

# **TIGER EYE**



## **Inspection Report**

**Mr. Shawn Tillman**

**Property Address:**  
7710 Round Bank Dr.  
Houston Tx. 77064



**Tiger Eye Home Inspection Services**

**Van A Johnson TREC#10463  
4314 S Meridian Greens Dr  
Dickinson, Texas 77539  
(832)285-2717**

# PROPERTY INSPECTION REPORT FORM

Mr. Shawn Tillman	7/2/2023
<i>Name of Client</i>	<i>Date of Inspection</i>
7710 Round Bank Dr., Houston, Tx. 77064	
<i>Address of Inspected Property</i>	
Van A Johnson	TREC#10463
<i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:**

**In Attendance:**

Vacant (inspector only)

**Type of building:**

Single Family (1 story)

**Approximate age of building:**

Over 25 Years

**Temperature:**

Over 65 (F) = 18 (C)

**Weather:**

Hot and Humid

**Ground/Soil surface condition:**

Dry

**Rain in last 3 days:**

No

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

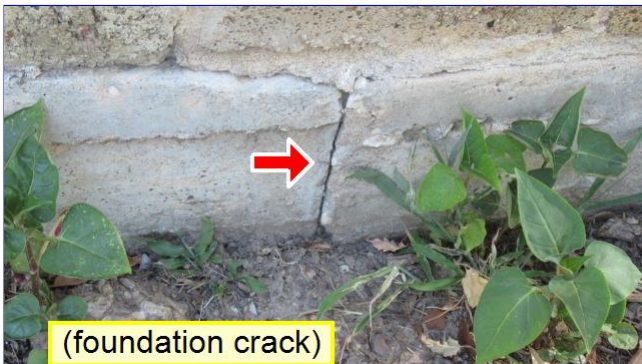
## I. Structural Systems

**A. Foundations**

**Type of Foundation(s):** Poured concrete

**Comments:**

This home is more than 40 years old and the foundation is not performing as intended. There is a foundation crack on the east side of the garage door. There are other indicators throughout the report that will support foundation movement. A structural engineer should be consulted.



A. Item 1(Picture)

**B. Grading and Drainage**

**Comments:**

Water is ponding in some areas around the foundation due to poor drainage or the lack of gutters. The front gutter need cleaning and securing. At the back of the home, the yard is higher than the home foundation. A qualified person should be consulted.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

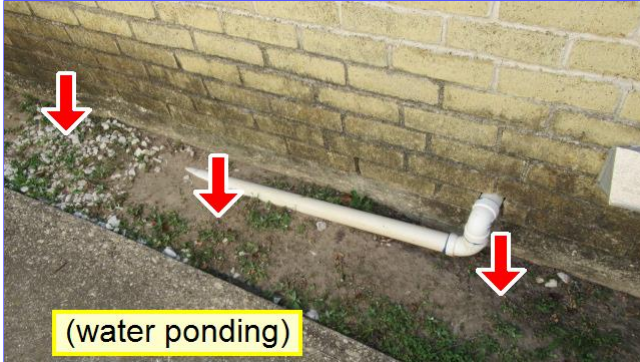
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B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



B. Item 4(Picture)



B. Item 5(Picture)

C. Roof Covering Materials

**Types of Roof Covering:** Asphalt/Fiberglass

**Viewed roof covering from:** Ground, high magnification zoom camera

**Comments:**

There are some tree limbs touching the roof covering at the rear of the home. The limbs need trimming.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



C. Item 1(Picture)



C. Item 2(Picture)

D. Roof Structures and Attics

**Roof Structure Type:** 2 X 4 Rafters, 2 X 6 Rafters, Not visible

**Method used to observe attic:** Walked

**Attic info:** Pull Down stairs, Light in attic

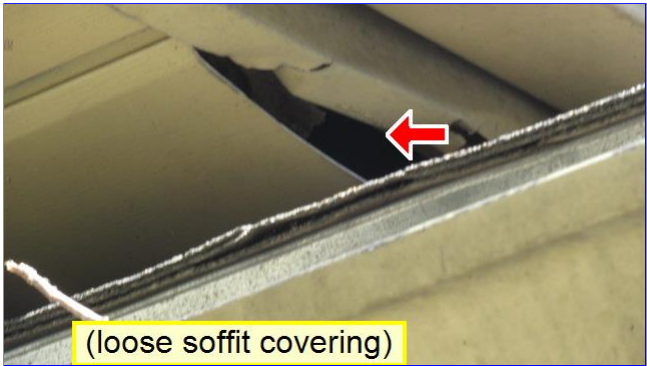
**Approximate Average Depth of Insulation:** not sure

**Comments:**

There is some loose soffit covering and fascia trim. Repairs are needed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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D. Item 1(Picture)



D. Item 2(Picture)

E. Walls (Interior and Exterior)

**Siding Material:** Vinyl, Brick veneer

**Wall Material:** Gypsum Board

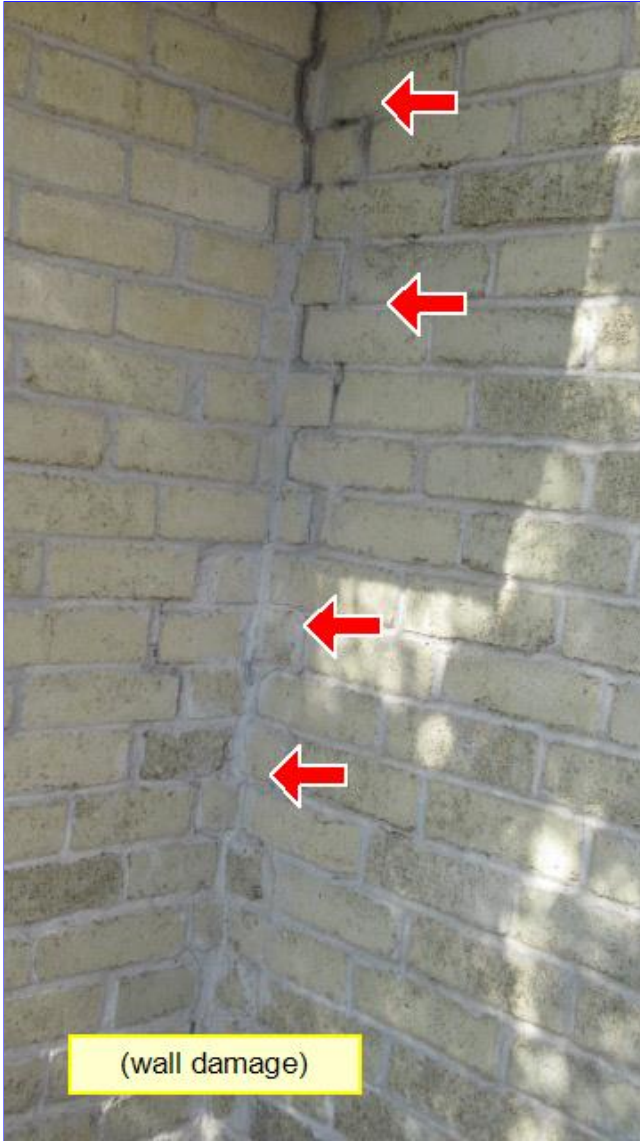
**Comments:**

There are several interior and exterior wall blemishes that need repairs.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

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E. Item 1(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

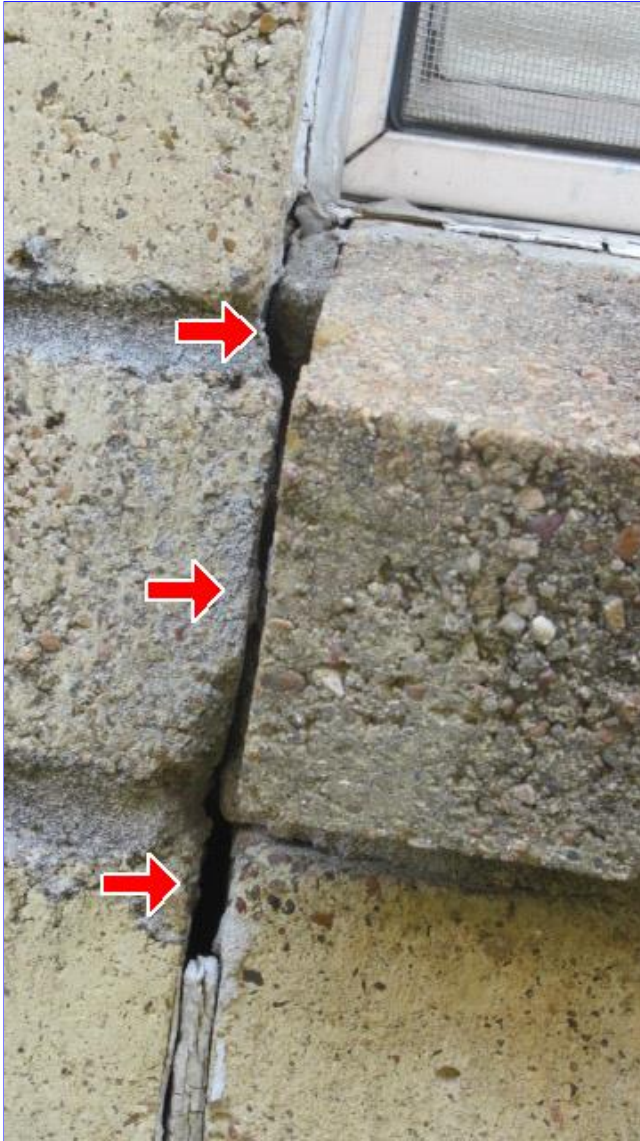
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E. Item 2(Picture)

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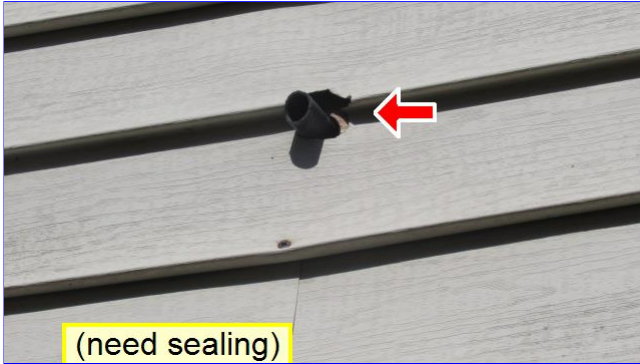
E. Item 3(Picture)



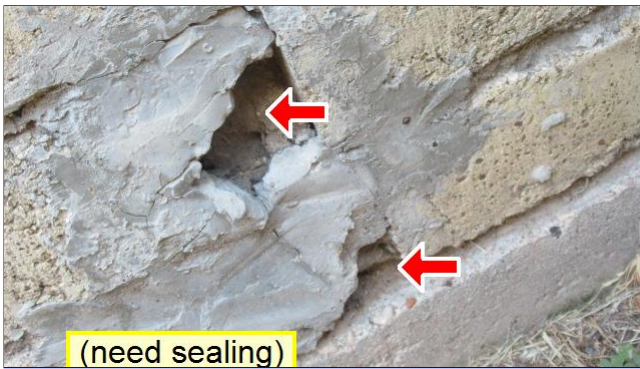
E. Item 4(Picture)

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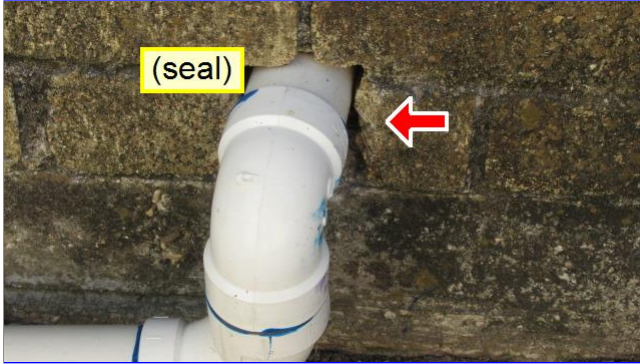
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E. Item 5(Picture)



E. Item 6(Picture)



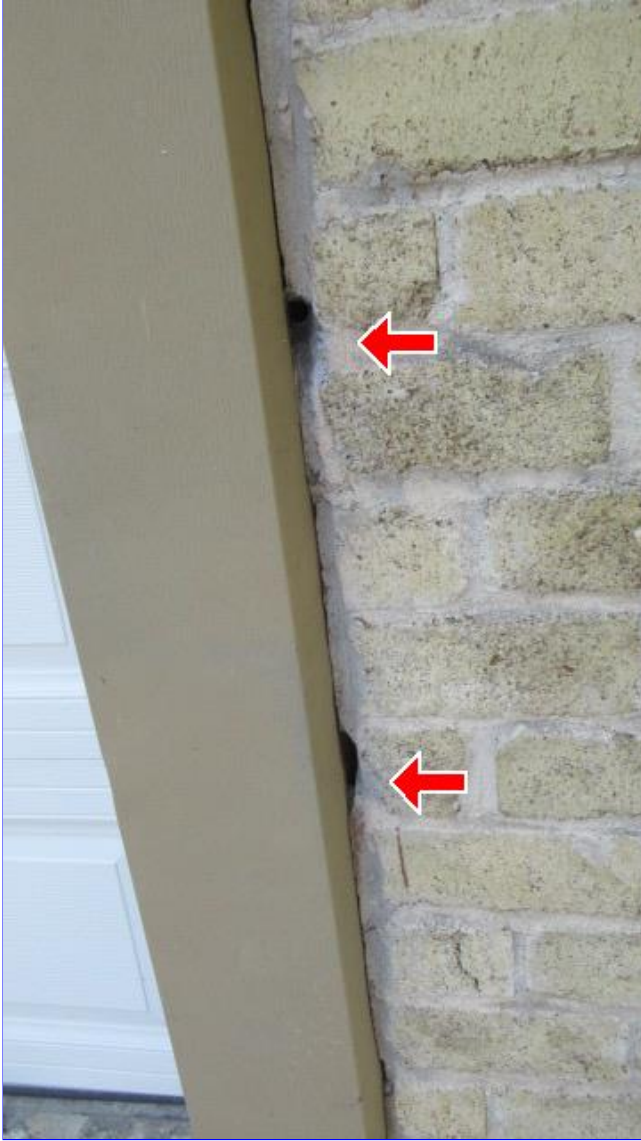
E. Item 7(Picture)



E. Item 8(Picture)

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I   NI   NP   D



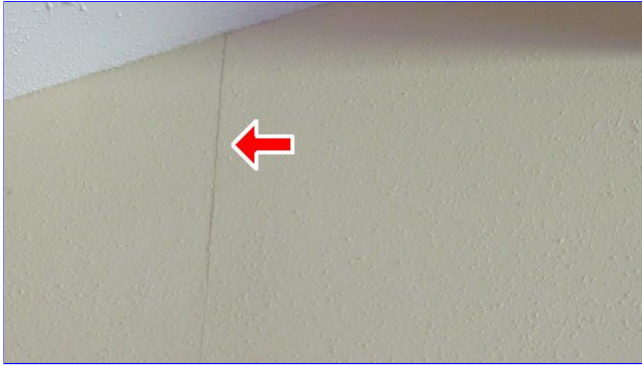
E. Item 9(Picture)



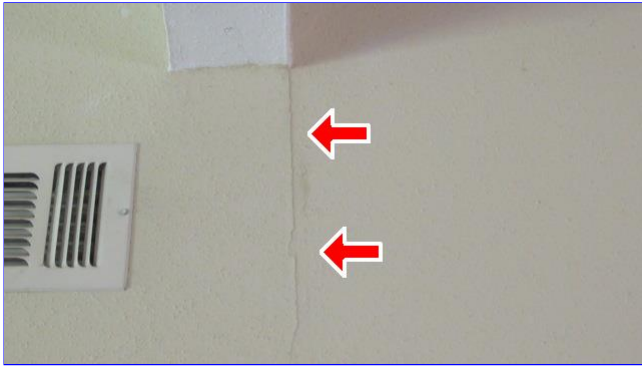
E. Item 10(Picture)

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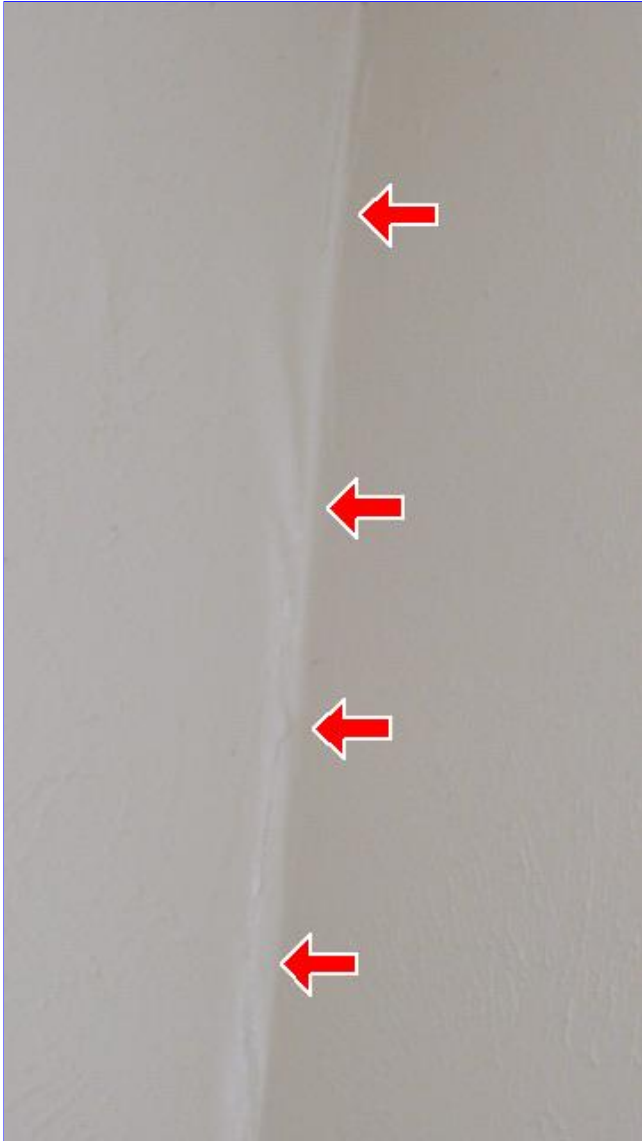
E. Item 11(Picture)



E. Item 12(Picture)

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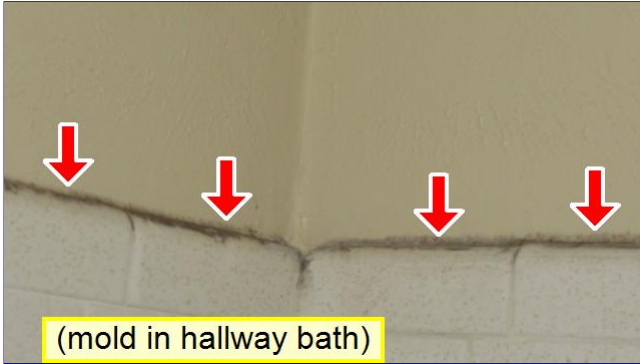
E. Item 13(Picture)



E. Item 14(Picture)

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E. Item 15(Picture)

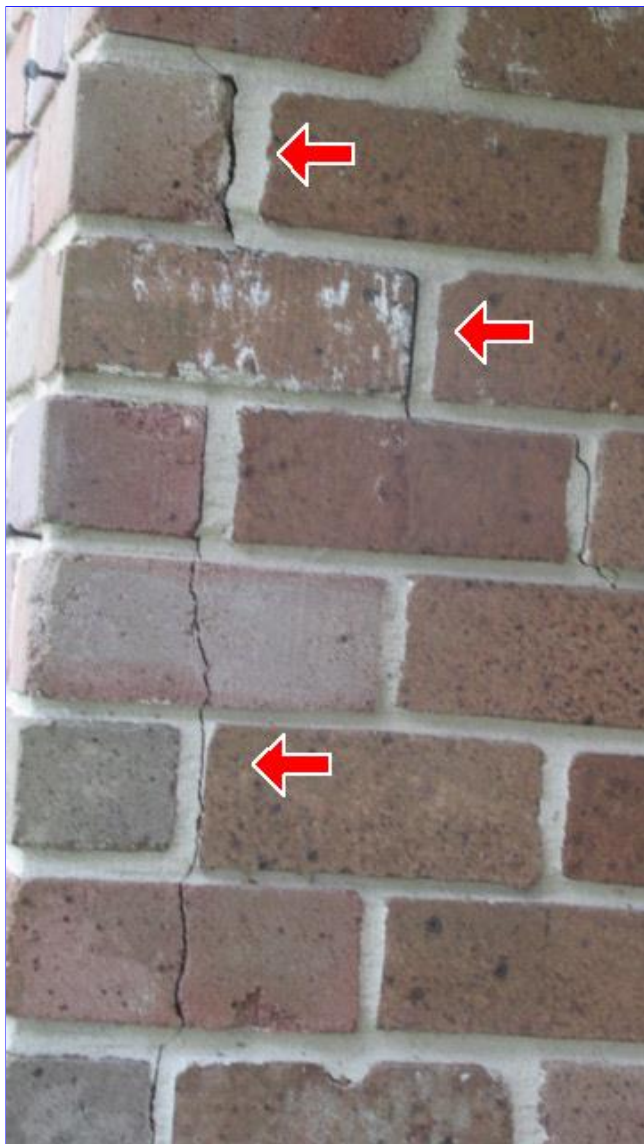


E. Item 16(Picture)



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



E. Item 17(Picture)

F. Ceilings and Floors

**Ceiling Materials:** Gypsum Board

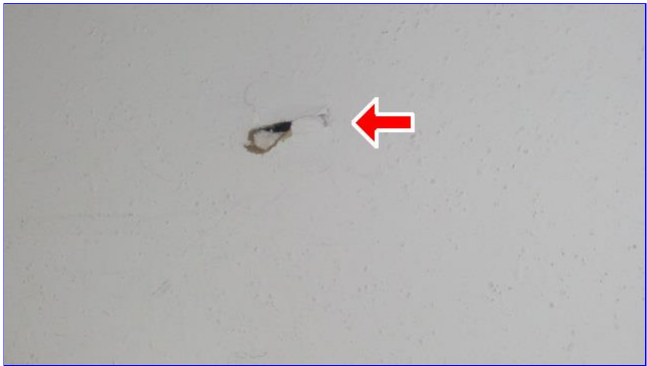
**Floor Covering(s):** Carpet, Laminated T&G

**Comments:**

There are some interior ceiling blemishes and some of the floors are not level. Repairs and further investigation is needed.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
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F. Item 1(Picture)



F. Item 2(Picture)



F. Item 3(Picture)



F. Item 4(Picture)

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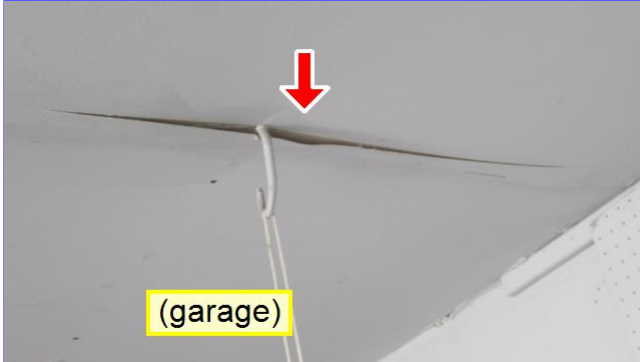
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F. Item 5(Picture)



F. Item 6(Picture)



F. Item 7(Picture)

**G. Doors (Interior and Exterior)**

**Exterior Entry Doors:** Wood

**Interior Doors:** Hollow core

**Comments:**

The back garage door is damaged. The patio storm door need adjustment. The garage area storm door does not have a closer. The door from the home to the garage area is not self closing. Repairs are needed.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



G. Item 1(Picture)

H. Windows

[Comments:](#)

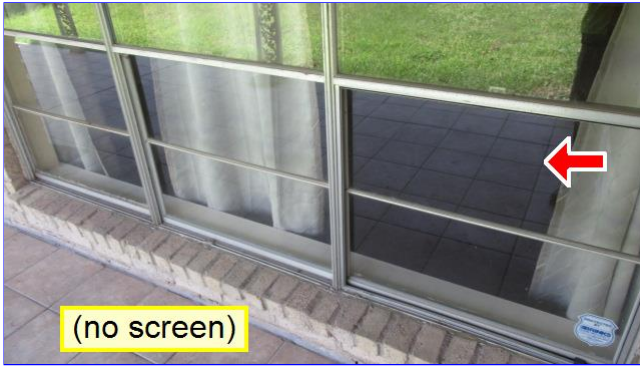
The windows do not have screens.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



H. Item 1(Picture)



H. Item 2(Picture)

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

**Chimney (exterior):** Brick

**Types of Fireplaces:** Solid Fuel

**Operable Fireplaces:** One

Comments:

K. Porches, Balconies, Decks and Carports

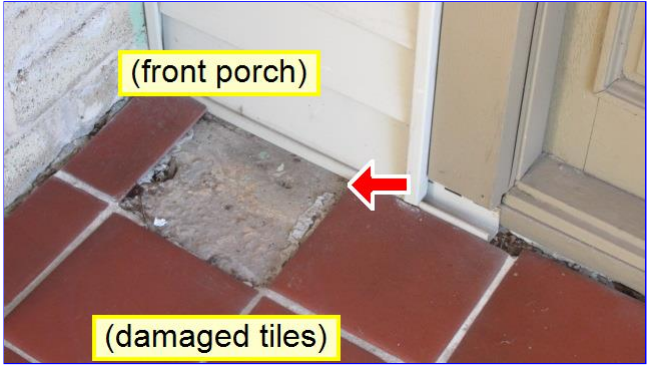
**Driveway:** Concrete

Comments:

The front porch has some damaged tiles. Repairs are needed.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



K. Item 1(Picture)

L. Other

Comments:

The decayed landscape timbers near the front entry should be removed. This condition can attract wood destroying insect activity.

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I   NI   NP   D

## II. Electrical Systems

A. Service Entrance and Panels

**Electrical Service Conductors:** Below ground

**Panel Capacity:** undetermined

**Panel Type:** Circuit breakers

**Electric Panel Manufacturer:** Unknown

**Comments:**

The main service panel does not have a main service disconnect breaker. The panel has more than 6 circuits breakers to terminate all power to the home. This is an electric code violation. Some of these circuits are not labeled. The main electric cable conduit is no longer sealed. A licensed electrician should be consulted.



A. Item 1(Picture)



A. Item 2(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



A. Item 3(Picture)

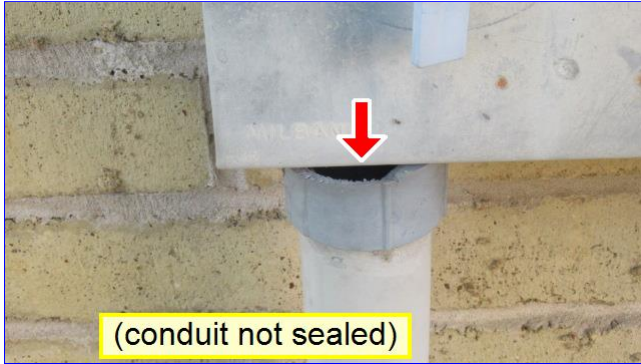


A. Item 4(Picture)



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



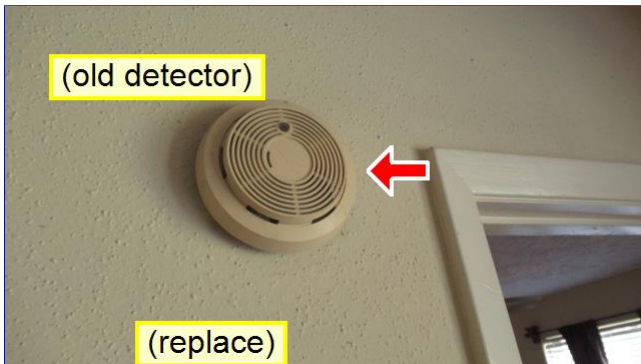
A. Item 5(Picture)

B. Branch Circuits, Connected Devices and Fixtures

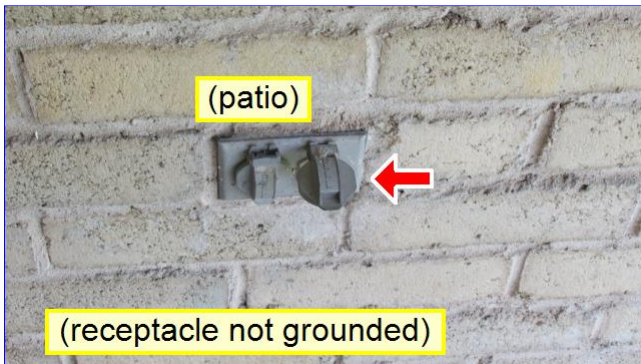
**Type of wiring:** Copper

**Comments:**

This home does not have code required smoke detectors installed inside each bedroom. The existing hallway detectors are old and should be replaced for **safety reasons**. On the exterior, the patio receptacle is not grounded. In the garage, a receptacle is without power, another one is not ground fault protected, and another one is not properly mounted. In the kitchen, the south countertop ground fault device has an "open neutral wire". There are some interior receptacles without covers. A licensed electrician should be consulted.



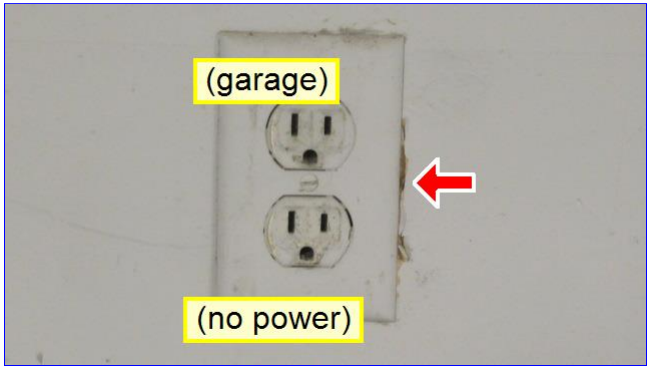
B. Item 1(Picture)



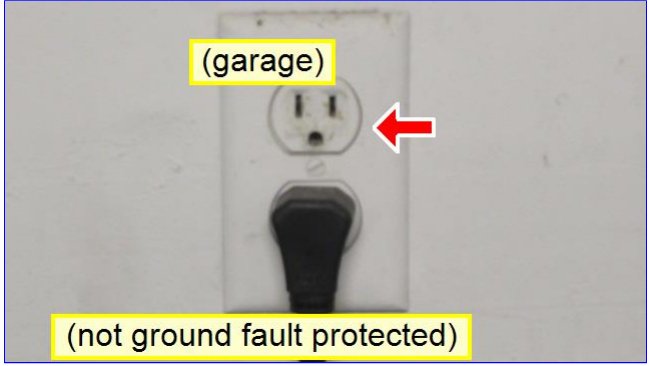
B. Item 2(Picture)

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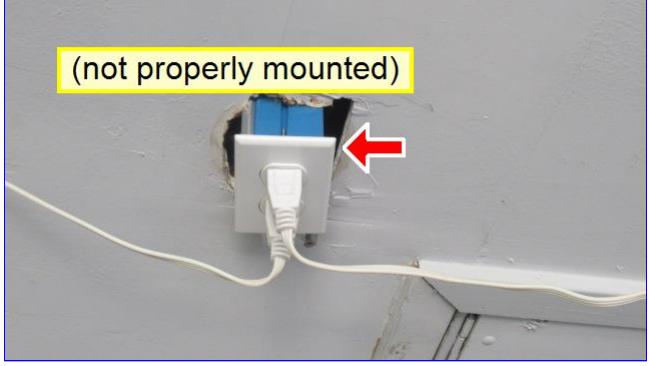
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B. Item 3(Picture)



B. Item 4(Picture)



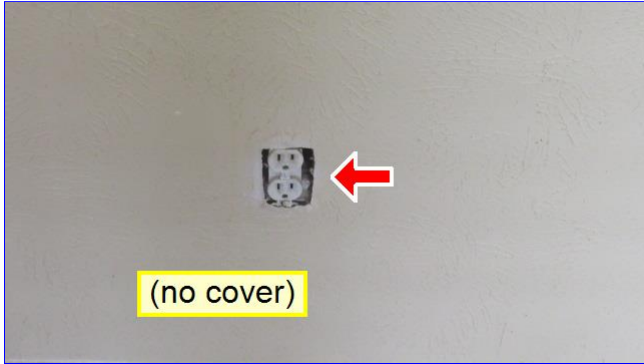
B. Item 5(Picture)



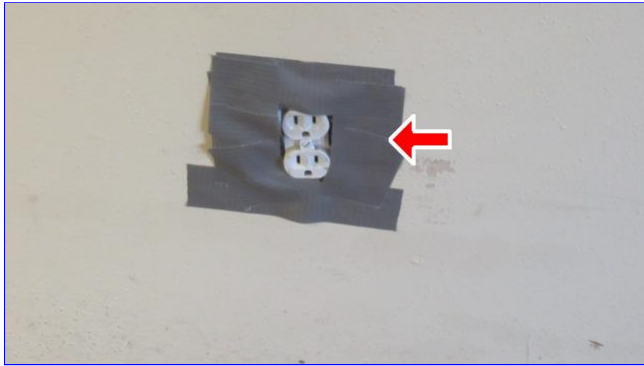
B. Item 6(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



B. Item 7(Picture)



B. Item 8(Picture)

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

### III. Heating, Ventilation and Air Conditioning Systems

A. Heating Equipment

**Type of Systems (Heating):** Electric heat

**Energy Sources:** Electric

**Number of Heat Systems (excluding wood):** One

**Heat System Brand:** LENNOX

**Comments:**

Did not operate the heating system due to the condition of the cooling system.

B. Cooling Equipment

**Type of Systems (Cooling):** Air conditioner unit

**Cooling Equipment Energy Source:** Electricity

**Number of AC Only Units:** One

**Central Air Brand:** LENNOX

**Comments:**

The cooling system is not cooling at all. The low pressure refrigerant line is frozen at the outside condensing unit. A licensed air conditioning specialist should be consulted.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

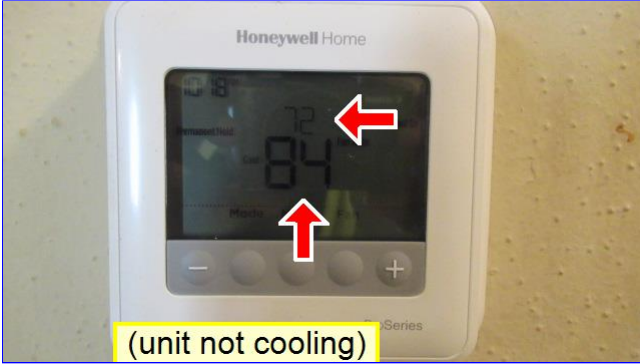
I   NI   NP   D



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)

C. Duct Systems, Chases and Vents

**Ductwork:** Insulated

**Comments:**

Most of the duct system was not visible in the attic. The visible ducts are old and damaged. Repairs and replacement is needed. The return air filter is dirty and need to be replaced.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



C. Item 1(Picture)



C. Item 2(Picture)

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



C. Item 3(Picture)



C. Item 4(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

## IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

**Water Source:** Public

**Plumbing Water Supply (into home):** Not visible

**Plumbing Water Distribution (inside home):** PVC, Not visible

**Location of water meter:** in yard

**Location of main water supply valve:** unknown

**Static water pressure reading:** 53

**Type of supply piping material:** not visible

**Type of drain piping material:** PVC, unknown

**Comments:**

In the master bath, the water pipes vibrate when the commode is filling. The water flows to the vanities decrease during this time. Further investigation is needed. In the east side hallway bath, the commode is leaking at the base(wax ring defective). The vanity faucets do not match and the drain pulls are not connected. The exterior hose bibs do not have vacuum breakers attached. A licensed plumber should be consulted.



A. Item 1(Picture)



A. Item 2(Picture)

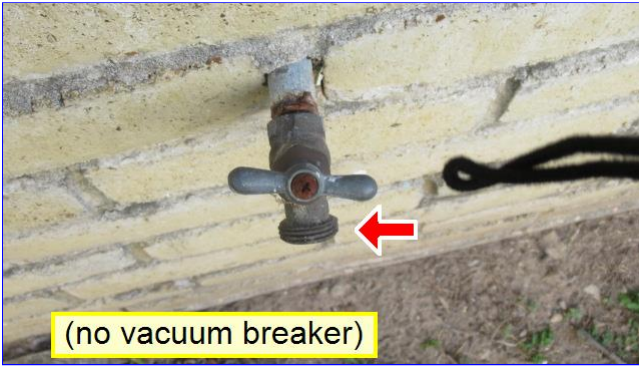


I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



A. Item 3(Picture)



A. Item 4(Picture)

B. Drains, Waste and Vents

**Plumbing Waste:** AGED

**Comments:**

C. Water Heating Equipment

**Water Heater energy sources:** Electric

**Water Heater Capacity:** 50 Gallon (2-3 people)

**Water Heater Location:** Garage

**WH Manufacturer:** MARATHON, UNKNOWN

**Comments:**

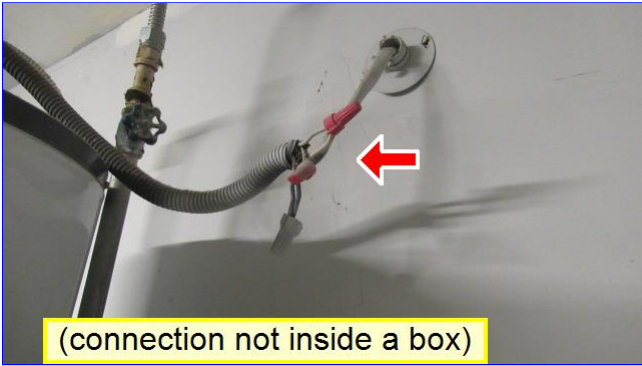
The wiring connections are not inside an electrical box. A licensed electrician should be consulted.

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I	NI	NP	D
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C. Item 1(Picture)



C. Item 2(Picture)

D. Hydro-Massage Therapy Equipment

[Comments:](#)

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I   NI   NP   D

## V. Appliances

A. Dishwasher

**Dishwasher Brand:** WHIRLPOOL

**Comments:**

The dishwasher is not secured to the cabinet and there is no water flow to it. Repairs are needed.



A. Item 1(Picture)



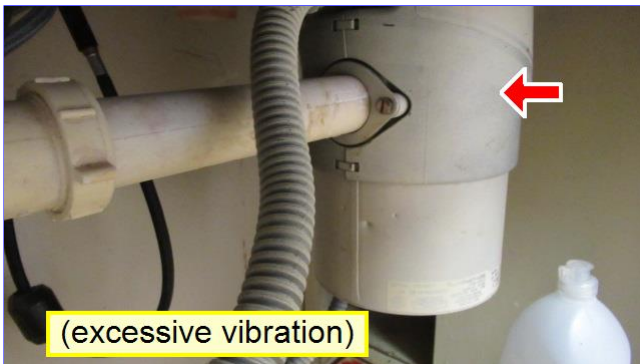
A. Item 2(Picture)

B. Food Waste Disposers

**Disposer Brand:** KENMORE

**Comments:**

The disposer works but has excessive vibration.



B. Item 1(Picture)

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
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C. Range Hood and Exhaust System  
**Exhaust/Range hood:** UNKNOWN BRAND  
**Comments:**

D. Ranges, Cooktops and Ovens  
**Range/Oven:** GENERAL ELECTRIC  
**Comments:**  
The range does not have an anti-tip device attached. This is a potential safety hazard.



D. Item 1(Picture)

E. Microwave Ovens  
**Built in Microwave:** unknown  
**Comments:**

F. Mechanical Exhaust Vents and bathroom Heaters  
**Comments:**

G. Garage Door Operator(s)  
**Auto-opener Manufacturer:** GENIE  
**Garage Door Type:** One automatic  
**Garage Door Material:** Metal  
**Comments:**  
The garage door opener does not have safety photo-eye sensors installed. This condition is a potential safety hazard. Repairs are needed.

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I   NI   NP   D



G. Item 1(Picture)

H. Dryer Exhaust System

[Comments:](#)