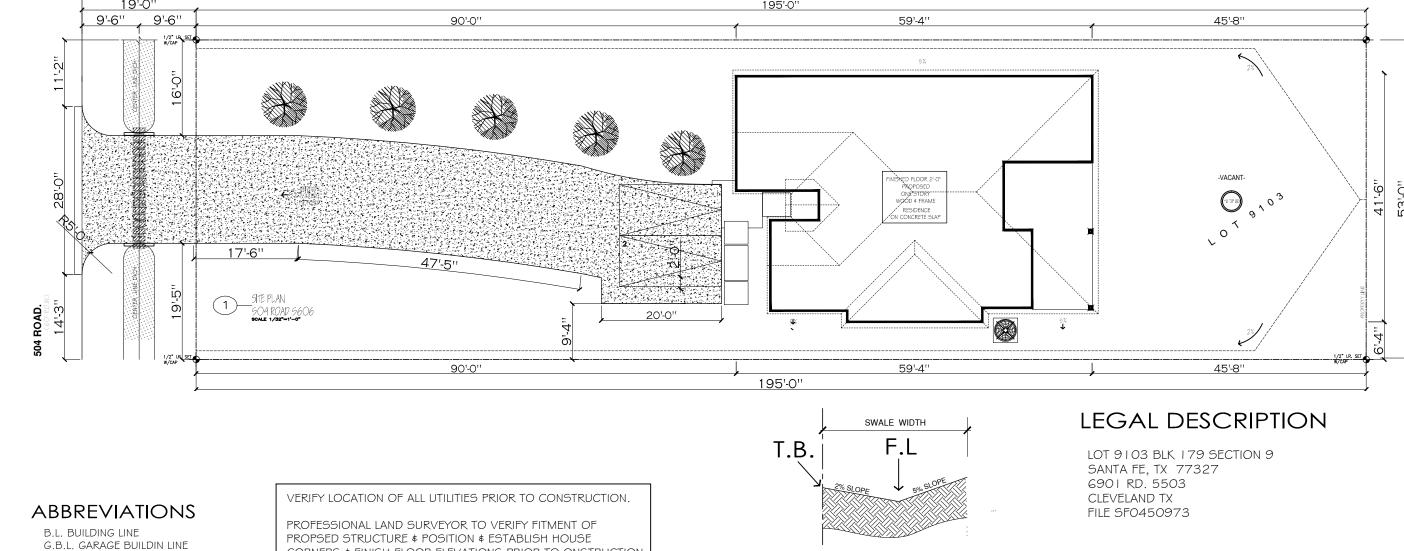


- IS CONSTRUCTED. THE PROPERTY LINE(S) EXTEBDED SHALL DETERMINE THE MAXIMUM A DRIVEWAY RADIUS
- 3.- GUTTER LINE.
- 4.- SAW CUT \$ EXPOSED 15" OF REINFORCING WITH 6" THICK CONCRETE
- PROPOSED NEW DRIVEWAY 6" THK 3000 PSI CONCRETE APPROACH REINF W/#3 @ 18 BARS EACH WAY.
- 6.- PROPOSED NEW DRIVEWAY 4" THK 3000 PSI CONCRETE APPROACH W/#3 @ 18 BARS EACH
- 7.- CONSTRUCTION CONTROL JOINT FROM STREET INTO PROPOSED DRIVEWAY, ONLY WHEN THERE IS AN EXISTING EXPANSION JOINT IN THE STREET AT THE ROPOSED DRIVEWAY INTERSECTION.
- 8.- PROVIDE HEADWALL 5' ON BOTH SIDES.
- 9.- RCP CULVERT PROPOSED 24" Ø x 20'-0"



PROPSED STRUCTURE & POSITION & ESTABLISH HOUSE CORNERS & FINISH FLOOR ELEVATIONS PRIOR TO ONSTRUCTION.

LINE.

9. DRIVWAY APPROACH, SIDEWALKS, AND RAMPS SHALL BE CONSTRRUCTED TO CITY OF HOUSTON STANDARDS.

10. FINAL GRADING SHALL BE SUCH THAT THIS PROPERTY DOES NOT DRAIN ONTO ADJACENT PROPERTIES, AND SUCH THAT EXISTING DRAINGE ON ADJACENT PROPERTIES IS NOT ALTERED.

CALCULATION OF IMPREVIOUS PERCENTAGE

IMPREVIOUS AREA:	SQ.FT	5Q.F1	SQ.FT	
BUILDING(S) (e.g. GARAGE, HOUSE, STORAGE)	0	2194	2194	
PARKING LOT	0	0	0	
DRIVEWAY/ SIDEWALK/ PATIOS/ CARPORTS	0	1844	1844	
SMMMING POOL/ DETENTION PONDS	0	0	0	
OTHERS	0	0	0	
A) TOTAL:	0	0	4038	
B) TOTAL AREA OF LOT:		10335		
C) PERCENTAGE IMPREVIOUS AREA (A/B) X 100 = (4038	3/10335) X 100= 3:	9%	
TRY CREA DRAFATON NOT TIMEN DIVAR O DO CIRIO ERRADED	CO EX OE	IMPORT/IOUR	COUKD	

IF>65% DETETION VOLUMEN RATE 0,20 CUBIC FEET PER SQ, FT, OF IMPREVIOUS COVER IS REQUIRED

NEW, SINGLE FAMILY RESIDENTIAL

ROAD 6901

6901 ROAD 5503, CLEVELAND TX, 77327 PROJECT EXCLUSIVELY FOR:

REY ZALAVARRIA



REVISION: FEB 2023 JAN 2023

Sheet Title SCALE

1/16"=1'-0"

AREA SUMARY

I st FLOOR LIVING AREA 1870 TOTAL LIVING AREA 1870 ENTRY PORCH PATIO 297 TOTAL COVERED 2194 TOTAL AREA

ADDRESS:

LOT 9103 BLK 179 SECTION 9 SANTA FE, TX 77327 6901 RD. 5503 CLEVELAND TX FILE SF0450973

Project number:

Sheet number:

