

REVISIONS

NO.	DATE	DESCRIPTION

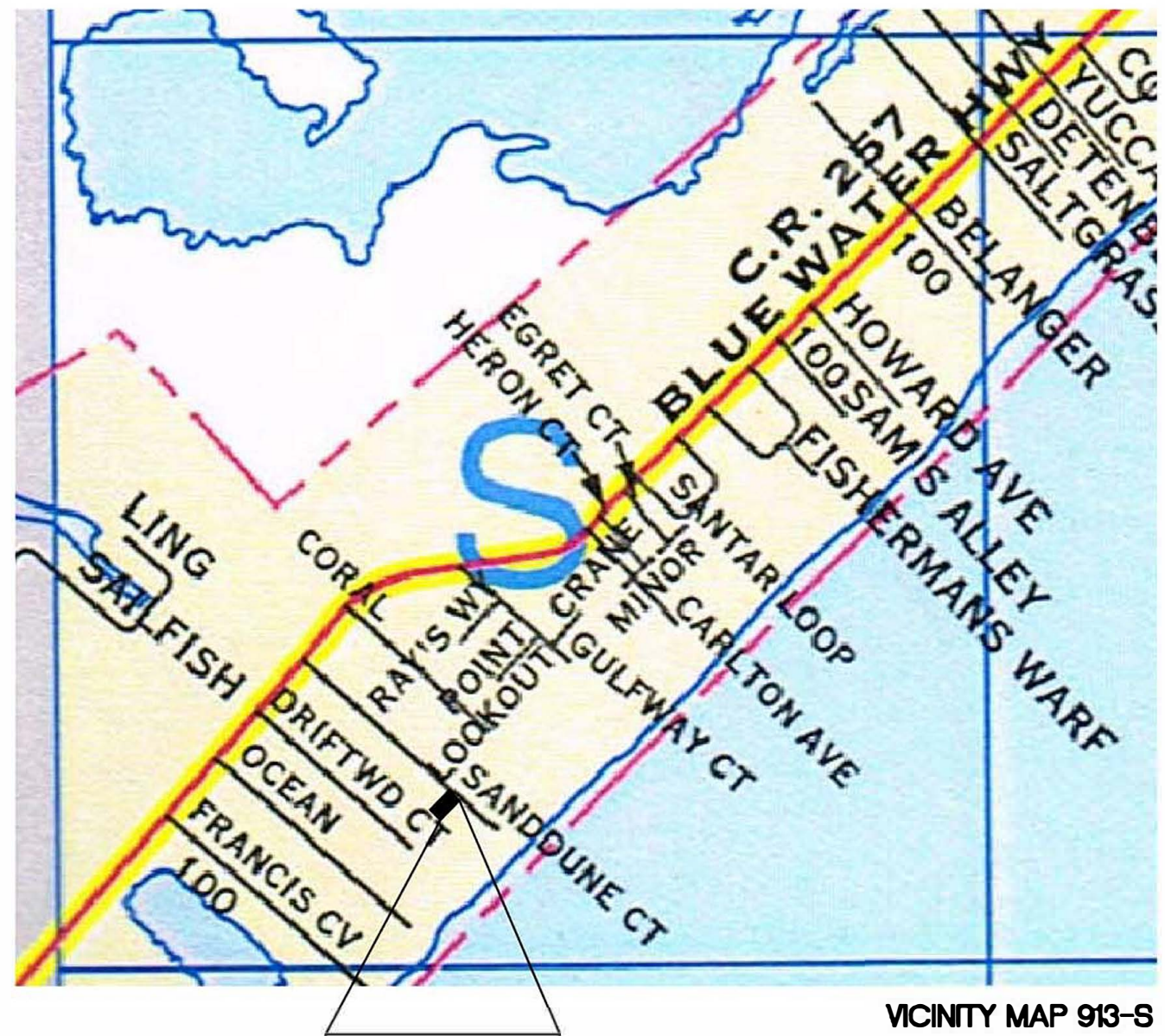
SCOPE OF THE DOCUMENT
 THIS DRAWING INDICATES THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR REQUIRE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS DATED AND NOTED AS ISSUED FOR CONSTRUCTION WORK. THIS DOCUMENT IS THE PROPERTY OF Project Design Partners and IS NOT TO BE USED, IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF Project Design Partners.

WARNING
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DRAWN BY: DPL
 CHECKED BY: DATE: 08/13/2022

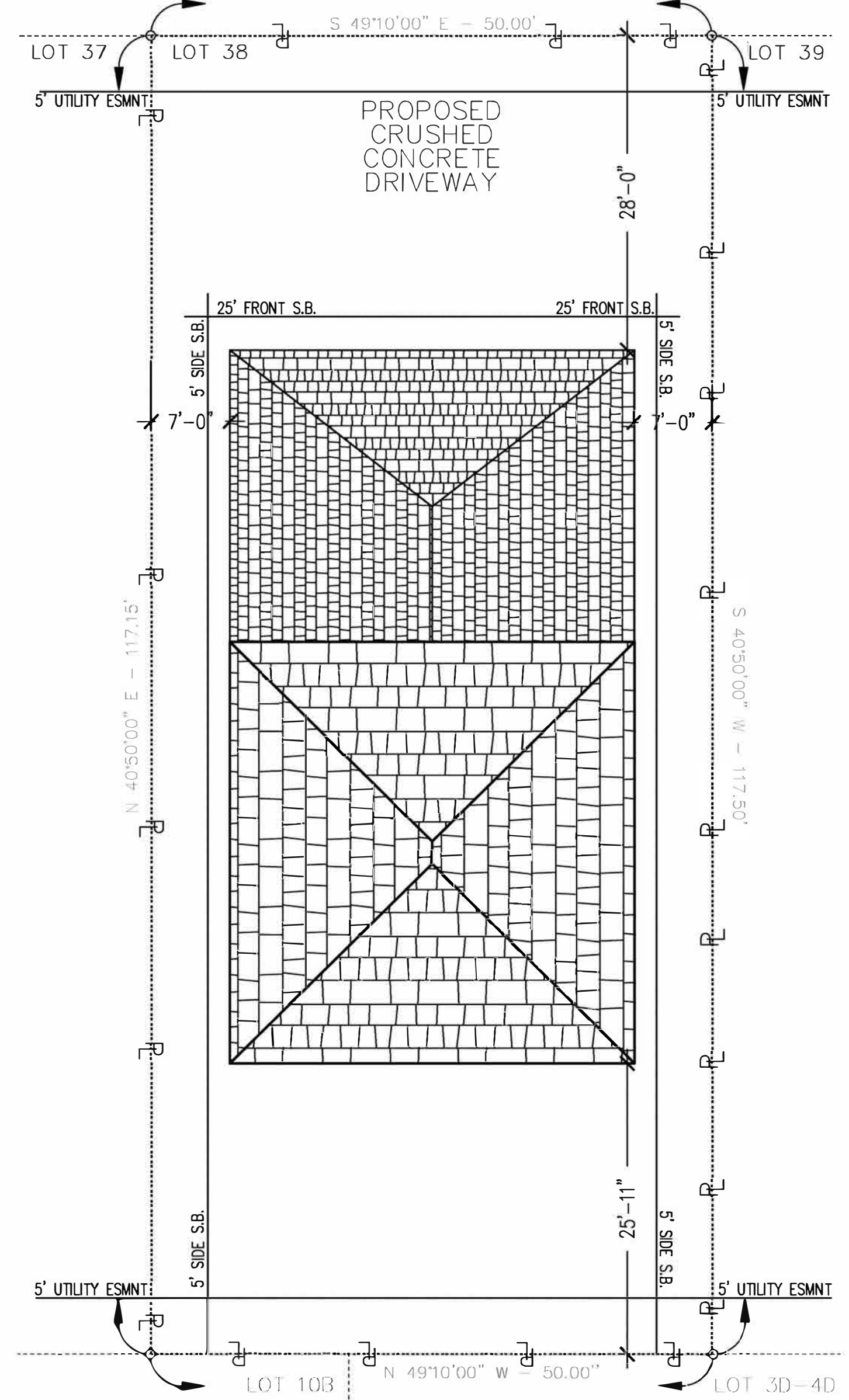
SHEET TITLE
SITE PLAN & NOTES

DRAWING NUMBER: **C1.1** SHEET NO. 01



SAND DUNE COURT

(60' R.O.W.)



LEGEND

RIGHT-OF-WAY	R.O.W.
BUILDING SET BACK	S.B.
FINISHED FLOOR ELEV.	FF
AERIAL EASEMENT	A.E.
FLOW LINE	FL
CENTERLINE OF STREET	CLS
EDGE OF PAVEMENT	EP
FOUND	FND.
IRON ROD	I.R.
FENCE	FNC.
WOOD	WD.
CHAIN LINK FENCE	C.L.F.
CONCRETE	CONC.
SIDEWALK	S/W
GRATE INLET	
CLEAN OUT	
PROPERTY CORNER	
FIRE HYDRANT	
GUARD POST	
GUY ANCHOR	
AREA LIGHT	
LIGHT POLE	
SERVICE POLE	
POWER POLE	
ELECTRIC METER	
GAS METER	
WATER METER	
MANHOLE	
SEPTIC TANK	
SAMPLE WELL	
CABLE PEDESTAL	
TELEPHONE PEDESTAL	
PIPELINE MARKER	
PIPELINE VENT	
SIGN	
ELECTRIC TRANSFORMER	
WATER VALVE	
SPRINKLER HEAD	
EXIST. ELEV.	
PROPOSED ELEV.	X.XX

SCOPE OF PROJECT:
 WORK WILL INCLUDES CONSTRUCTION OF A NEW TWO STORY 2,196 SF WOOD FRAMED HOUSE ON PILINGS WITH A NEW DRIVEWAY AND SITE AMENITIES IN CITY OF SURFSIDE, TEXAS.

1. OWNER'S NAME:
 GREY CREEK CONSTRUCTION, LLC
 8681 LOUETTA RD, STE #220
 SPRING, TEXAS 77379

2. PROPERTY ADDRESS:
 215 SAND DUNE CT
 CITY OF SURFSIDE, TEXAS

3. LEGAL DESCRIPTION;
 BEACHWOOD (A0051 F J CALVIT DIV 2 (B C I C))
 LOT 38(SURFSIDE)
 BRAZORIA COUNTY, TEXAS

4. KEY MAP #913-S.

5. BRAZORIA COUNTY ID #: 187464.

6. ULTIMATE WIND DESIGN SPEED: 150 MPH
 (3 SECOND GUST) PER SURFSIDE, TX CODES.

THIS PLAN WAS DEVELOPED IN PART FROM A SURVEY PROVIDED BY DOYLE & WACHTSTETTER, INC, DATED 03-14-2017, JOB #7539-17-01.

THIS PROPERTY DOES LIE IN THE 100 YEAR FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP #48309C0785I, DATED MAY 4, 1992, IN ZONE 'VE-15'

BUILDING FOOTPRINT: 2,196 SF
FIRST FLOOR:
 LIVING AREA = 1,455 SF
 PORCH AREA = 614 SF
SECOND FLOOR:
 LIVING AREA = 823 SF
 PORCH AREA = 388 SF
 ATTIC AREA = 886 SF
TOTALS:
 LIVING AREAS = 2,308 SF
 PORCH AREAS = 1,002 SF

BUILDING CODES:
 INTERNATIONAL RESIDENTIAL CODE 2015
 INTERNATIONAL BUILDING CODE 2015
 INTERNATIONAL MECHANICAL CODE 2015
 INTERNATIONAL PLUMBING CODE 2015
 INTERNATIONAL ENERGY COMPLIANCE CODE 2015
 NATIONAL ELECTRICAL CODE 2017
 INTERNATIONAL FIRE CODE 2017
 AND ANY LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS

PAGE	SHEET	DRAWING TITLE
01	C1.1	COVER SHEET/ SITE PLAN
02	A1.0	FLOOR / DIMENSION PLANS, GROUND
03	A1.1	FLOOR / DIMENSION PLANS, FIRST FLOOR
04	A1.2	FLOOR / DIMENSION PLANS, SECOND FLOOR
05	A2.1	BUILDING ELEV - SHEET 1 OF 2
06	A2.2	BUILDING ELEV - SHEET 2 OF 2
07	A3.1	WALL SECTIONS & DETAILS
08	A3.2	HANDRAIL DETAILS
09	S1.1	FOUNDATION PLAN
10	S1.2	FOUNDATION DETAILS & NOTES
11	S2.1	PILING & JOISTS, GROUND FLOOR
12	S2.2	CEILING/FLOOR JOISTS, FIRST FLOOR
13	S2.3	CEILING/FLOOR JOISTS, SECOND FLOOR
14	S2.4	ROOF PLAN W/DETAILS & NOTES
15	S2.5	RAFTER PLAN W/ DETAILS & NOTES
16	S2.6	STANDARD DETAILS
17	M1.1	HVAC PLAN & NOTES, FIRST FLOOR
18	M1.2	HVAC PLAN & NOTES, SECOND FLOOR
19	E1.1	ELECTRICAL LIGHT PLAN, 1 OF 2
20	E1.2	ELECTRICAL LIGHT PLAN, 2 OF 2
21	E2.1	ELECTRICAL POWER PLAN, 1 OF 2
22	E2.2	ELECTRICAL POWER PLAN, 2 OF 2
23	P1.1	PLUMBING SUPPLY, 1 OF 2
24	P1.2	PLUMBING SUPPLY, 2 OF 2
25	P2.1	PLUMBING SANITARY, 1 OF 2
26	P2.2	PLUMBING SANITARY, 2 OF 2

NOTE: CONTRACTORS MUST FIELD VERIFY ALL CONDITIONS OF WORK PRIOR TO COMMENCEMENT OF ANY WORK.
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DRAWN BY: DPL CHECKED BY: DATE: 08/15/2022

SHEET TITLE
FLOOR & DIMENSIONS -GROUND FLOOR-

DRAWING NUMBER SHEET NO.
A1.0

REVISED 4/15/21

LEGEND

DOORS	
1	3'0" x 8'0" ENTRY DOOR W/ SIDELITES
2	2'8" x 8'0" INTERIOR DOOR
3	3'0" x 8'0" EXTERIOR DOOR
4	3'0" x 8'0" INTERIOR DOOR
5	2'0" x 8'0" INTERIOR DOOR
6	ATTIC ACCESS DOOR - CLG MOUNT
7	DBL 2'0" x 8'0" BI-FOLD DOORS
8	SEGMENTED OVERHEAD DOOR
9	DBL SWING HALF DOORS
10	2'6" x 8'0" INTERIOR DOOR
11	DBL 2'6" x 8'0" EXTERIOR DOOR

LOCKSETS	
A	ENTRY LOCK SET
B	PRIVACY LOCK SET
C	PASSAGE SET
D	DUMMY SET
E	KEYLESS ENTRY

WINDOWS	
A	DOUBLE HUNG, OPENING
B	SINGLE HUNG, OPENING
C	SLIDE OPENING

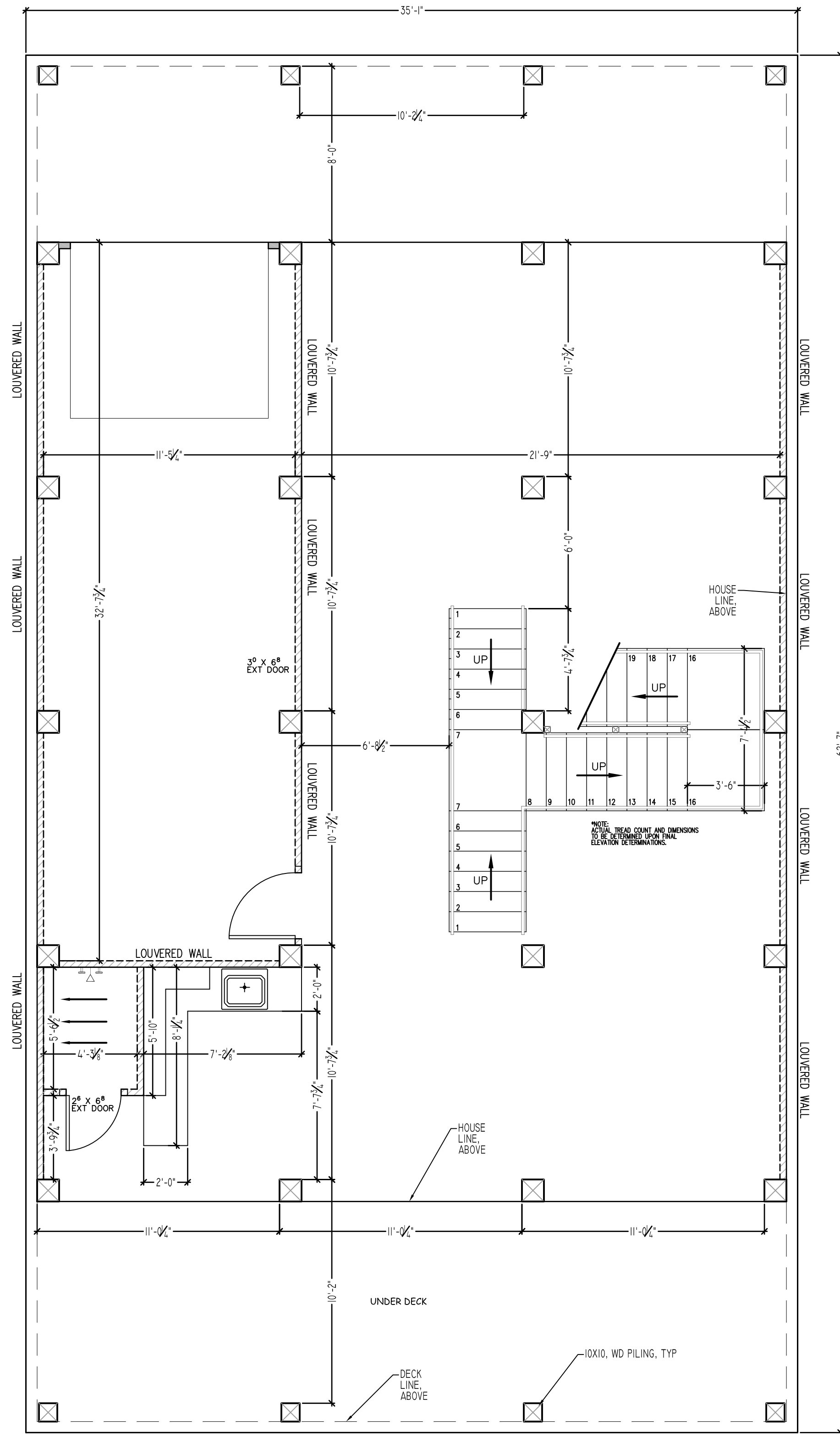
FINISHES	
A	GLOSS, ACRYLIC LATEX PAINT -COLOR BY OWNER
B	SEMI-GLOSS, ACRYLIC LATEX PAINT -COLOR BY OWNER
C	SATIN, ACRYLIC LATEX PAINT -COLOR BY OWNER
D	FLAT, ACRYLIC LATEX PAINT -COLOR BY OWNER
E	CERAMIC / PORCELAIN TILE -COLOR & STYLE BY OWNER
F	EXTERIOR HARDIE W/ PAINT -COLOR BY OWNER

FLOOR FINISHES	
1	CERAMIC/PORCELAIN TILE -COLOR & STYLE BY OWNER
2	FINISHED WOOD -COLOR & STYLE BY OWNER
3	CARPET FLOORING -COLOR & STYLE BY OWNER
4	SEALED/PAINTED CONCRETE
5	NATURAL/BRUSHED CONCRETE -COLOR & STYLE BY OWNER

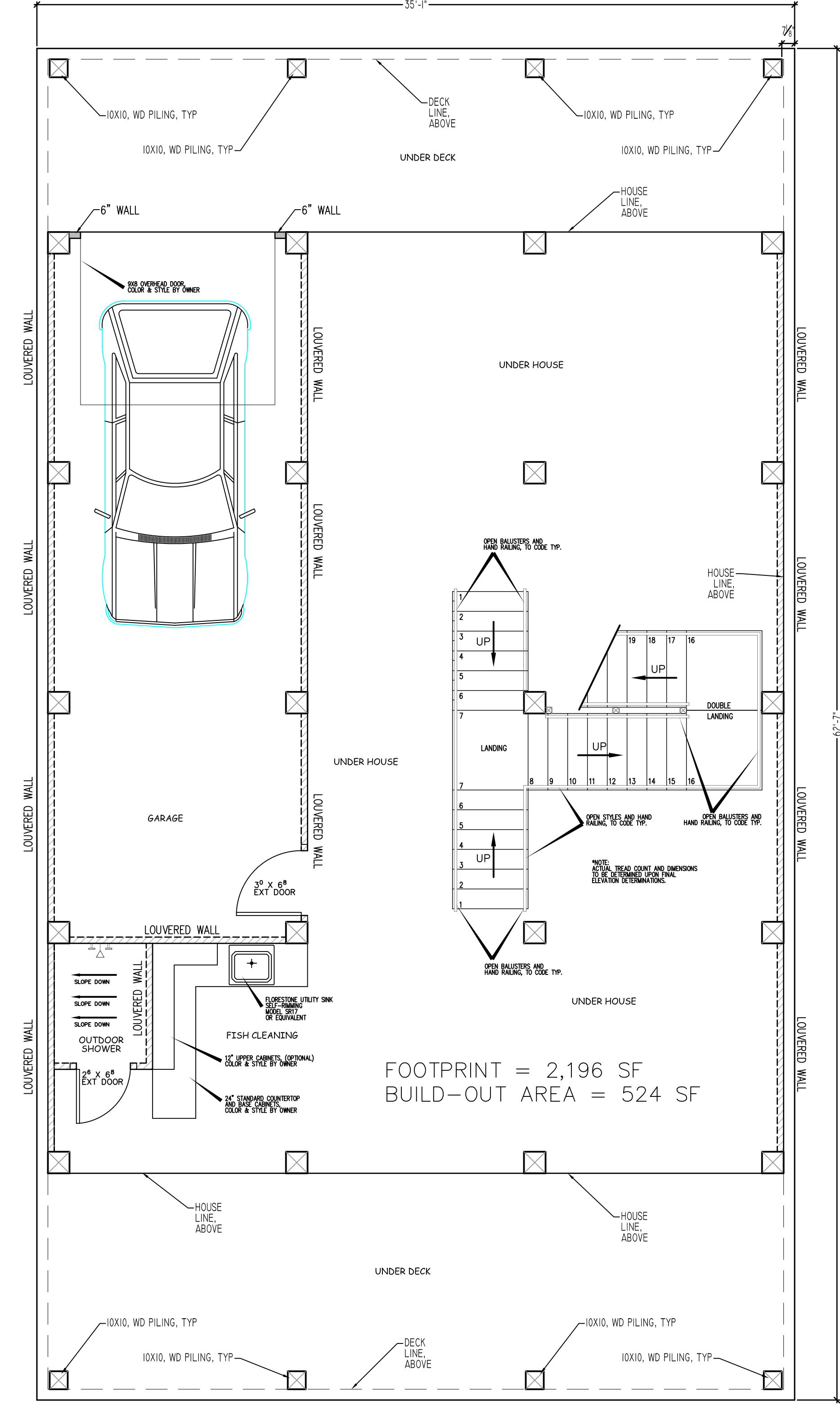
NOTE:
 - ALL DOORS TO BE ENERGY COMPLIANT.
 - ALL WINDOWS TO BE DOUBLE PANE ENERGY EFFICIENT.
 - ALL CONSTRUCTION TO MEET LOCAL JURISDICTION BUILDING CODES
 - TEXAS WINDSTORM REGULATIONS IN EFFECT FOR ALL CONSTRUCTION

BUILDING FOOTPRINT: 2,196 SF
 FIRST FLOOR:
 LIVING AREA = 1,485 SF
 PORCH AREA = 614 SF
 SECOND FLOOR:
 LIVING AREA = 823 SF
 PORCH AREA = 388 SF
 ATTIC AREA = 886 SF
 TOTALS:
 LIVING AREAS = 2,308 SF
 PORCH AREAS = 1,002 SF

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DIMENSION PLAN SCALE: 1/4" = 1' **03**



FOOTPRINT = 2,196 SF
 BUILD-OUT AREA = 524 SF

FLOOR PLAN SCALE: 1/4" = 1' **01**

FINISHES PLAN SCALE: NONE **02**

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DRAWN BY: DPL CHECKED BY: DATE: 08/15/2022

SHEET TITLE
FLOOR & DIMENSIONS -1ST FLOOR-

DRAWING NUMBER: **A1.1** SHEET NO. REVISED: 4/15/18

LEGEND

- DOORS**
- 1 3'0" ENTRY DOOR W/ SIDELITES
 - 2 2'8" x 8'0" INTERIOR DOOR
 - 3 3'0" x 8'0" EXTERIOR DOOR
 - 4 3'0" x 8'0" INTERIOR DOOR
 - 5 2'0" x 8'0" INTERIOR DOOR
 - 6 ATTIC ACCESS DOOR - CLG MOUNT
 - 7 DBL 2'0" x 8'0" BI-FOLD DOORS
 - 8 SEGMENTED OVERHEAD DOOR
 - 9 DBL SWING HALF DOORS
 - 10 2'6" x 8'0" INTERIOR DOOR
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- LOCKSETS**
- A ENTRY LOCK SET
 - B PRIVACY LOCK SET
 - C PASSAGE SET
 - D DUMMY SET
 - E KEYLESS ENTRY

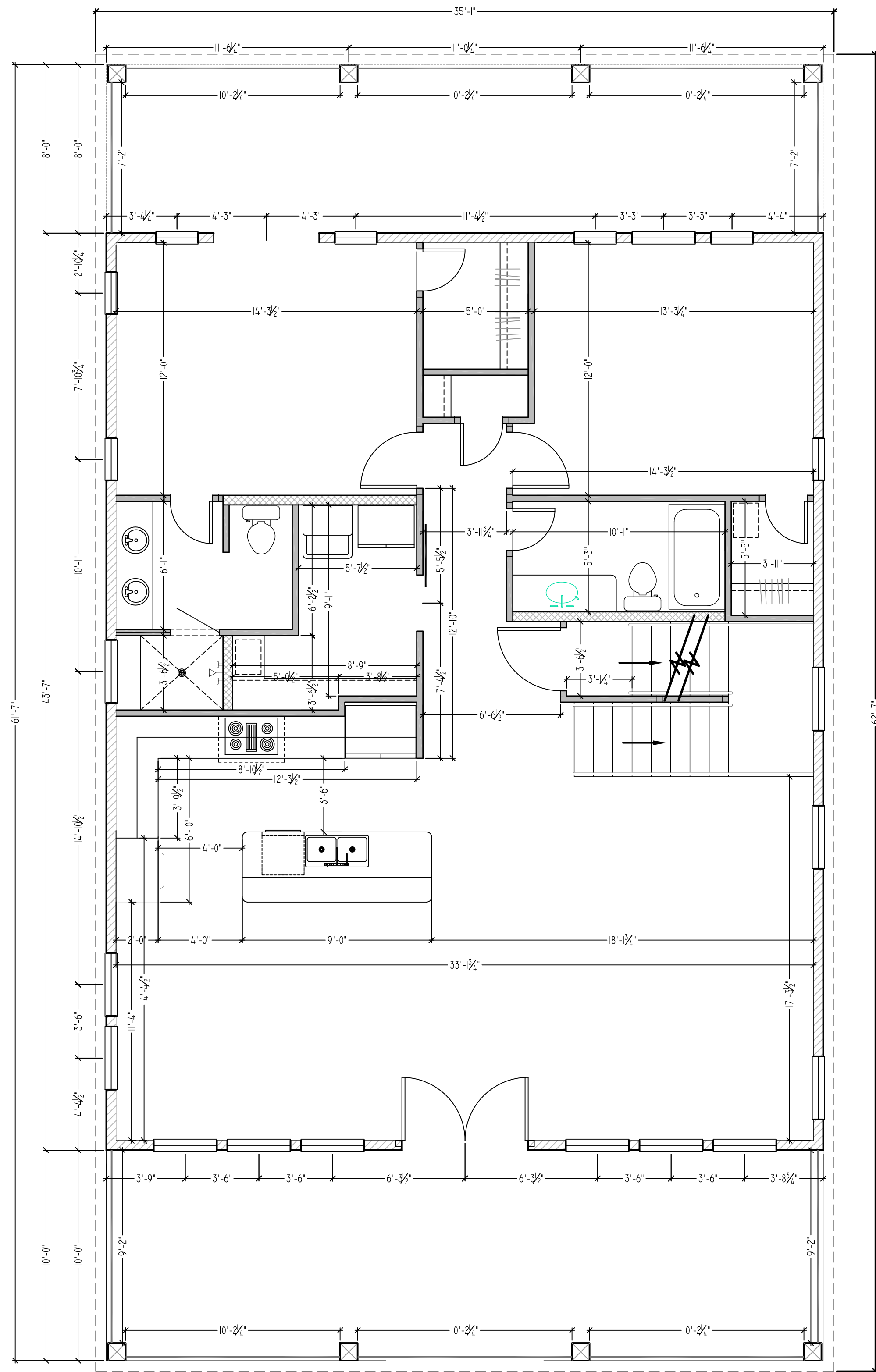
- WINDOWS**
- A DOUBLE HUNG, OPENING
 - B SINGLE HUNG, OPENING
 - C SLIDE OPENING

- FINISHES**
- A GLOSS, ACRYLIC LATEX PAINT -COLOR BY OWNER
 - B SEMI-GLOSS, ACRYLIC LATEX PAINT -COLOR BY OWNER
 - C SATIN, ACRYLIC LATEX PAINT -COLOR BY OWNER
 - D FLAT, ACRYLIC LATEX PAINT -COLOR BY OWNER
 - E CERAMIC / PORCELAIN TILE -COLOR & STYLE BY OWNER
 - F EXTERIOR HARDIE W/ PAINT -COLOR BY OWNER

- FLOOR**
- 1 CERAMIC/PORCELAIN TILE -COLOR & STYLE BY OWNER
 - 2 FINISHED WOOD -COLOR & STYLE BY OWNER
 - 3 CARPET FLOORING -COLOR & STYLE BY OWNER
 - 4 SEALED/PAINTED CONCRETE
 - 5 NATURAL/BRUSHED CONCRETE -COLOR & STYLE BY OWNER

NOTE:
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 - ALL WINDOWS TO BE DOUBLE PANE ENERGY EFFICIENT.
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DIMENSION PLAN

SCALE: 3/16" = 1'

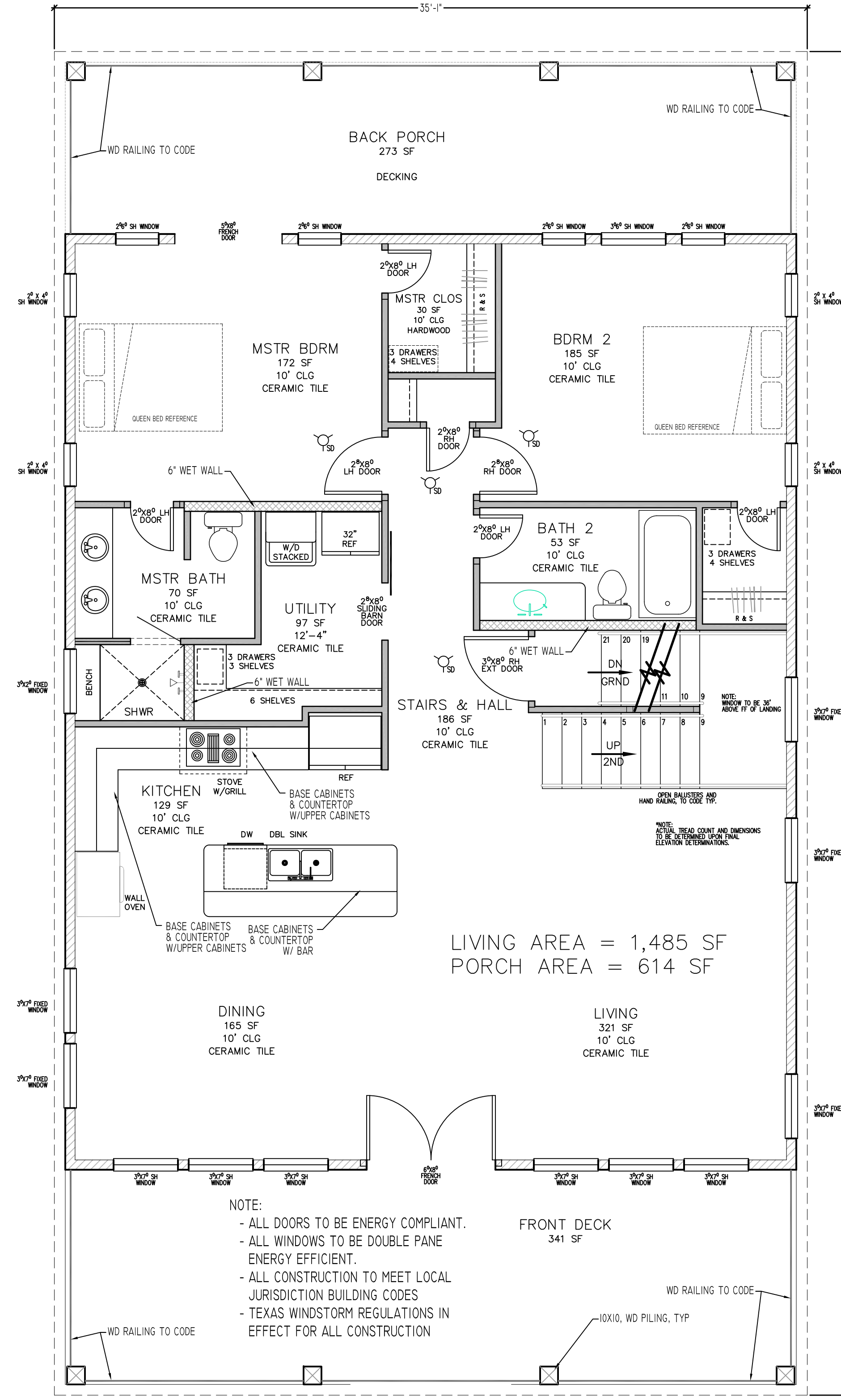
03

FINISHES PLAN

SCALE: NONE

02

FLOOR PLAN



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SCALE: 3/16" = 1'

01

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DRAWN BY: DFL CHECKED BY: DATE: 08/15/2022

SHEET TITLE
FLOOR & DIMENSIONS -2ND FLOOR-

DRAWING NUMBER SHEET NO.
A1.2

REVISED 4/15/21

LEGEND

DOORS	
1	3'0" x 8'0" ENTRY DOOR W/ SIDELITES
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3	3'0" x 8'0" EXTERIOR DOOR
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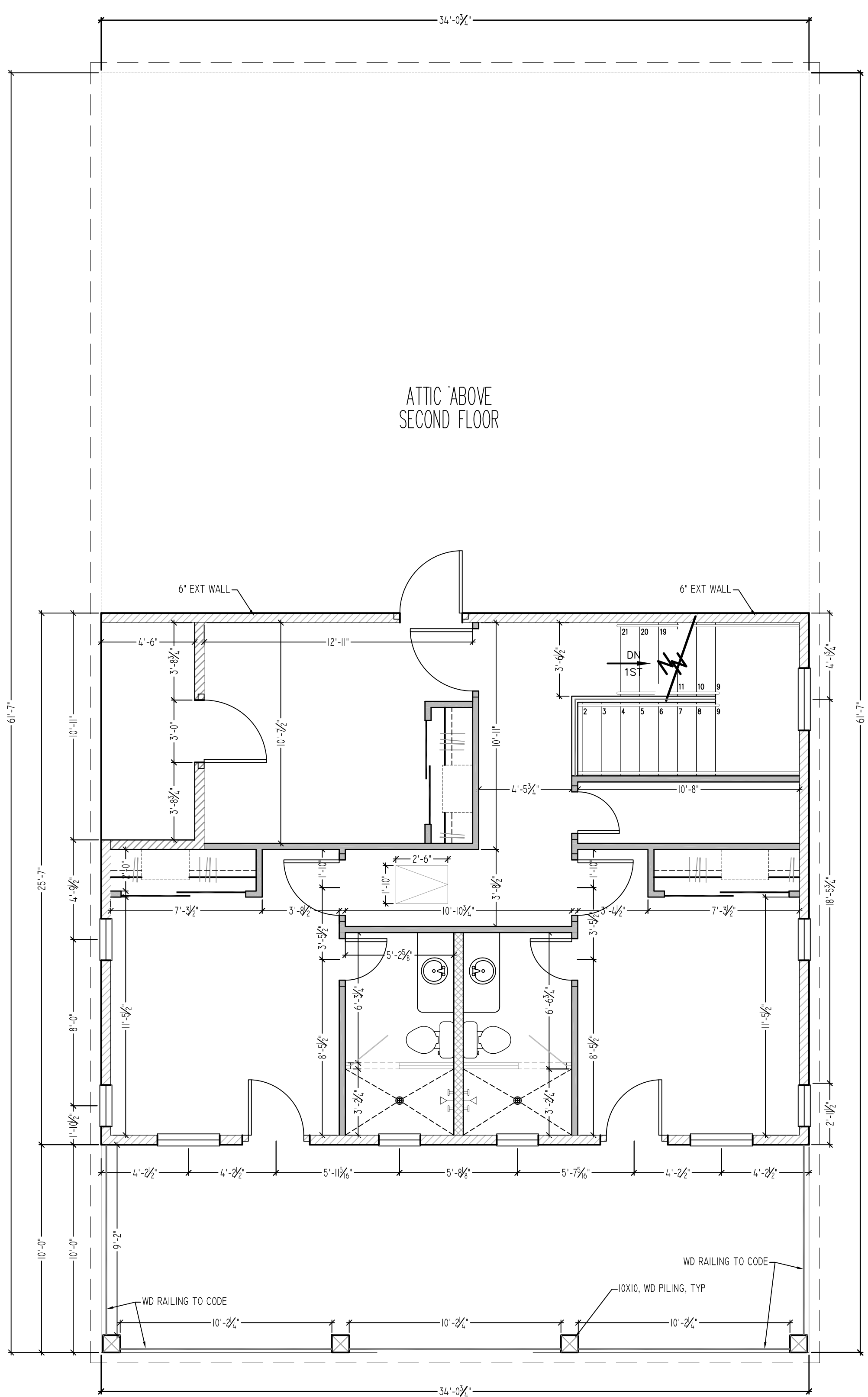
WINDOWS	
A	ENTRY LOCK SET
B	PRIVACY LOCK SET
C	PASSAGE SET
D	DUMMY SET
E	KEYLESS ENTRY

FINISHES	
A	DOUBLE HUNG, OPENING
B	SINGLE HUNG, OPENING
C	SLIDE OPENING
A	GLOSS, ACRYLIC LATEX PAINT -COLOR BY OWNER
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FLOOR FINISHES	
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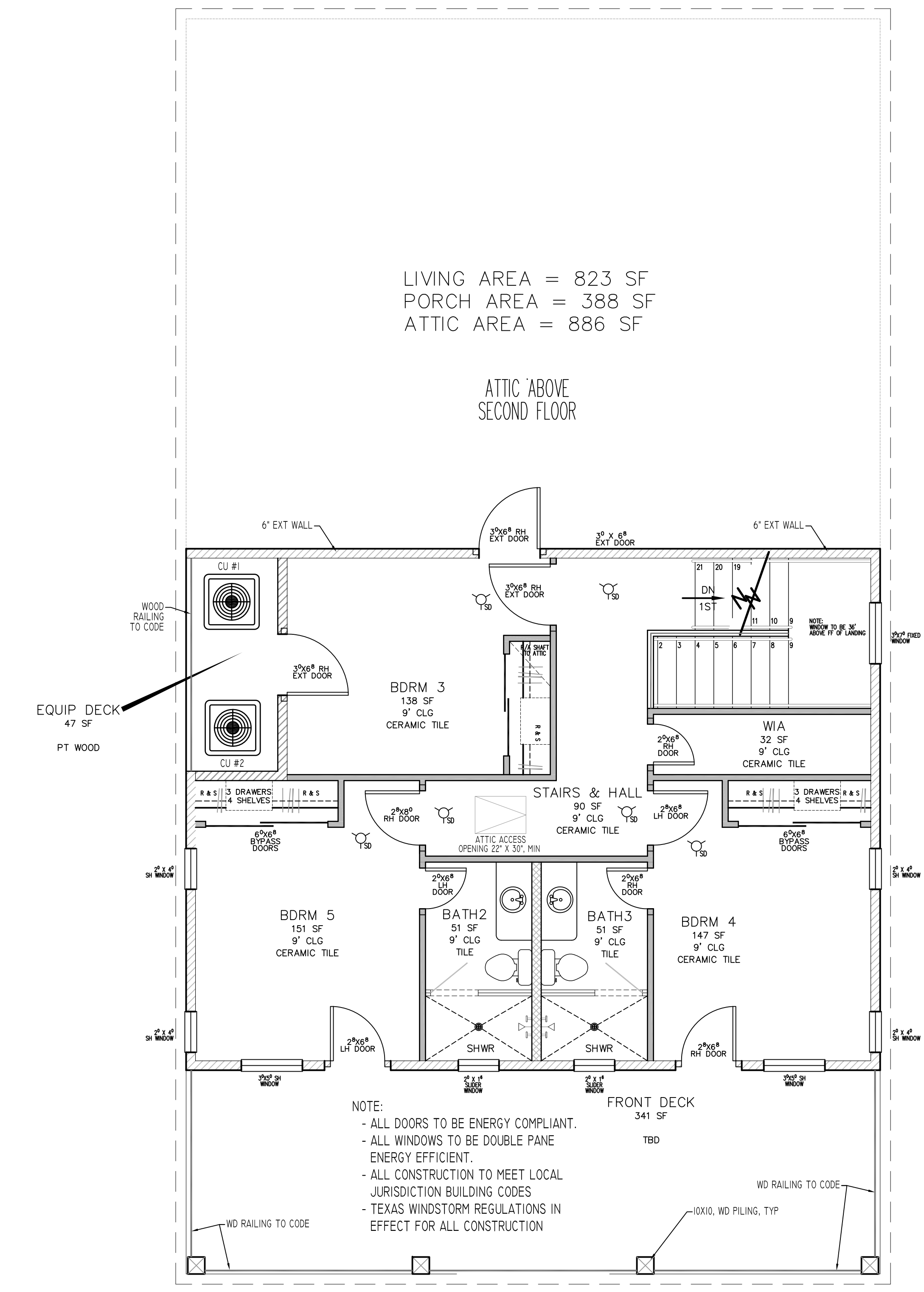
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ATTIC ABOVE SECOND FLOOR

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