

# *Before You Buy Inspection Services*

## Property Inspection Report



3030 McGowen, Houston, TX 77004

Inspection prepared for: Chris James

Date of Inspection: 8/14/2020 Time: 9:15 a.m. CST

Age of Home: About 84 years Size: Approximately 1100 Square Feet

Weather: Sunny and hot

Present at inspection: Inspector, Buyer, Tenants, Buyer's agent, Seller

Rain within 3 days?: No

Temperature: 90 degrees Fahrenheit

Inspector: T. J. Thompson

License # 22433

Cypress, TX 77429

Phone: 713-816-2290

Email: [tjt@beforeyoubuyis.com](mailto:tjt@beforeyoubuyis.com)



**BEFORE YOU BUY**  
INSPECTION SERVICES

# PROPERTY INSPECTION REPORT

Prepared For: Chris James  
(Name of Client)

Concerning: 3030 McGowen, Houston TX, 77004  
(Address or Other Identification of Inspected Property)

By: T. J. Thompson, License # 22433 8/14/2020  
(Name and License Number of Inspector) (Date)

## PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

**THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.** The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION.** When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. Foundations</b>
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Type of Foundation(s):  
 • Crawlspace foundation

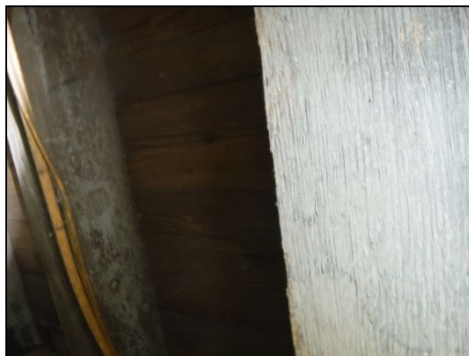
Comments:

• \*\*\*\*\* **CRAWLSPACE FOUNDATION** \*\*\*\*\*

- IMPORTANT NOTICE: Wood damage in crawl space should be further investigated.
- IMPORTANT NOTICE: Recommend having pest control specialist review wood damage under unit.
- IMPORTANT NOTICE: No vapor barrier noted in the crawlspace. This is considered an "as built" condition but updating is recommended.
- IMPORTANT NOTICE: Electrical wiring not in conduit was noted in the crawlspace. This is typical for the age of the home but updating is recommended.
- IMPORTANT NOTICE: Plumbing supply pipes were not insulated in the crawlspace. This is typical for the age of the home but updating is recommended.
- Inadequate insulation was noted in the ceiling of the crawlspace.
- Inspected from access only.



*Wiring in crawl space not covered in conduit*



*No insulation or vapor barrier in crawlspace*



*Plumbing lines in crawlspace not insulated*

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I	NI	NP	D
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Wood damage in crawl space should be further investigated



Recommend having pest control specialist review wood damage under unit

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. Grading and Drainage</b>
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Comments:

• \*\*\*\*\* GRADING AND DRAINAGE \*\*\*\*\*

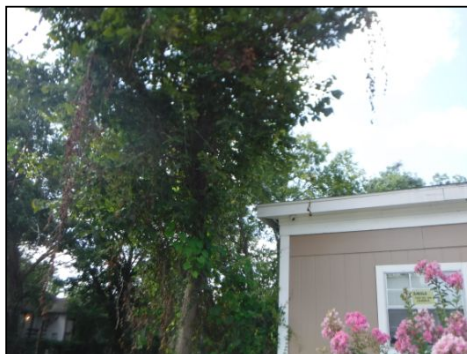
- INFORMATION: The ground should slope away from the house at a rate of one inch per foot for at least the first ten feet. Ideally, at least 6-8 inches of clearance should be maintained between soil level and the top of the foundation walls.
- No drains and/or drainage system observed.
- Maintenance: Shrubs planted too close to the house creating conditions conducive to infestation by Wood Destroying Insects (WDI). Shrubs should not be planted closer to the slab than half of the mature width of the shrub.

• \*\*\*\*\* TREES \*\*\*\*\*

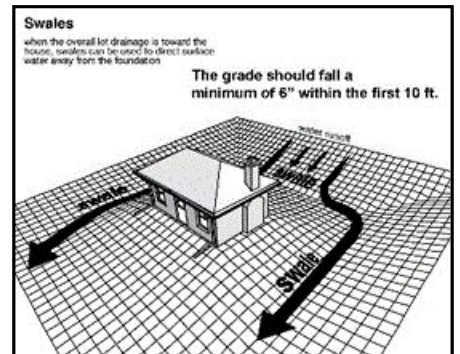
- Trees too close to structure.



Maintenance: Shrubs planted too close to the house creating conditions conducive to infestation by Wood Destroying Insects (WDI). Shrubs should not be planted closer to the slab than half of the mature width of the shrub.



Trees too close to structure.



Example of proper yard swales

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>C. Roof Covering Materials</b>
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Type(s) of Roof Covering:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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- Asphalt composition shingles noted.

Viewed From:

- Ground with binoculars.

Comments:

• \*\*\*\*\* ROOF COVERING \*\*\*\*\*

- Asphalt or composition shingles have a service life from {15-30} years depending upon the shingle quality, installation and maintenance. If shingles begin to lose the granular covering and curling; the roof should typically be considered for replacement. No more than {2} layers of asphalt shingles should be installed at one time.

- NOTE: The Roof Covering Material has a useful life cycle based on the type of roof covering. This limited visual inspection is not a certification or warranty, expressed or implied, that the roofing surfaces will not leak. Simply viewing a roof surface from any angle cannot tell if it leaks or not. We would have no knowledge if this roof leaks or not under a limited visual inspection. We recommend that you view (or ask for) any disclosure form or statement to see if any repairs may have been made to this roof which might indicate to you past or continual problems and in the case of a fairly new roof a copy of the contractors and manufacturer warranty to see if any warranty is available and can be transferred. The Texas Inspection Standards of Practice for property inspections is not designed for the purpose of underwriting or insurability. Without regard to its performance at the time of this inspection, because of the potential cost of repair or replacement, we recommend that older roofs be further evaluated by a qualified roofing specialist, during the Option period, to help determine remaining life and cost of replacement.

- TREC LIMITATIONS: The inspector is not required to determine the remaining life expectancy of the roof covering; inspect the roof from the roof level, if in the inspector's reasonable judgment, the inspector cannot safely reach or stay on the roof, or significant damage to the roof covering materials may result from walking on the roof; determine the number of layers of roof covering material; identify latent hail damage; or provide an exhaustive list of location of water penetrations or previous repairs.

✓			✓
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**D. Roof Structure and Attics**

Viewed From:

- Attic.

- Ground.

Approximate Average Depth of Insulation:

- 0 to 3"

- 4" to 6"

- 7" to 9"

- Decking: Solid

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I	NI	NP	D
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Comments:

• \*\*\*\*\* ROOF STRUCTURE \*\*\*\*\*

- The attic structure was observed to be conventionally framed.
- The fascia board has some deterioration on more than one location on the structure.

• \*\*\*\*\* ATTIC \*\*\*\*\*

- IMPORTANT NOTICE: There was not a continuous, unobstructed or safe passageway between the head of the stairway and mechanical equipment. When equipment, which may require service, is located within the attic space, a continuous passageway at least 24" wide should extend from the attic access to the equipment which should be located no more than 20' distant.

- IMPORTANT NOTICE: Missing insulation noted in the attic.

- Evidence of past or present leaks, dry at time of the inspection. Monitoring is recommended.

- The attic insulation is higher in some areas and lower than typical in others. It is recommended that the insulation be "evened out" by a professional to ensure proper R value is achieved.

- INFORMATION: Minimum standards for insulation depth for new construction have been established as an R-value of 30 within Zone 2 (this zone). An R30 rating requires approximately 11" of fiberglass insulation. The insulation observed met or exceeded this minimum standard.

• \*\*\*\*\* ATTIC LADDER \*\*\*\*\*

- NOTE: The pulldown attic ladder is not insulated or weather stripped at this time. This is an "As Built" condition that does not meet current energy standards. It is recommended to insulate the hatch door after taking ownership of the property.

- NOTE: The attic ladder was observed to be installed with improper fasteners. The frame should be secured with {16d} nails or {3"} lag screws. This condition should be further evaluated and corrected as necessary for safety concerns.

- INFORMATION: The stairway door did not have a retainer installed to prevent loose fill insulation from spilling into the living space when the attic access is opened.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Insulation opportunities in attic



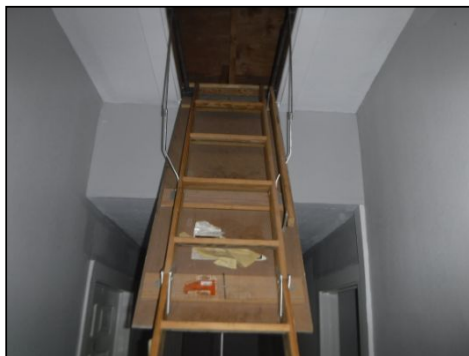
Missing insulation



NOTE: The attic ladder was observed to be installed with improper fasteners. The frame should be secured with {16d} nails or {3"} lag screws. This condition should be further evaluated and corrected as necessary for safety concerns.



Evidence of previous moisture intrusion in the attic



NOTE: The pull-down attic ladder is not insulated or weather stripped at this time. This is an "As Built" condition that does not meet current energy standards. It is recommended to insulate the hatch door after taking ownership of the property



The fascia board has some deterioration on more than one location on the structure



The fascia board has some deterioration on more than one location on the structure



Soffit on left side of house is metal grate

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>E. Walls (Interior and Exterior)</b>
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Wall Materials:

• \*\*\*\*\* EXTERIOR \*\*\*\*\*

- Exterior brick veneer and/or structural walls noted.



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I	NI	NP	D
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• \*\*\*\*\* INTERIOR \*\*\*\*\*

- Drywall walls noted on interior.

Comments:

• \*\*\*\*\* EXTERIOR WALLS \*\*\*\*\*

- IMPORTANT NOTICE: Wood rot noted on the exterior trim in one or more areas. Replacement is recommended.
- IMPORTANT NOTICE: Gaps in siding noted on corner of home.
- Damaged noted to exterior siding in one or more areas.
- Loose trim boards on siding.
- Cracks noted in the exterior veneer in one or more areas of the home. Repair is recommended.
- Elastomeric caulk improvements are recommended between the exterior veneer and the window frames.
- NOTE: The areas between the exterior cladding / veneer and ALL wall penetrations need to be properly sealed such as utility connections, downspouts, hose bibs, lighting fixtures, receptacles, etc with an exterior grade elastomeric sealant.
- Vines were noted on the sides of the home in one or more areas. Removal is recommended.

• \*\*\*\*\* INTERIOR WALLS \*\*\*\*\*

- Wall cracks noted in one or more areas around the home. Further evaluation is recommended.
- Previous repair and refinish did not appear to be of professional contractor quality.
- Construction detail: This was NOT a Code inspection; however, some items will be presented as a comparison against minimum Code standards. Items identified may not meet these standards but do follow common construction practices, or may have been allowed by the Authorities Having Jurisdiction (AHJ).

The inspection Standards of Practice requires reporting deficiencies but do not define specifics in all cases. We may, then, present these items, which are not both adverse and material, without recommendations for repair.

- TREC LIMITATIONS: The inspector is not required to report cosmetic damage or the condition of floor, wall, or ceiling coverings; paints, stains, or other surface coatings; cabinets; or countertops, or provide an exhaustive list of locations of water penetrations.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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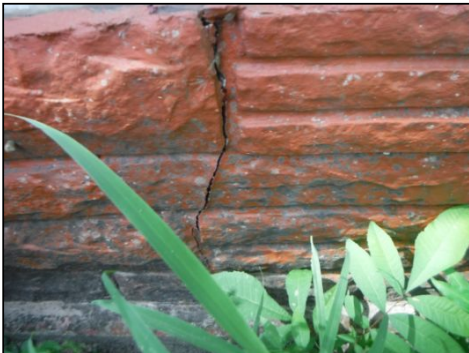
Previous repair and refinish did not appear to be of professional contractor quality.



Wall cracks noted in one or more areas around the home. Further evaluation is recommended.



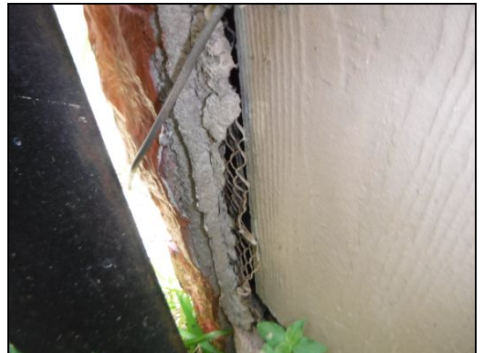
Wall cracks noted in one or more areas around the home. Further evaluation is recommended.



Cracks noted in the exterior veneer in one or more areas of the home. Repair is recommended.



**IMPORTANT NOTICE:** Wood rot noted on the exterior trim in one or more areas. Replacement is recommended.



Gaps in siding noted on corner of home



Damaged noted to exterior siding in one or more areas.



Loose trim boards on siding

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**F. Ceilings and Floors**

Ceiling and Floor Materials:

- Ceiling is made of drywall with popcorn and/or texture finish.
- Floors had laminate and/or engineered wood flooring in one or more locations.
- Floors had tile and/or stone covering in one or more areas.

Comments:

• \*\*\*\*\* **CEILINGS** \*\*\*\*\*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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- **IMPORTANT NOTICE:** A mold like substance was found growing on the ceiling of the bathroom. Further evaluation and proper repair is recommended.
- Tape seam showing in the bathroom. Proper repair is recommended.
- Previous repairs to ceiling did not appear to be of professional contractor quality.
- Ceiling cracks noted in multiple areas around the home. Further evaluation to the cause is recommended.

• \*\*\*\*\* **FLOORS** \*\*\*\*\*

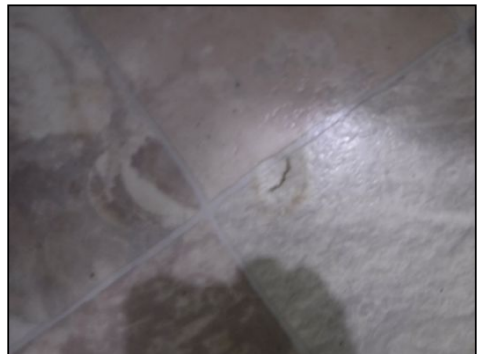
- **IMPORTANT NOTICE:** The flooring in the bathroom was out of level in multiple areas.
- **IMPORTANT NOTICE:** Damage to the flooring noted in the bathroom. Proper repair is recommended.
- Grout opportunities noted on the floor in the bathroom.
- Caulk opportunities noted on the baseboard in multiple areas.
- Baseboard was noted to be missing in one or more areas around the home.
- Spray foam used along gap of flooring in one of the bedrooms. Cleanup and proper repair is recommended.



*Tape seam showing in the bathroom. Proper repair is recommended.*



***IMPORTANT NOTICE:** The flooring in the bathroom was out of level in multiple areas.*



***IMPORTANT NOTICE:** Damage to the flooring noted in the bathroom. Proper repair is recommended.*

I=Inspected

NI=Not Inspected

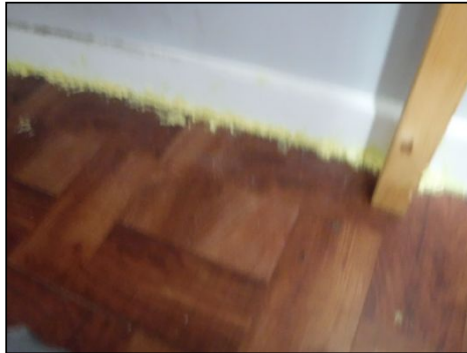
NP=Not Present

D=Deficient

I	NI	NP	D
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Previous repairs to ceiling did not appear to be of professional contractor quality.



Spray foam used along gap of flooring in one of the bedrooms



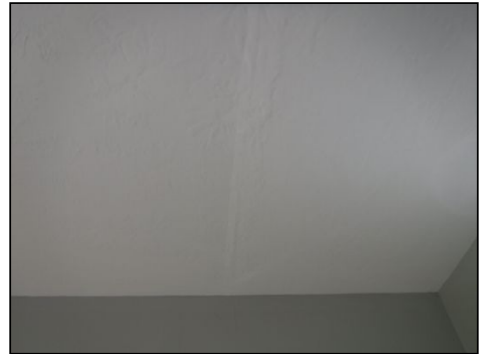
Previous repairs to ceiling did not appear to be of professional contractor quality.



Caulk opportunities noted on the baseboard in multiple areas.



Paper towels stuffed into area where baseboard was missing



Previous repairs to ceiling did not appear to be of professional contractor quality.



Tape seam showing in the bathroom. Proper repair is recommended.



**IMPORTANT NOTICE:** A mold like substance was found growing on the ceiling of the bathroom. Further evaluation and proper repair is recommended.



**IMPORTANT NOTICE:** A mold like substance was found growing on the ceiling of the bathroom. Further evaluation and proper repair is recommended.



**IMPORTANT NOTICE:** The flooring in the bathroom was out of level in multiple areas.

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I	NI	NP	D
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**G. Doors (Interior and Exterior)**

Comments:

• \*\*\*\*\* EXTERIOR DOORS \*\*\*\*\*

- **IMPORTANT NOTICE:** There was not a dead bolt lock on the side entry door. Exterior doors should have a locking mechanism. Updating is recommended.
- **IMPORTANT NOTICE:** The side entry door was noted to have a crack in it. Replacement is recommended.
- The weather strip on the side door was noted to be damaged. Replacement is recommended.

• \*\*\*\*\* INTERIOR DOORS \*\*\*\*\*

- **IMPORTANT NOTICE:** The master bedroom door had been cut at the top and no longer fit properly into the door opening. Replacement is recommended.
- **IMPORTANT NOTICE:** One or more door frames was noted to be out of level. Further evaluation as to the cause is recommended.
- One or more doors does not properly latch. Adjustments are recommended.
- One or more closet doors would not latch properly. Adjustments are recommended.



*The weather strip on the side door was noted to be damaged. Replacement is recommended.*



*IMPORTANT NOTICE: One or more door frames was noted to be out of level. Further evaluation as to the cause is recommended.*



*Air leaks noted around doors*



*IMPORTANT NOTICE: The side entry door was noted to have a crack in it. Replacement is recommended.*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**H. Windows**

Window Types:

- Windows are made of aluminum.
- Windows are single hung type.

Comments:

- **IMPORTANT NOTICE:** Signs of lost seals and damaged weather strip was noted in the primary bedroom. Proper repair is recommended.
- **IMPORTANT NOTICE:** One or more of the bedroom windows are inoperable. At least one window in each bedroom should fully open with free access to the outside for safety concerns.
- **IMPORTANT NOTICE:** Non-removable bars, grilles or screens were observed over one or more of the bedroom windows. When these obstructions are placed over emergency escape windows; they should be removable from the inside without the use of special tools or keys. At least one window in each bedroom should fully open with free access to the outside for safety concerns.
- **IMPORTANT NOTICE:** Spray foam was noted to fill gaps around windows in one or more areas. Further evaluation and proper repair is recommended.
- **IMPORTANT NOTICE:** Missing or damaged screens noted in one or more areas around the home.
- **IMPORTANT NOTICE:** Vines were growing inside the window frame on one of the bedroom windows. Removal of the vines and sealing of the window is recommended.
- **IMPORTANT NOTICE:** A crack was noted in a window in one of the bedrooms.
- At the time of the inspection the inspector was unable to visually inspect or operate some of the windows due to height, window treatments, personal effects, large, heavy or fragile storage and/or furniture.
- Weather stripping and/or glazing was either damaged and/or missing at one or more windows.
- **TREC LIMITATIONS:** The inspector is not required to exhaustively observe insulated windows for evidence of broken seals; exhaustively observe glazing for identifying labels; or identify specific locations of damage.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Front window would not open



**IMPORTANT NOTICE:** Spray foam was noted to fill gaps around windows in one or more areas. Further evaluation and proper repair is recommended.



**IMPORTANT NOTICE:** Vines were growing inside the window frame on one of the bedroom windows. Removal of the vines and sealing of the window is recommended.



**IMPORTANT NOTICE:** Non-removable bars, grilles or screens were observed over one or more of the bedroom windows. When these obstructions are placed over emergency escape windows; they should be removable from the inside without the use of special tools or keys. At least one window in each bedroom should fully open with free access to the outside for safety concerns



**IMPORTANT NOTICE:** Missing or damaged screens noted in one or more areas around the home.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>I. Stairways (Interior and Exterior)</b>
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Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>J. Fireplaces and Chimneys</b>
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Locations:

Types:

Comments:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>K. Porches, Balconies, Decks, and Carports</b>
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Comments:

• \*\*\*\*\* PORCH\*\*\*\*\*

• **IMPORTANT NOTICE:** The porch on the side of the home was noted to have a negative slope. Further evaluation and proper repair is recommended.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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*IMPORTANT NOTICE: The porch on the side of the home was noted to have a negative slope. Further evaluation and proper repair is recommended.*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>L. Other</b>
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Materials:  
• Cabinetry

Comments:  
• \*\*\*\*\* CABINETS \*\*\*\*\*

- Previous moisture damage noted to the floor of the bathroom cabinet.
- Damage noted to the cabinets in one or more areas around the home.



*Damage noted to the cabinets in one or more areas around the home.*

## II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. Service Entrance and Panels</b>
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- Panel Locations:  
Materials and Amp Rating:
- Service Conductor Wiring: Copper.
  - Branch Conductor Wiring: Copper.
  - Main Breaker Size: 125 Amps.



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Comments:

• \*\*\*\*\* OVERHEAD SERVICE DROP \*\*\*\*\*

- IMPORTANT NOTICE: The service entrance weatherhead does not have adequate clearance from the roof and/or structure.
- Service entrance wiring is overhead.
- Service entrance wires over the side or rear yard should be a minimum of {10'} above the ground and {12'} above the driveway.

• \*\*\*\*\* SERVICE PANEL \*\*\*\*\*

- IMPORTANT NOTICE: Double lugged breakers noted in the panel. Repair by a licensed electrician is recommended.
- INFORMATION: One or more white conductor was used as an ungrounded, or “hot”, wire. Insulation on ungrounded conductors should be a continuous color other than white, gray or green. There are exceptions that allow a white or gray conductor which is part of a cable to be permanently re-identified as an ungrounded conductor at all terminations and at each location where the conductor is visible and accessible.
- Gaps wider than {1/8"} around the service panel must be sealed.
- NOTICE: The minimum standards for electrical service continue to evolve for the safety of the homeowner. Changes to the code are intended to make each home safer from fire and shock hazards. The Texas Real Estate Commission (TREC) has adopted Standards of Practice which may require an Inspector to report conditions as “Deficient” when performing an inspection for a buyer or seller, if they can be reasonably determined, without regard to the Code at the time the house was built. The adequacy of the electrical service and load calculations are outside of the scope of this inspection.
- No ARC fault breakers {AFCI} were observed at the service panel at the time of the inspection; although this may not have been a requirement when the home was built. Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. ARCI breakers provide fire protection by opening the circuit when an arcing fault is detected.
- The service panel is NOT completely and/or properly labeled. All breakers must be specifically identified as to appliances, lighting and receptacles.
- This should not be considered an all-inclusive or exhaustive list of deficiencies in the electrical system and many of these items may be technical deficiencies without real need for repair. A qualified, licensed electrical contractor should be selected to further evaluate these service panels, and the conditions noted in § II. Electrical Systems B. Branch Circuits below and make repairs and replacements as necessary.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

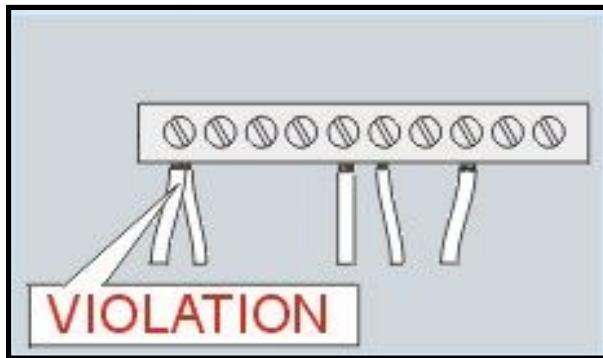
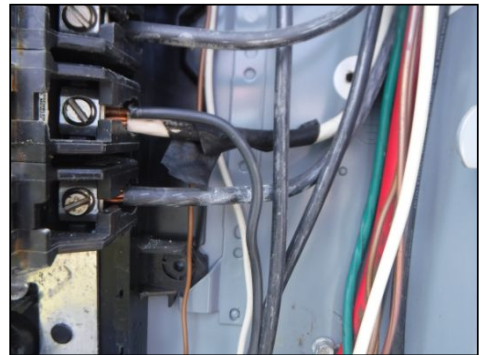
I	NI	NP	D
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Gaps wider than {1/8"} around the service panel must be sealed.



**IMPORTANT NOTICE:** The service entrance weatherhead does not have adequate clearance from the roof and/or structure.



Example of double lugged wires

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>B. Branch Circuits, Connected Devices, and Fixtures</b>
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Type of Wiring:  
 • Copper wiring.

Comments:

• \*\*\*\*\* **GFCI** & **OUTLETS** \*\*\*\*\*

- **IMPORTANT NOTICE:** GFCI receptacles were not observed at all required locations at the time of the inspection.
- **IMPORTANT NOTICE:** One or more of the receptacles were noted to have an open ground. Review and repair by a licensed electrician is recommended.
- **IMPORTANT NOTICE:** Older two prong outlets were noted in one or more areas of the home. Updating to current standards is recommended.
- **IMPORTANT NOTICE:** Damaged and/or missing outlet and/or switch covers were observed. This situation creates a Safety Hazard and should be corrected.
- **IMPORTANT NOTICE:** No power to outlet in one of the bedrooms. Further evaluation is recommended.
- **INFORMATION:** GFCI outlets are intended to protect persons from accidental electrocution in areas susceptible to moisture. Locations these devices are now required

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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include: all kitchen countertop receptacles, the dishwasher receptacle, bathroom receptacles, receptacles within 6' of water, all outdoor receptacles, laundry room receptacles and all receptacles in the garage space.

- INFORMATION: The electric outlet/receptacle at the clothes dryer connection was a 3-prong outlet.
- TREC Standards of Practice reporting requirement.

Ground Fault Circuit Interrupt (GFCI) Protection:

Bathrooms: No. Reset located at: N/A.

Garage: N/A. Reset located at: N/A.

Outdoors: N/A. Reset located at: N/A.

Kitchen: No. Reset located at: N/A.

Dishwasher: No. Reset located at: N/A.

Disposer: No. Reset located at: N/A.

Laundry room: No. Reset located at: N/A.

• \*\*\*\*\* LIGHTING \*\*\*\*\*

- IMPORTANT NOTICE: The ceiling fan pull chain was missing in one of the bedrooms.
- NOTE: Multiple light fixtures were missing covers. Replacement is recommended.
- Multiple light bulbs missing or nonfunctional around the property. Replacement is recommended.

• \*\*\*\*\* DOORBELLS & SMOKE ALARMS \*\*\*\*\*

- IMPORTANT NOTICE: Inadequate smoke/CO coverage noted.

Beginning with the 2009 IRC, an approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units in which fuel-fired appliances are installed and in dwellings that have attached garages. It is now common to use combination devices in areas requiring both smoke and carbon monoxide alarms. The TREC Standards of Practice does not require that the lack of carbon monoxide alarms be reported as a deficiency, only that deficiencies in the operation of installed alarms be reported. TREC Standards of Practice reporting requirement.

- Smoke/fire alarms: #: 1 No. tested: 1 No. failed: 1
- There was not a doorbell associated with this unit.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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- Life Expectancy – Smoke Alarms: The U.S. Fire Administration for Homeland Security, the National Fire Protection Association (NFPA), the National Electrical Manufacturers Association (NEMA) and the Red Cross agree after working for 87,000 hours (about 10 years), normal environmental conditions in the home can have an impact on the performance of your smoke alarm.

- Life Expectancy – Carbon Monoxide (CO) Alarms: When CO alarms were introduced into the market, they had a limited lifespan of 2 years. Technology developments have increased this and many now advertise up to 7 years. Beginning in March 2007, UL 2034, the standard for single and multi-station CO alarms, required that all CO alarms have an audible “end of life” warning. The end of life warning alerts you that the unit has reached its expiration and should be replaced. Any CO alarm manufactured after April 2007 with a UL listing must include an end of life warning".

- Combination alarms #: 0 No. tested: 0 No. failed: 0

- CO alarms #: 0 No. tested: N/A No. failed: N/A

- Smoke and Carbon Monoxide alarms should be tested regularly per the manufacturer’s instructions; typically weekly or monthly. At a minimum, alarms should be tested per the National Fire Protection Association’s recommendations; test every six months and replace batteries every year.

• \*\*\*\*\* MISC COMMENTS \*\*\*\*\*

- IMPORTANT NOTICE: Exposed wiring noted in the pantry. Wiring should be encase in conduit for proper protection.

- IMPORTANT NOTICE: Two wire to three wire electrical was noted to be connected in the attic space. Further evaluation and repair by a licensed electrician is recommended.

- IMPORTANT NOTICE: Open junction boxes noted in the attic. Covering is recommended.

- IMPORTANT NOTICE: Exposed romex type wiring on exterior of home. All romex type wiring should be in conduit.

- IMPORTANT NOTICE: Wiring connections were not installed in junction boxes in the attic. Further evaluation and proper repair is recommended.

- This should not be considered an all-inclusive or exhaustive list of deficiencies in the electrical system and many of these items may be technical deficiencies without real need for repair.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

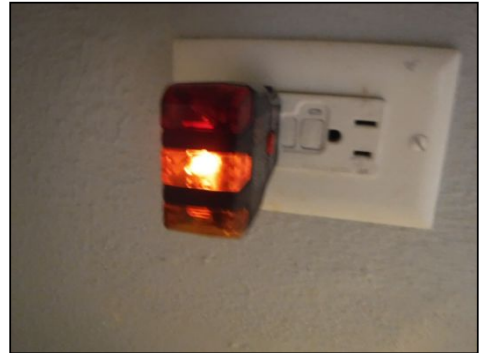
I	NI	NP	D
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*IMPORTANT NOTICE: One or more of the receptacles were noted to have an open ground. Review and repair by a licensed electrician is recommended.*



*IMPORTANT NOTICE: Older two prong outlets were noted in one or more areas of the home. Updating to current standards is recommended. Damaged outlet cover noted as well.*



*GFCI outlet with open ground is not GFCI protected*



*IMPORTANT NOTICE: One or more of the receptacles were noted to have an open ground. Review and repair by a licensed electrician is recommended.*



*Timer in kitchen pantry was disabled*



*The ceiling fan pull chain was missing in one of the bedrooms.*



*NOTE: Multiple light fixtures were missing covers. Replacement is recommended.*



*No power to outlet for unknown reason*

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

I	NI	NP	D
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*IMPORTANT NOTICE: Open junction boxes noted in the attic. Covering is recommended.*



*IMPORTANT NOTICE: Wiring connections were not installed in junction boxes in the attic. Further evaluation and proper repair is recommended.*



*IMPORTANT NOTICE: Two wire to three wire electrical was noted to be connected in the attic space. Further evaluation and repair by a licensed electrician is recommended.*



*Smoke detector over ten years old*



*Exposed romex type wiring on exterior of home*

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

✓				✓	<b>A. Heating Equipment</b>
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Type of Systems:  
 • Electric forced hot air.

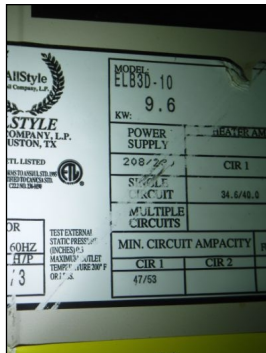
Energy Sources:  
 • The furnace is electrically powered.

Comments:  
 • \*\*\*\*\* COMMENTS \*\*\*\*\*

- **IMPORTANT NOTICE:** There was not a clear, unobstructed passageway to the attic mechanicals. This does not meet current standards and updating is recommended.
- The unit appeared to be functioning as intended at the time of the inspection.
- Although fully functional, the unit appeared older and budgeting for replacement is recommended.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Furnace Model # ELB30-10



Furnace Serial # 07K04375N



Lendell brand furnace



Example of heat at registers

✓	✓		
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## B. Cooling Equipment

Type of Systems:

- Central Forced Air System.

Comments:

• **IMPORTANT NOTICE:** The exterior condensing unit was fenced in and could not be fully inspected. Although it appeared to be fully functioning, it is recommended to have a licensed HVAC technician review the unit prior to the end of the option period.

• The Texas Real Estate Commission requires that an inspection include an evaluation of the cooling equipment performance in the reasonable judgment of the inspector. This is not an evaluation of the system's operation against manufacturer's standards; to do so would require a licensed HVAC contractor. This is a simple evaluation against a "rule of thumb" which would expect a 14° F – 20° F drop between the Return Air temperature and the Supply Air with the higher end of the range required as the ambient humidity level rises. [Source: Construction Science Department, College of Architecture | Texas A&M University] The temperature differential is typically measured at the duct work as close to the evaporator as feasible. A FLIR C2 Thermal Image Camera were used for these measurements.

System 1: Return = 79.3° F, Supply = 63.2° F, Differential = 16.1° F

We operated the system over time and determined that the systems did cool the rooms from the initial temperature point.

- No P-Trap was visible on the condensate line and is required under current mechanical

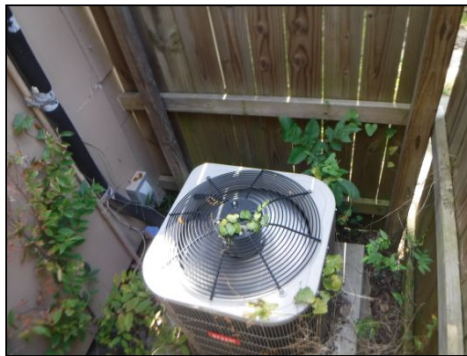
I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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standards.

- NOTE: Cooling Equipment has a useful life cycle depending on type of equipment and whether it has been regularly serviced and maintained. We recommend that you view (or ask for) any disclosure form or statement to see if any repairs may have been made to this equipment which might indicate to you past or continual problems and in the case of a fairly new system a copy of the contractor's and manufacturer warranty to see if any warranty is available and can be transferred.

Without regard to its performance at the time of this inspection, because of the potential cost of repair or replacement, we recommend that older Cooling Equipment be further evaluated by a qualified HVAC specialist, during the Option period, to help determine remaining life and cost of replacement.



*IMPORTANT NOTICE: The exterior condensing unit was fenced in and could not be fully inspected. Although it appeared to be fully functioning, it is recommended to have a licensed HVAC technician review the unit prior to the end of the option period.*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C. Duct Systems, Chases, and Vents</b>
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Comments:

- \*\*\*\*\* DUCTWORK \*\*\*\*\*

- Ductwork in attic space was observed to have lost its support and needs to be re-attached.

- Various leaks were observed around the plenum and/or ductwork and should be sealed for proper air quality.

- \*\*\*\*\* REGISTERS \*\*\*\*\*

- IMPORTANT NOTICE: A mold like substance was noted to be growing on one or more registers. Further review and cleaning is recommended.

- Registers were functional.

- \*\*\*\*\* FILTERS \*\*\*\*\*

- Filter was located in the hall ceiling.

- \*\*\*\*\* RETURN AIR \*\*\*\*\*



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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- The return air chase appeared dirty and should be cleaned to maintain air quality.

• \*\*\*\*\* THERMOSTAT \*\*\*\*\*

- **IMPORTANT NOTICE:** The thermostat was not able to be tested by the inspector as it was in a locked cover and the owner did not bring a key to open it. Instead, the unit was operated by the owner through a mobile app. It is recommended to follow up with the seller to ensure there is a key for the unit and/or get the app and access information for the unit upon closing.



*IMPORTANT NOTICE: A mold like substance was noted to be growing on one or more registers. Further review and cleaning is recommended.*

#### IV. PLUMBING SYSTEM

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>A. Plumbing Supply, Distribution System and Fixtures</b>
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Location of Water Meter:

- Water meter & Main supply not located at time of inspection.

Location of Main Water Supply Valve:

Comments:

• \*\*\*\*\* EXTERIOR \*\*\*\*\*

- **IMPORTANT NOTICE:** Exposed water lines noted on the exterior of the home. Insulating the lines is recommended.

- This inspection does not determine the age, composition or condition of the inaccessible and/or non-visual plumbing pipes. Client should be made aware that a complete inspection of the gas, waste and water supply piping using video cameras, hydrostatic and supply line testing will reduce risk as underground plumbing repairs are expensive.

- One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system.

- **NOTE:** The type or condition of plumbing materials in inaccessible areas such as underground gas, water supply or drain/waste/vent piping was not determined.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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- The anti static water pressure was observed at 49 psi.
- The anti static water pressure readings are typically at {40-70 psi} in the normal operating range. Pressure exceeding these limits or higher than {70 psi} is likely to put excessive pressure on the household water system. It is recommended that a licensed plumber and/or the city water department further evaluate in the event a pressure reducing valve is required for safety concerns.
- INFORMATION: The water pressure measured represents a single point in time and is not represented as a constant. Factors in pressure may include time of day and demand on the system including use of dishwasher, clothes washer, irrigation systems, etc. Acceptable pressure is between 40 and 80 psi.

• \*\*\*\*\* INTERIOR \*\*\*\*\*

- IMPORTANT NOTICE: When one or more water fixtures was running, the toilet would not flush. The toilet flushed without an issue when no other water fixtures were running. Further evaluation and repair by a licensed plumber is recommended.
- NOTE: The water lines were noted to be copper.

• \*\*\*\*\* TOILETS \*\*\*\*\*

- Caulk opportunities noted around the base of the toilet. Replacement is recommended.

• \*\*\*\*\* SHOWERS \*\*\*\*\*

- IMPORTANT NOTICE: The shower diverter was noted to leak. Further evaluation and proper repair is recommended.
- IMPORTANT NOTICE: The shower head leaks at the connection. Further evaluation and proper repair is recommended.
- IMPORTANT NOTICE: Shower collar was missing. Replacement is recommended.
- Caulk opportunities noted around the shower insert in one or more areas. Replacement is recommended to help maintain a water tight seal.

- The kitchen sprayer appeared to be clogged.

• \*\*\*\*\* KITCHEN \*\*\*\*\*

- The kitchen faucet was missing an aerator. Replacement is recommended.

• \*\*\*\*\* SINKS \*\*\*\*\*

- The drain stopper was not functional in the bathroom sink.

• \*\*\*\*\* BATHTUBS \*\*\*\*\*

- IMPORTANT NOTICE: The bathroom tub was noted to be slow to drain. Further

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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evaluation and proper repair is recommended.

- **IMPORTANT NOTICE:** Tub faucet handles were not sealed to the wall. Updating is recommended.

- **IMPORTANT NOTICE:** There was duct tape in the bathtub. Presumably this was covering damage to the tub. Further evaluation and proper repair is recommended.

- The drain stopper was missing in the bathtub. Replacement is recommended.



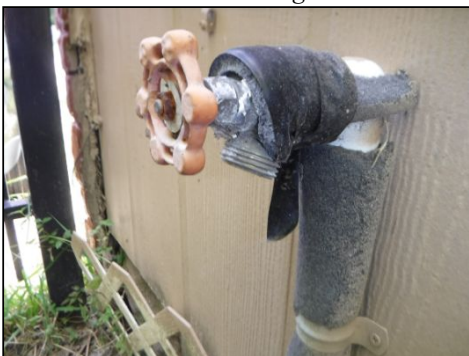
*Caulk opportunities noted around the shower insert in one or more areas. Replacement is recommended to help maintain a water tight seal.*



*The kitchen faucet was missing an aerator. Replacement is recommended.*



*The kitchen sprayer appeared to be clogged..*



*One or more of the exterior water hose bibs {faucets} was not equipped with a back flow and/or anti-siphon {vacuum breaker} device. An anti-siphon device prevents unsanitary water from being pulled back through a garden hose and/or lawn sprinklers and contaminating the household water system.*



*The anti static water pressure was observed at 49 psi.*



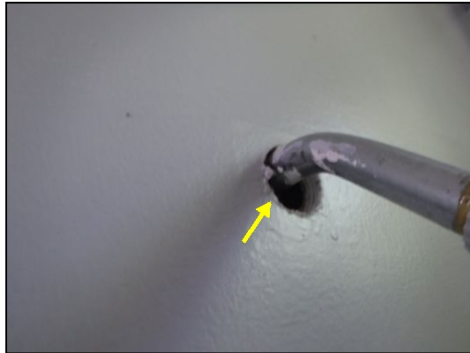
***IMPORTANT NOTICE:** Exposed water lines noted on the exterior of the home. Insulating the lines is recommended.*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Example of back flow prevention for exterior hose bibs



IMPORTANT NOTICE: Shower collar was missing. Replacement is recommended.



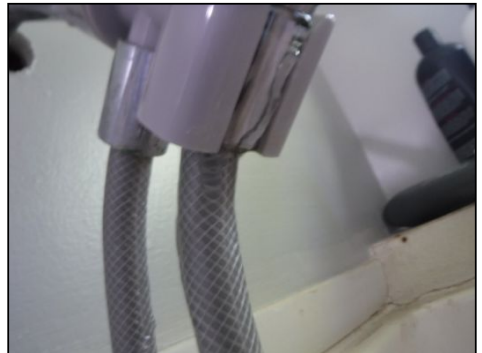
IMPORTANT NOTICE: Tub faucet handles were not sealed to the wall. Updating is recommended.



IMPORTANT NOTICE: The shower diverter was noted to leak. Further evaluation and proper repair is recommended.



IMPORTANT NOTICE: There was duct tape in the bathtub. Presumably this was covering damage to the tub. Further evaluation and proper repair is recommended.



IMPORTANT NOTICE: The shower head leaks at the connection. Further evaluation and proper repair is recommended.



Caulk opportunities noted around the base of the toilet. Replacement is recommended.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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**B. Drains, Wastes, and Vents**

Comments:

• \*\*\*\*\* DRAINS \*\*\*\*\*

- IMPORTANT NOTICE: Accordion pipe used for the drain in the kitchen. This does not meet current standards and updating is recommended.
- TREC LIMITATIONS: The inspector is not required to operate any main branch, or shutoff valves; operate or inspect sump pumps or waste ejector pumps; inspect any

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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system that has been winterized, shut down, or otherwise secured; circulating pumps, freestanding appliances, solar water heating systems, water conditioning equipment, filter systems, water mains, private water supply systems, water wells, pressure tanks, sprinkler systems,; the inaccessible gas supply system for leaks;' for sewer clean-outs; or for the presence or operation of private sewage disposal systems; determine quality, potability, or volume of the water supply; or the effectiveness of back flow or anti-siphon devices; or verify the functionality of clothes washing drains or floor drains.

- NOTICE: While some water was run down the drains, this cannot simulate the waste flows characteristic of full occupancy. Unless specified, fixtures and vessels were not filled to capacity for leak testing in order to prevent inadvertent water damage to the property. This means that some leaks may go undetected. Comprehensive water leak testing, including hydrostatic testing, is available from licensed plumbers, but typically takes 24 hours. Such testing is recommended in older homes (40+ years), homes with previous foundation repair and homes with evidence of poor foundation performance.
- The exterior main cleanout was not located at the time of inspection.



*IMPORTANT NOTICE: Accordion pipe used for the drain in the kitchen. This does not meet current standards and updating is recommended.*

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>C. Water Heating Equipment</b>
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Energy Source:  
 • Water heater was electric.

Capacity:  
 Comments:

• \*\*\*\*\* **WATER HEATER** \*\*\*\*\*

- Water Heater Brand: GE
- Model #: GE50T06AAG
- Serial #: GE0905247786

• \*\*\*\*\* **TPR VALVE** \*\*\*\*\*

• The overflow discharge line should terminate to the outside at a height of {6"} above the finished grade and remain uncapped.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

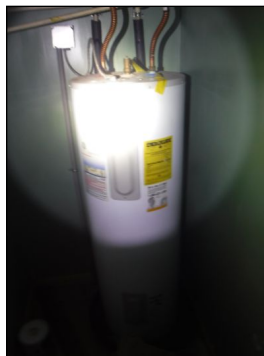
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- Overflow line is CPVC.
- TPR valve not tested due to age of unit.
- \*\*\*\*\* COMMENTS \*\*\*\*\*

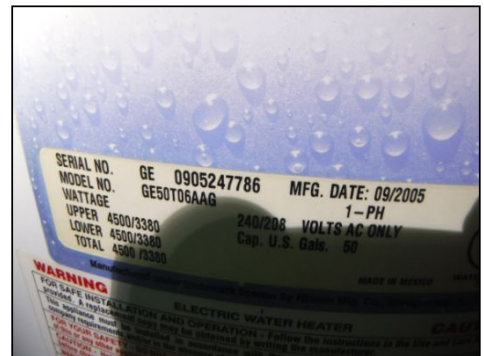
- IMPORTANT NOTICE: There was not a service disconnect located in the closet for the water heater. Updating to current standards is recommended.
- IMPORTANT NOTICE: The water temperature at the faucet locations was noted to exceed the {120 degree} scald limit and adjustments on the temperature control are recommended.
- Supply temperature: 136.0° F



Supply temperature: 136.0° F



Electric water heater in closet, no service disconnect.



Model # GE50T06AAG, Serial # GE0905247786

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>D. Hydro-Massage Therapy Equipment</b>
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Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>E. Other</b>
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Materials:  
Comments:

**V. APPLIANCES**

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>A. Dishwashers</b>
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Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>B. Food Waste Disposers</b>
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Comments:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>C. Range Hood and Exhaust Systems</b>
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Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>D. Ranges, Cooktops, and Ovens</b>
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Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>E. Microwave Ovens</b>
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Comments:

• \*\*\*\*\* MICROWAVE \*\*\*\*\*

• Counter top unit not staying with property.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>F. Mechanical Exhaust Vents and Bathroom Heaters</b>
--------------------------	--------------------------	-------------------------------------	--------------------------	---

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>G. Garage Door Operators</b>
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Door Type:

Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>H. Dryer Exhaust Systems</b>
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Comments:

• Could not fully inspect the dryer vent as it is enclosed in cabinetry or within the wall cavity.

• Safety: It is recommended to periodically check dryer ducts, baffles and hoods to ensure that they are not bound with lint. An accumulation of lint may create a fire and personal safety hazard.

No immediate evidence of a Deficiency was observed.

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>I. Other</b>
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Observations:

• Inspector gave a cursory inspection of unit to ensure it was functioning per buyer's request. No immediate issues noted.

### VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<b>A. Landscape Irrigation (Sprinkler) Systems</b>
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Comments:

• The irrigation system is controlled by the management company and was not tested.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

Type of Construction:  
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**C. Outbuildings**

Materials:  
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**D. Private Water Wells (A coliform analysis is recommended)**

Type of Pump:  
Type of Storage Equipment:  
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**E. Private Sewage Disposal (Septic) Systems**

Type of System:  
Location of Drain Field:  
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**F. Other**

Comments:



## Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
TPR Valve	The thermostat in a water heater shuts off the heating source when the set temperature is reached. If the thermostat fails, the water heater could have a continuous rise in temperature and pressure (from expansion of the water). The temperature and pressure could continue to rise until the pressure exceeds the pressure capacity of the tank (300 psi). If this should happen, the super-heated water would boil and expand with explosive force, and the tank would burst. The super-heated water turns to steam and turns the water heater into an unguided missile. To prevent these catastrophic failures, water heaters are required to be protected for both excess temperature and pressure. Usually, the means of protection is a combination temperature- and pressure-relief valve (variously abbreviated as T&P, TPV, TPR, etc.). Most of these devices are set to operate at a water temperature above 200° F and/or a pressure above 150 psi. Do not attempt to test the TPR valve yourself! Most water heating systems should be serviced once a year as a part of an annual preventive maintenance inspection by a professional heating and cooling contractor. From Plumbing: Water Heater TPR Valves