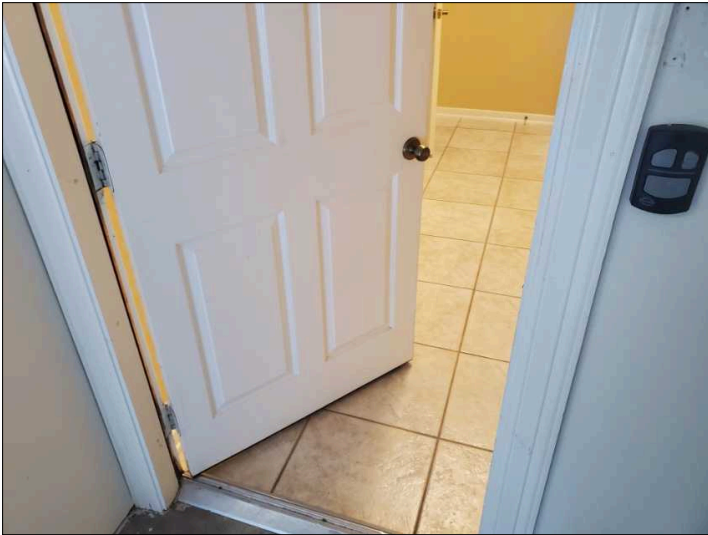
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Garage door should have self-closing hinges that close door from wide open. Adjust hinge setting.

Missing door stops in a few locations. These help prevent wall damage.

H. Windows

Window Types:

- Sliding windows.
- Stationary style windows
- Windows are single pane.
- Windows are made of aluminum
- Windows are made of glass blocks

Comments:

- Some windows trims in need of weather proofing (caulk).
- Missing / damaged screens noted.



Missing / damaged screens noted.



Some windows trims in need of weather proofing (caulk).

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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Stairways (Interior and Exterior)
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Comments:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J. Fireplaces and Chimneys
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Locations:

- Fireplace is located in the living room

Types:

- Fireplace has a gas powered log.

Comments:

- REMINDER: Open damper when using fireplace.
- Damper missing its damper clamp. This clamp keeps the damper from being fully closed, in the event fireplace is lit, and CO2 has chance to enter into house.



Damper missing its damper clamp. This clamp keeps the damper from being fully closed, in the event fireplace is lit, and CO2 has chance to enter into house.

REMINDER: Open damper when using fireplace.

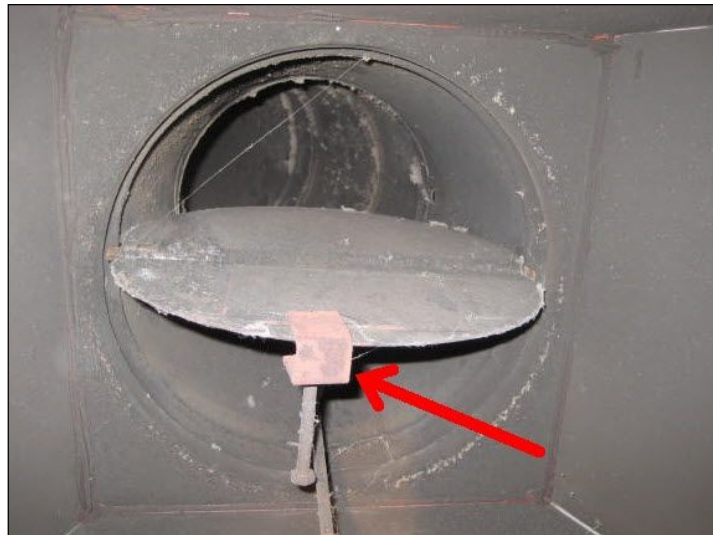
I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Sample Photo

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	K. Porches, Balconies, Decks, and Carports
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Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. Other
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Materials:  
Comments:

II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------------

Panel Locations:

- Service conductors enter underground from utilities.
- Electrical panel is located in the garage.

Materials and Amp Rating:

- Copper Service Entry Conductors
- 150 Amp Service Entrance

Comments:

- There are white wires in the panel that should be labeled as hot wires
- There are double tapped neutral wires in the panel. 2 or more "white" conductors under same lug on buss bar.
- Service entry lugs should be protected with barriers.
- Panels that attach to exterior walls should be sealed on top and sides, but not bottom.



I=Inspected

NI=Not Inspected

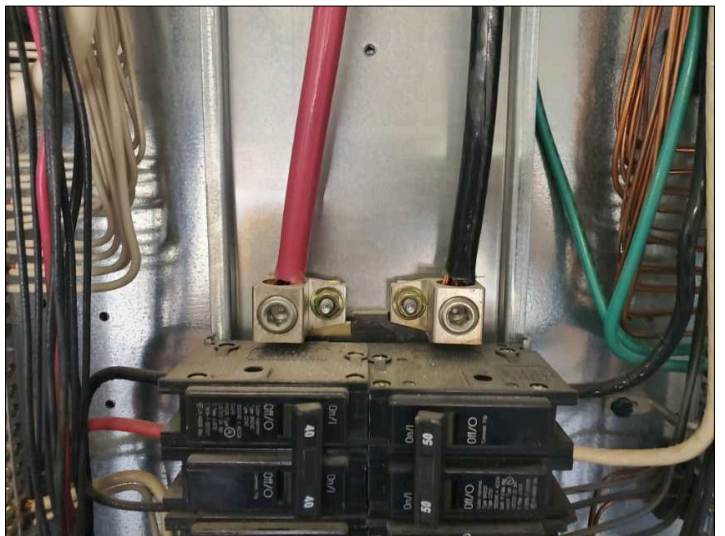
NP=Not Present

D=Deficient

I	NI	NP	D
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Panels that attach to exterior walls should be sealed on top and sides, but not bottom.



Service entry lugs should be protected with barriers.

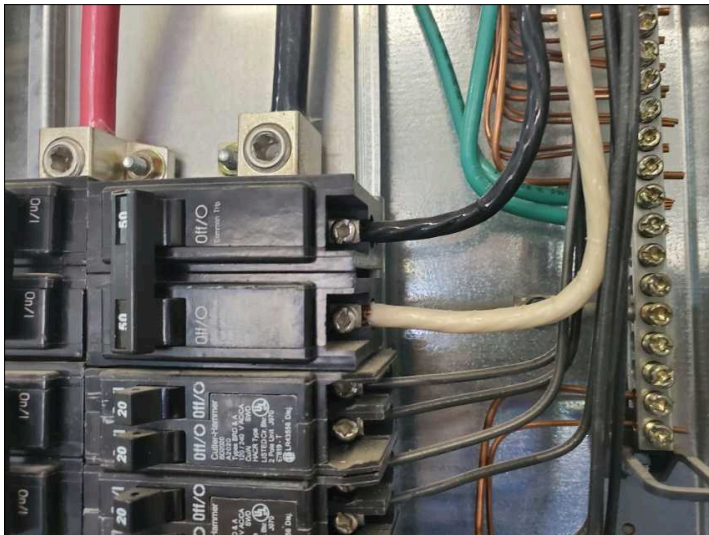
I=Inspected

NI=Not Inspected

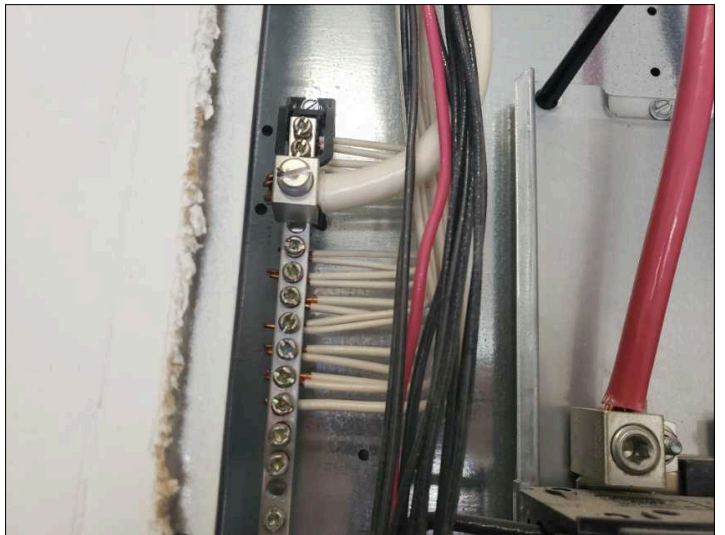
NP=Not Present

D=Deficient

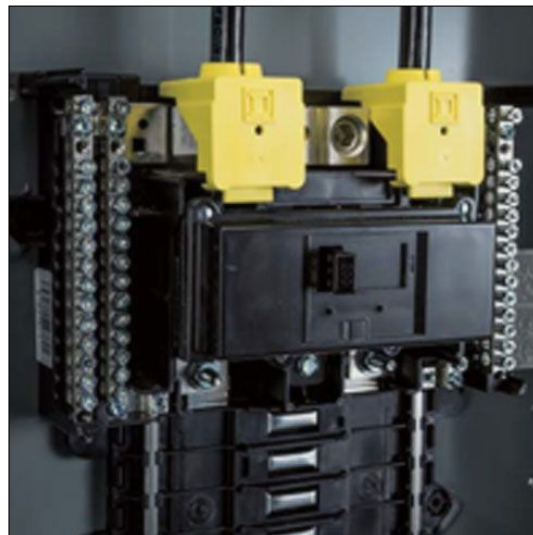
I	NI	NP	D
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There are white wires in the panel that should be labeled as hot wires



There are double tapped neutral wires in the panel. 2 or more "white" conductors under same lug on buss bar.



Sample Photo

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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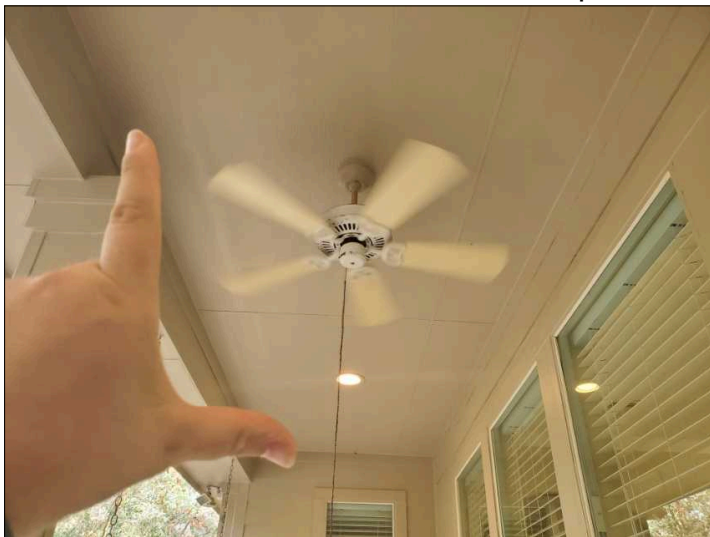
B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring
- 15 amp
- 20 amp
- 30 amp
- 40 amp
- 50 amp

Comments:

- Canned lights need minimum 3" clearance from insulation unless labeled otherwise. (Unable to verify label).
- All receptacles near "wet" locations should be **GFCI** protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.
- Open junction boxes and exposed wires found in attic space. Fire / shock hazard.
- Some lights / switches did not function at time of inspection.
- Loose receptacle found.
- Several outlets tested as "Open Neutral" These plugs should be evaluated and corrected / replaced.
- Fan wobbles at full speed.



Fan wobbles at full speed.



Some lights / switches did not function at time of inspection.



I=Inspected

NI=Not Inspected

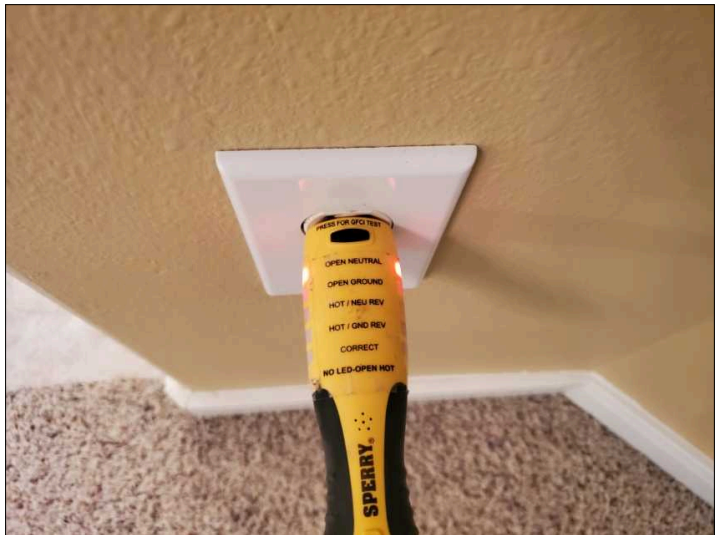
NP=Not Present

D=Deficient

I	NI	NP	D
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Some lights / switches did not function at time of inspection.



Several outlets tested as "Open Neutral" These plugs should be evaluated and corrected / replaced.



Some lights / switches did not function at time of inspection.



All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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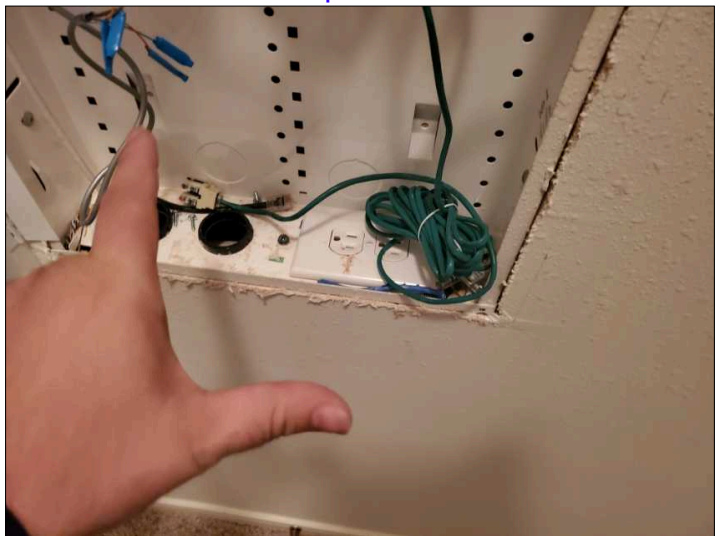
Loose receptacle found.



Some lights / switches did not function at time of inspection.



Some lights / switches did not function at time of inspection.



Loose receptacle found.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

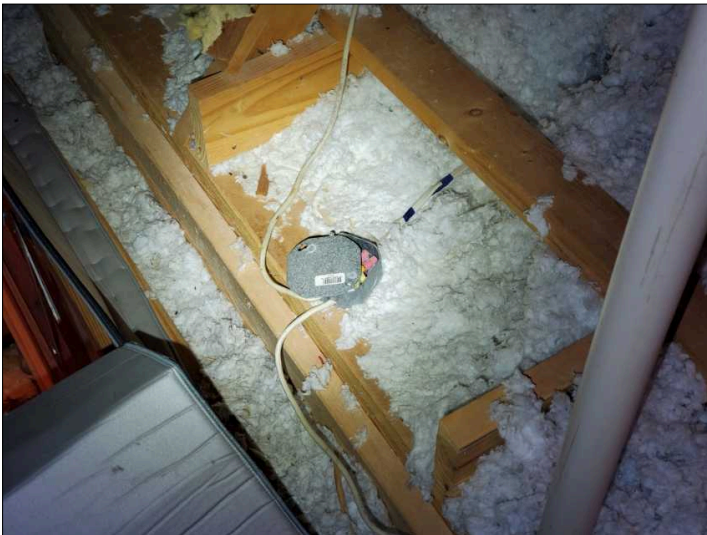
I	NI	NP	D
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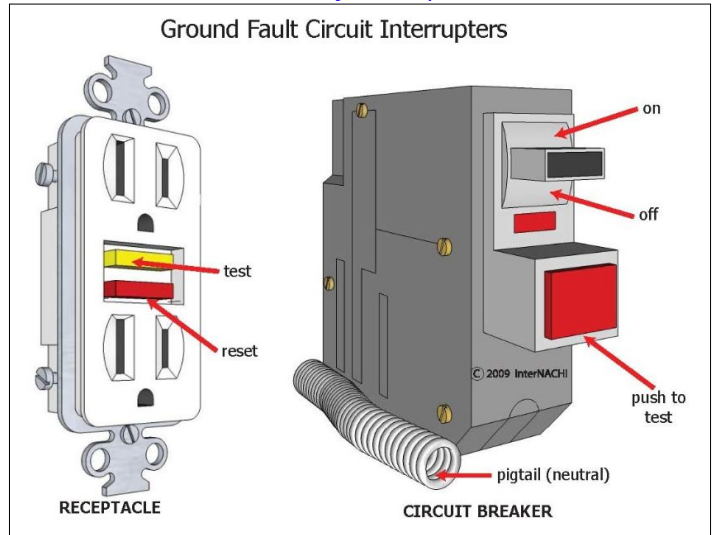
Loose receptacle found.



Canned lights need minimum 3" clearance from insulation unless labeled otherwise. (Unable to verify label).



Open junction boxes and exposed wires found in attic space. Fire / shock hazard.



Sample Photo

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

Type of Systems:

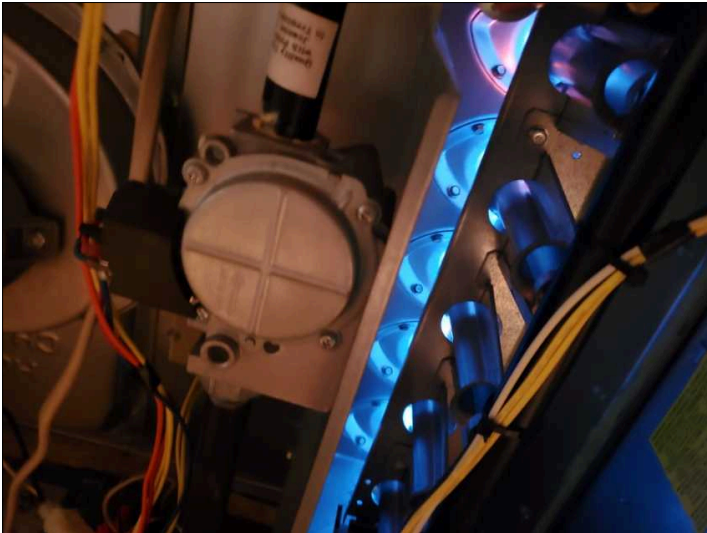
- Gas fired forced hot air.

Energy Sources:

- The furnace is gas/ fuel powered. 80% AFUE

Comments:

- Furnace visually inspected and checked.
- No marked service disconnect could be found at air handler unit.
- Rusted flue present. If rusting continues, it will allow combustion gasses such as carbon monoxide into the home.



Furnace visually inspected and checked.



No marked service disconnect could be found at air handler unit.

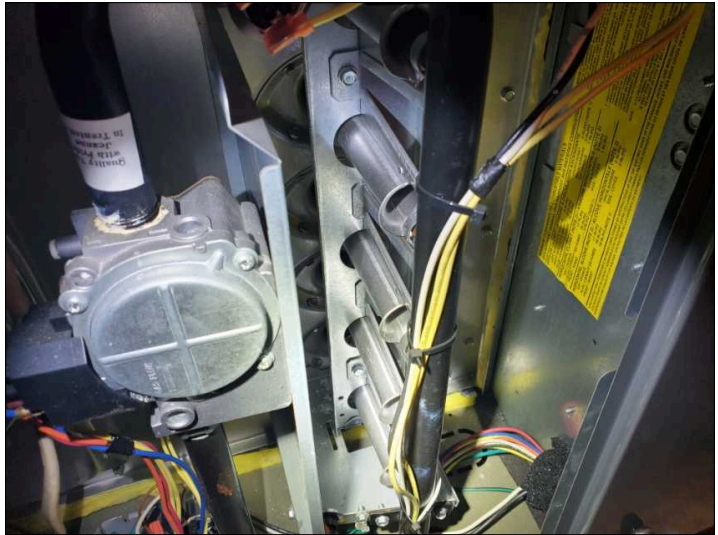


I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Rusted flue present. If rusting continues, it will allow combustion gasses such as carbon monoxide into the home.



Furnace visually inspected and checked.

<p>True U.S. Inc.                  Troy, IN 46069                  Assembled in USA</p>	<p>MODEL NO: T1U1C100A9H51BC                  SERIAL NO: 152048571G                  DATE OF MANUFACTURE: 5/2015</p>	<p>NUMERO DE MODELE:                  NUMERO DE SERIE:</p>
<p>CATEGORY I FORCED AIR FURNACE FOR INDOOR INSTALLATION ONLY IN A BUILDING CONSTRUCTED ON-SITE.                  ELECTRIC: 115 V, 60 HZ, 1 PH, MINIMUM SUPPLY CIRCUIT CONDUCTOR CAPACITY 14.8 AMPS, MAXIMUM OVERCURRENT PROTECTION DEVICE 30 AMPS                  FACTORY EQUIPPED WITH NO. 40 DRILL SIZE ORIFICE FOR NATURAL GAS HOURLY INPUT 100,000 BTU/HR (29.31 kW) AT 3.5" W.C. (0.87 kPa) MANIFOLD PRESSURE                  LOW INPUT: 87,000 BTU/HR (25.40 kW)                  MAXIMUM PERMISSIBLE GAS SUPPLY PRESSURE TO FURNACE 13.8" W.C. (2.43 kPa) FOR BOTH NATURAL GAS AND PROPANE                  MINIMUM GAS SUPPLY PRESSURE FOR PURPOSES OF INPUT ADJUSTMENT 5.0" W.C. (1.24 kPa) FOR NATURAL GAS OR 11.0" W.C. (2.48 kPa) FOR PROPANE                  MAXIMUM EXTERNAL STATIC PRESSURE HEATING: 0.50" W.C. (1.02 kPa)                  AIR TEMPERATURE RISE RANGE 30 °F TO 80 °F (17 °C TO 32 °C)                  DESIGN MAXIMUM OUTLET AIR TEMPERATURE 180 °F (71 °C) LIMIT SETTING 185 °F (85 °C) AT ELEVATIONS ABOVE 2000 FT. DERATE THE TOTAL &amp; MINIMUM INPUT 4 % PER 100 FT ABOVE SEA LEVEL.</p>		
<p>«CATEGORIE I GENERATEUR D'AIR CHAUD A AIR FORCE POUR INSTALLATION A L'INTERIEUR SEULEMENT.                  ELECTRIQUE: 115 V, 60 HZ, 1 PH, PUISSANCE D'ENTREE TOTALE MAXIMUM 14.8 A.                  DISJONCTEUR MAXIMUM CAPACITE 30 A.                  AGENCE A L'USAGE POUR LE GAZ NATUREL: L'ORIFICE EST IDENTIQUE AU TROU D'UN FORET N° 40.                  DEBIT CALORIFIQUE 100,000 BTU/HR (29,31 kW) A S.T. P.C.E. (0,87 kPa), PRESSION A LA TUBULURE D'ENTREE FAIBLE: 87,000 BTU/HR (25,40 kW) PUISSANCE MAXIMUM D'ALIMENTATION EN GAZ A CHAUDIERE: 13,8" P.C.E. (2,43 kPa) GAZ NATUREL ET GAZ PROPANE.                  PRESSION MINIMUM D'ALIMENTATION: 5,0" P.C.E. (1,24 kPa) POUR LE GAZ NATUREL ET LE GAZ PROPANE.                  PRESSION STATIQUE EXTERIEUR MAXIMALE: 0,50" P.C.E. (1,02 kPa)                  AJUSTEMENT DE TEMPERATURE DE L'AIR: 30 °F A 80 °F (17 °C A 32 °C)                  TEMPERATURE MAXIMALE DE L'AIR DE SORTIE: 180 °F (71 °C) LIMITE COUPE-CIRCUIT: 185 °F (85 °C) AUX ELEVATIONS AU-DESSUS DE 2000 M, DERATE LE TOTAL &amp; MINIMUM D'ENTREE 4 % PAR 30 M AU-DESSUS DU NIVEAU DE LA MER.</p>		
<p>CANADA: «THIS APPLIANCE IS EQUIPPED ONLY FOR ALTITUDES 0 - 4000 FT (0 - 1219 M). NO CHANGE IN ORIFICE SIZE OR ADJUSTMENT TO MANIFOLD PRESSURE REQUIRED. SEE THE INPUT RATING BELOW. «L'APPAREIL EST EQUIPE POUR DES ALTITUDES COMPRES ENTRE 0 ET 1219 METRES (0 - 1219 M). AUCUN CHANGEMENT DANS LA DIMENSION DE L'ORIFICE OU AJUSTEMENT DE LA PRESSION MANIFOLD N'EST REQUIS. VALERIEUR MINIMALE D'ENTREE CI-APRES.»</p>		
<p>NET WEIGHT: 100.00                  2-2000 FT (610 M) 23.31                  3000 - 4000 FT (914 - 1219 M) 23.38</p>	<p>INPUT/OUTPUT (BTU/HP) INPUT/OUTPUT (kW)</p>	<p>ETL LISTED                  Intertek                  3059934</p>
<p>MODEL NO: T1U1C100A151BC                  SERIAL NO: 152048571G</p>	<p>NUMERO DE MODELE:                  NUMERO DE SERIE:</p>	<p>ETL LISTED                  Intertek                  3059934</p>

Age: 2015



Rusted flue present. If rusting continues, it will allow combustion gasses such as carbon monoxide into the home.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Cooling Equipment

Type of Systems:

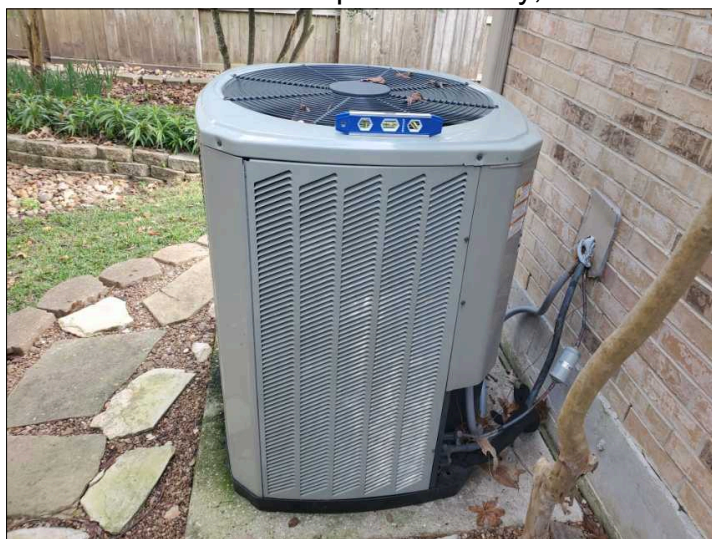
• Split Unit Size: 5 ton

Refrigerant: R410A

MFG Dates 2020 coil (inside); 2011 condenser (outside)

Comments:

- Light rust in condenser pan. Heavy rust may cause pan to leak. Recommend replacement or evaluation over time.
- Suggest the installation of a float switch in the pan to disconnect the power to the AC in the event of water in the pan.
- Coils could not be accessed without damage to seals.
- Secondary Drain line discharge location is over window. If water is seen coming from here, the primary may be stopped up. Contact HVAC service immediately to prevent possible damage.
- Exterior condensing unit should be resting level. Not currently level
- No secondary drain installed. This should drain into a catch pan if the primary is clogged.
- Missing locking refrigerant caps. These caps prevent tampering and possible chemical abuse.
- Temperature Delta is 15F. This is at the bottom of what is considered acceptable. Ideally, should be 18-22.



Exterior condensing unit should be resting level. Not currently level



Missing locking refrigerant caps. These caps prevent tampering and possible chemical abuse.



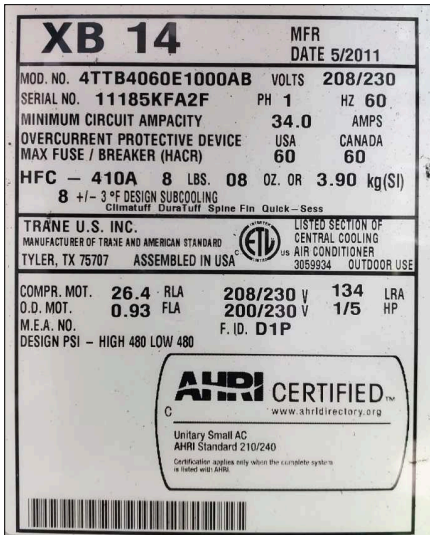
I=Inspected

NI=Not Inspected

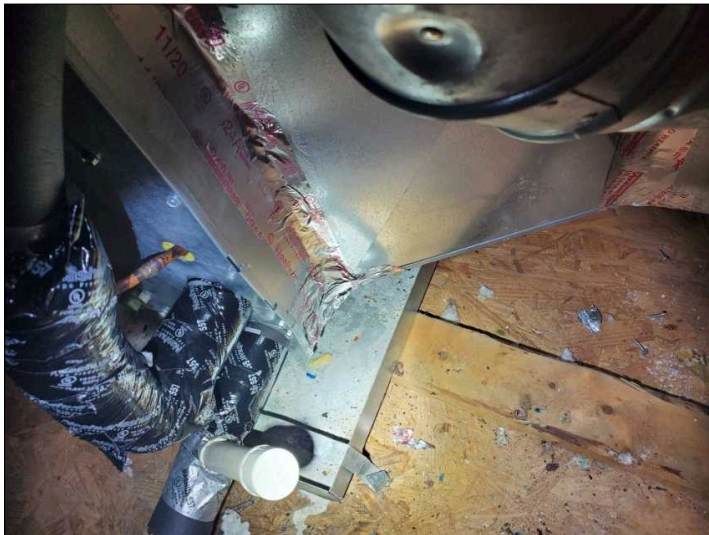
NP=Not Present

D=Deficient

I	NI	NP	D
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Light rust in condenser pan. Heavy rust may cause pan to leak. Recommend replacement or evaluation over time.



Suggest the installation of a float switch in the pan to disconnect the power to the AC in the event of water in the pan.

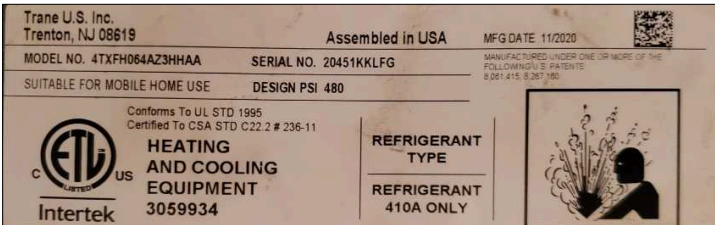


No secondary drain installed. This should drain into a catch pan if the primary is clogged.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Coils could not be accessed without damage to seals.

Temperature Delta is 15F. This is at the bottom of what is considered acceptable. Ideally, should be 18-22.

C. Duct Systems, Chases, and Vents

Comments:

- Flex ducting in contact with blown in insulation. This can cause mold growth. Flex ducting should be fully suspended.
- Flex ducting in direct contact with flex ducting. Possible condensation location. Moisture and microbial growth possible in these areas. Recommend spacing ducting so that not in contact with each other.
- Flexible ducting present. Flex ducting performs best with long bends and full suspension from ceiling.
- Change 1" filters every 30-60 days.
- Filter is dirty
- Registers are loose



Registers are loose



Change 1" filters every 30-60 days.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Filter is dirty



Flex ducting in contact with blown in insulation. This can cause mold growth. Flex ducting should be fully suspended.



Flexible ducting present. Flex ducting performs best with long bends and full suspension from ceiling.



Flex ducting in direct contact with flex ducting. Possible condensation location. Moisture and microbial growth possible in these areas. Recommend spacing ducting so that not in contact with each other.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution System and Fixtures

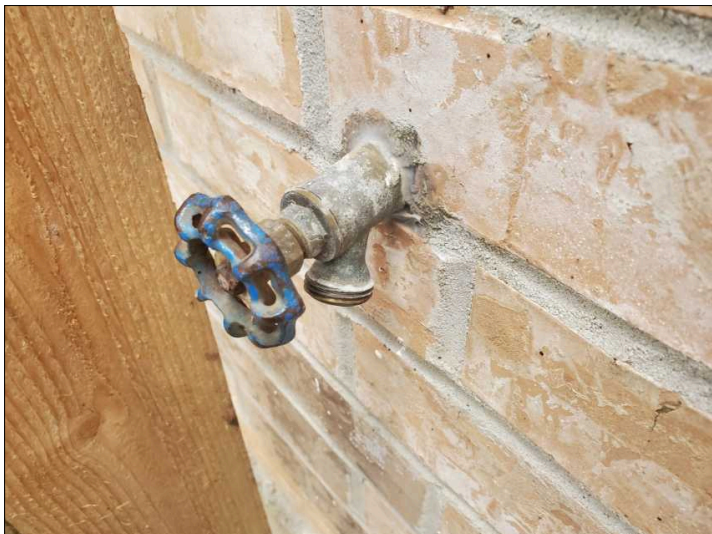
Location of Water Meter: Front of structure near street.

Location of Main Water Supply Valve:

- Parking / Garage area

Comments:

- Piping materials present:Copper
- Static Water Pressure Reading: 60 psi
- Water shutoff location.
- Gas Meter and Shutoff Location.
- Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.
- Sediment trap missing / not correct at fuel fired appliance.
- Faucet did not operate as intended. Repairs warranted.
- Corrosion present on washing machine valves. Leaking possible.
- 2 handle tub present without a temperature regulating mixing valve present / found. This allows for a max temperature to be preset to avoid scolding.
- Shower enclosure leaks water. Needs sealed.



Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.



Static Water Pressure Reading: 60 psi



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D=Deficient

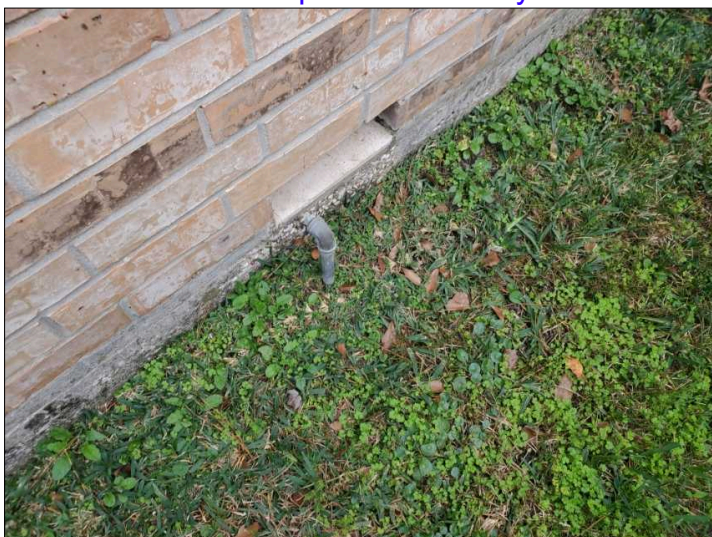
I	NI	NP	D
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Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.



Gas Meter and Shutoff Location.



Gas grill hookups available



Corrosion present on washing machine valves. Leaking possible.

I=Inspected

NI=Not Inspected

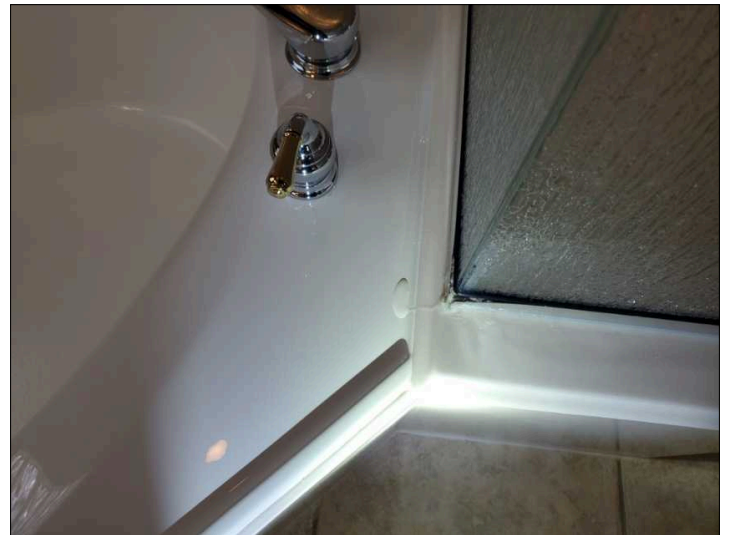
NP=Not Present

D=Deficient

I	NI	NP	D
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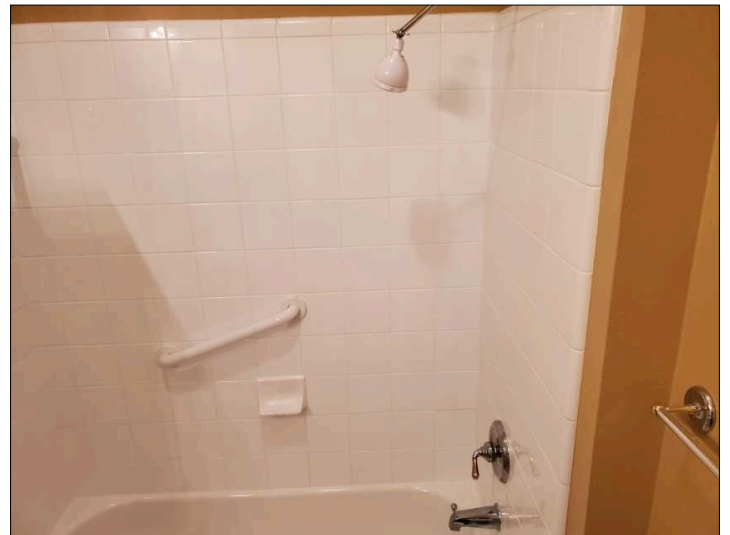
Water shutoff location.



Shower enclosure leaks water. Needs sealed.



2 handle tub present without a temperature regulating mixing valve present / found. This allows for a max temperature to be preset to avoid scolding.



Faucet did not operate as intended. Repairs warranted.



I=Inspected

NI=Not Inspected

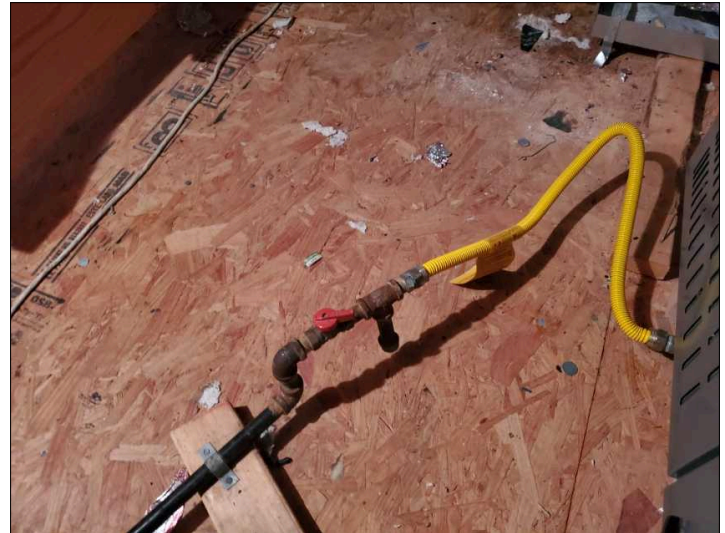
NP=Not Present

D=Deficient

I	NI	NP	D
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Piping materials present:Copper



Sediment trap missing / not correct at fuel fired appliance.

B. Drains, Wastes, and Vents

Comments:

C. Water Heating Equipment

Energy Source:

- Water heater is gas powered
- Water heater is located in the attic

Capacity:

- Unit is 40 gallons

Comments:

- Estimated MFG year of water heater : 2011
- Water heater is set to [125F]. This is high, may scold and be less energy efficient as the normal 120F setting. High temp setting may also indicate a failing water heater or needs the sediment removed.
- Temperature and pressure valve does not have proper discharge line. This min. 3/4" cpvc line should exit attic space and discharge \*within 6" of the ground outside.\*
- Water heater vent and drain lines. If water is seen coming from here, contact plumber for evaluation.
- Black water coming from hot water faucet. This may indicate a failing water heater, or may just be signaling a need to flush the water heater. Water heater should be drained once every year to remove sediment.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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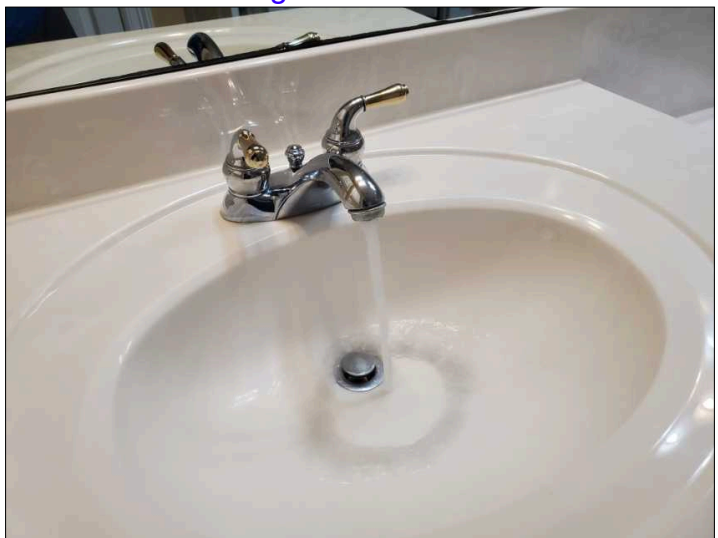
Water heater vent and drain lines. If water is seen coming from here, contact plumber for evaluation.



Temperature and pressure valve does not have proper discharge line. This min. 3/4" cpvc line should exit attic space and discharge \*within 6" of the ground outside.\*



Water heater is set to [125F]. This is high, may scold and be less energy efficient as the normal 120F setting. High temp setting may also indicate a failing water heater or needs the sediment removed.



Black water coming from hot water faucet. This may indicate a failing water heater, or may just be signaling a need to flush the water heater. Water heater should be drained once every year to remove sediment.

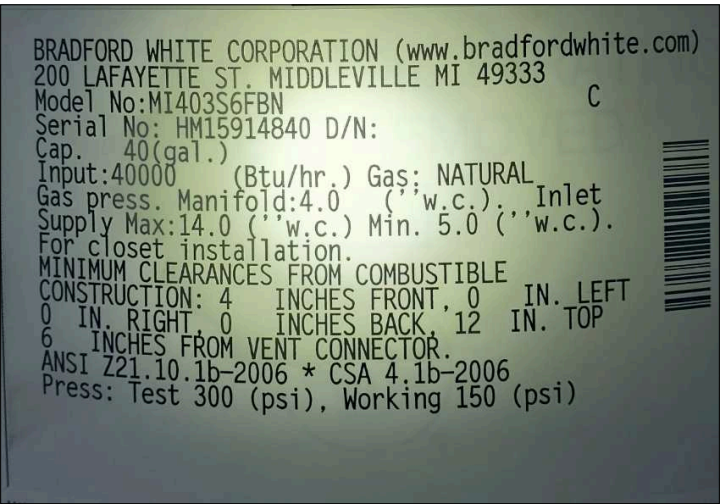
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Black water coming from hot water faucet. This may indicate a failing water heater, or may just be signaling a need to flush the water heater. Water heater should be drained once every year to remove sediment.

Estimated MFG year of water heater : 2011

D. Hydro-Massage Therapy Equipment

Comments:

- No access panel to pumps or receptacle.
- Heavy debris from inside hydro therapy tub. Suggest deep cleaning prior to use.



No access panel to pumps or receptacle.



Tub GFCI



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Operated



Heavy debris from inside hydro therapy tub. Suggest deep cleaning prior to use.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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E. Other

Materials:  
Comments:

### V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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A. Dishwashers

Comments:  
• Operated.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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B. Food Waste Disposers

Comments:  
• Operated - appeared functional at time of inspection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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C. Range Hood and Exhaust Systems

Comments:  
• Operated.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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D. Ranges, Cooktops, and Ovens

Comments:  
• All heating elements operated when tested.  
• Oven(s) operated when tested.  
• Oven: Electric radiant heating coils or infrared halogen.  
• Range: Natural gas burners

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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All heating elements operated when tested.



Oven(s) operated when tested.

E. Microwave Ovens

Comments:  
 • Microwave operated normally

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:  
 • The vent pipe from the exhaust fan terminates and is pointed at the attic roof ridge vent/soffit vent/gable vent. This is less efficient and can cause a buildup of moisture and eventually mold in the attic. Recommend upgrading to properly route vent(s) to the exterior of the home.



The vent pipe from the exhaust fan terminates and is pointed at the attic roof ridge vent/soffit vent/gable vent. This is less efficient and can cause a buildup of moisture and eventually mold in the attic. Recommend upgrading to properly route vent(s) to the exterior of the home.



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NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Garage Door Operators
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Door Type:

- One 16' steel door

Comments:

- Missing safety test instructions on wall next to the operators.
- Opener sensing eyes higher than 6" above floor level.



Missing safety test instructions on wall next to the operators.

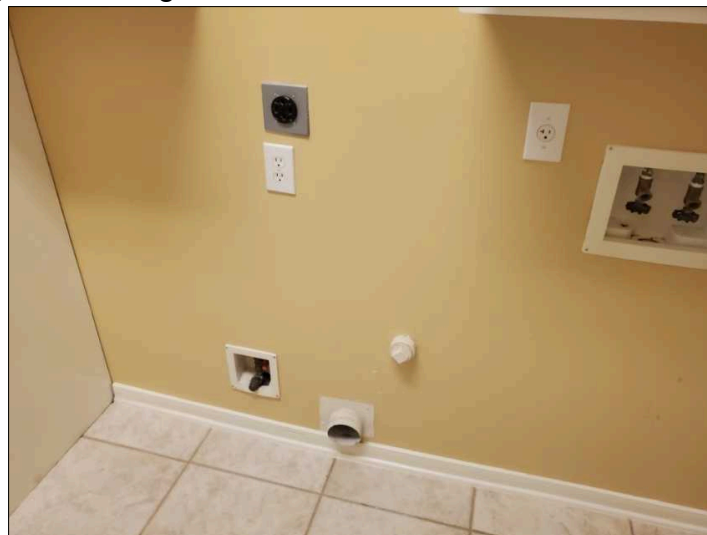


Opener sensing eyes higher than 6" above floor level.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. Dryer Exhaust Systems
-------------------------------------	--------------------------	--------------------------	--------------------------	--------------------------

Comments:

- Suggest cleaning vent.



Suggest cleaning vent.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I. Other
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Observations:

### VI. OPTIONAL SYSTEMS

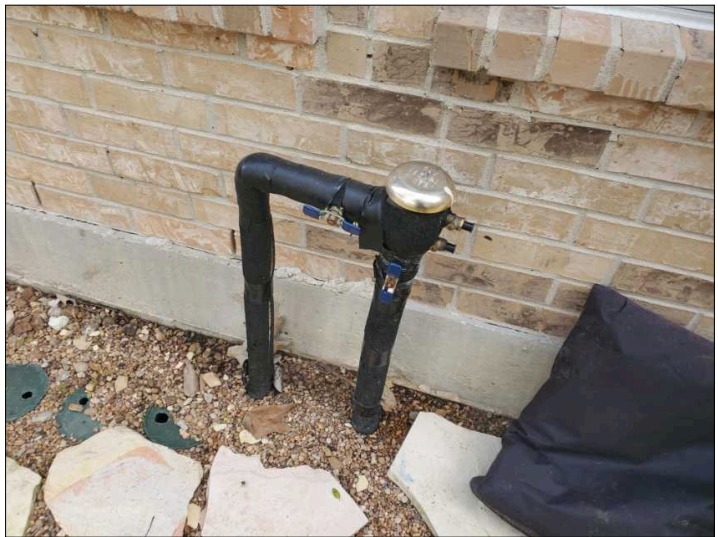
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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Comments:

- NOTE: Backflow preventer should be protected from weather during winter months.
- Backflow preventer piping should be secured to wall to reduce stresses on piping.
- Backflow preventor is leaking.
- 5 zone system
- Recommend installing rain sensor to prevent over watering lawn during rainy season.
- Conduit for protecting sprinkler wiring damaged
- Zone 2 sprinkler spraying house, needs adjusting
- Zone 2 sprinkler needs repairs



Conduit for protecting sprinkler wiring damaged



NOTE: Backflow preventer should be protected from weather during winter months.



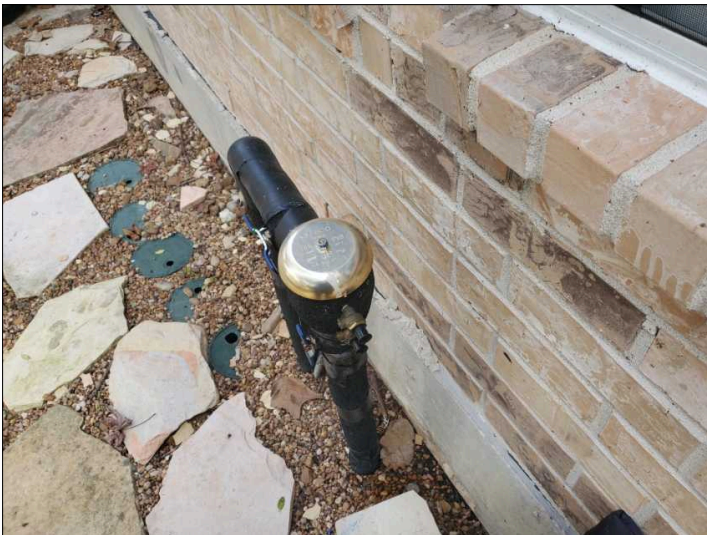
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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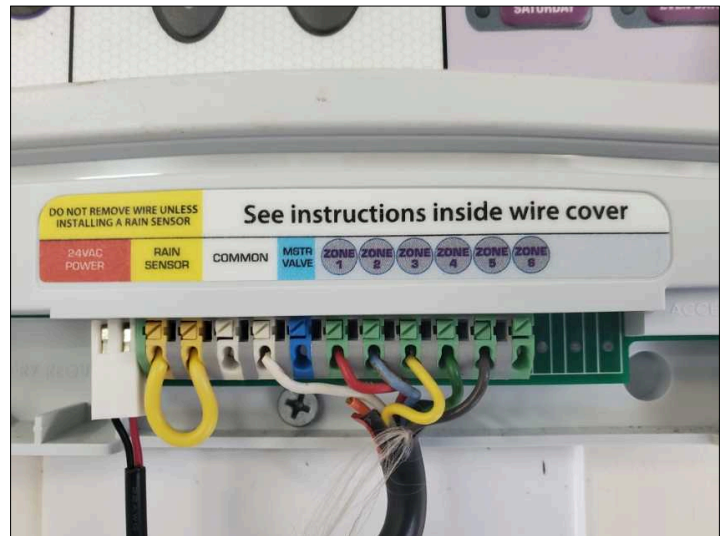
Backflow preventer piping should be secured to wall to reduce stresses on piping.



Backflow preventor is leaking.



5 zone system



Recommend installing rain sensor to prevent over watering lawn during rainy season.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Zone 2 sprinkler spraying house, needs adjusting

Zone 2 sprinkler needs repairs

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
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Type of Construction:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
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Materials:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
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Type of Pump:

Type of Storage Equipment:

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal (Septic) Systems
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Type of System:

Location of Drain Field:

Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Other
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Comments:



## Glossary

Term	Definition
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

## Report Summary

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

**Note:** If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.