

Plantation Lakes
Architectural Review Committee

PLANTATION LAKES

BUILDER GUIDELINES

Plantation Lakes

Architectural Review Committee

TABLE OF CONTENTS

INTRODUCTION	3
GENERAL	3
SINGLE FAMILY RESIDENTIAL CONSTRUCTION	4
GUEST HOUSES	5
LOT MAINTENANCE	5
COMPOSITE BUILDING SITE	6
RESIDENTIAL FOUNDATION REQUIREMENTS	6
LOCATION OF IMPROVEMENTS UPON THE LOT	6
UTILITIES	7
ORIENTATION & EASEMENTS	7
BUILDING ELEVATION	7
DRIVEWAYS	8
CULVERTS	8
TEMPORARY STRUCTURES, OUT-BUILDINGS / ACCESSORY BUILDINGS, & GARAGES	9
SCREENING	9
MAILBOXES	10
REQUIREMENTS FOR LOTS ADJOINING PRIVATE LAKE	10
WINDOW AIR CONDITIONING UNITS	10
WALLS AND FENCES	11
SWIMMING POOLS / SPAS	11
VACANT LOT CLEARING AND MAINTENANCE	12
BUILDER SIGNS	12
SUBMISSION AND APPROVAL	12
SUBMISSION REQUIREMENTS	13
COMPLIANCE REQUIREMENTS	14
SUBMISSION FORMS	15-21

INTRODUCTION

Plantation Lakes is being developed as a single-family residential community.

This document is presented as a minimum set of development guidelines and standards for All Construction within the Plantation Lakes community. These guidelines are an aid in the goal that all development within the community contributes in a positive way to the overall quality of the surroundings.

These guidelines are supplemental to the Declaration of Covenants, Conditions and Restrictions and are to be used in architectural review of Builder, Developer or Owner plans. Non-compliance of these guidelines is grounds for disapproval of plans. These guidelines are also for use as standards for future compliance to maintain the integrity of the community. The developer (or its successors and/or its assigns) reserves the right to make changes to these guidelines as development progresses.

All New Construction of Residences, Structures, Additions, Outbuildings, Fences/Walls, & Culvert Installation must be Approved by the Architectural Control Committee.

New Construction must maintain the Harmony of Existing Structures on the Lot and within Plantation Lakes.

NOTE: TEMPORARY BUILDINGS, RV'S OF ANY TYPE INCLUDING TRAVEL TRAILERS ARE NOT ALLOWED ON ANY VACANT LOT OR DURING THE CONSTRUCTION OF A NEW HOME IN PLANTATIN LAKES. THIS INCLUDES SHACKS, TENTS OR ANY OTHER FORM OF A TEMPORARY STRUCTURE

COMPLETED HOMES MAY PARK RV'S/TRAILERS PER OUR DEED RESTRICTION GUIDELINES

GENERAL

The Property Owner is Solely responsible to develop/maintain individual lots in accordance with:

- Declaration of Covenants, Conditions and Restrictions
- Builder Guidelines and Standards
- Recorded Plats/Replats
- All Rules and Regulations of the Plantation Lakes Community Association, Inc.
- Supplemental Amendments

This includes: Compliance with building setback lines, lot layouts, driveways, sidewalks & garages

- Ties to utilities
- Ordinances/Regulations that may be in effect from Waller/Grimes County, TNRCC, EPA, State, Federal or any other governmental agency having applicable jurisdiction

Construction Start/Completion Times after plan approval:

- Start within 90 days
- Homes Exterior complete including Drive/Entrance within 12 months
- Non-Home Construction complete within 12 months

NOTE: There are Forms provided to aid the PO & the ARC with submitting and review of all Plans received. APPROVAL IS BASED STRICTLY ON THE PLANS SUBMITTED AND NOT THE COMMENTS MADE ON THE FORMS.

SINGLE FAMILY RESIDENTIAL CONSTRUCTION

- One dwelling unit per lot
- Residential purposes only
- Excludes Duplex's/Apartments/condominiums/townhouses
- Meets Harmony of Design with existing homes
- Log Home permitted
- All Structures built on Site
- Excludes Manufactured/Mobile homes
- Detached Garages/Dwellings constructed of similar materials
- Workshops/Barns/Garages not permitted for Residential purposes

SQUARE FOOTAGE

- Single Story – Minimum square foot – 1600
- Two Story – Minimum square foot – 2200
- Guest House Minimum square foot 750 to 1000 Max, or as approved by the ARC (See Guest House Specifics below)
- Square footage does not include porches/patios/garages/non-A/C space
- Maximum 2 Stories
- Maximum Height – 28 feet or as approved by the ARC

APPROVED ROOFS

- Minimum 30-year (4 Tab) composition shingles
- Standing seam metal
- Copper
- Tile
- ARC approved "Other"
- No Barn/Dome style

CONSTRUCTION SPECIFICS

- Wall Studs - Maximum 16-inch center
- Roof Rafters 16-inch center (Greater than 16 inch center may be considered with minimum 5/8" decking or thicker)
- Attached Garage Size minimum 20' X 22'
- Detached Garage size minimum 24' X 24'
- Engineered Slab with Slab Elevation Certificate
- Construction Driveway
- Roof Colors with harmony of existing homes in Plantation Lakes
- Solar Panel Plan
- Approved Exterior Siding
 1. Cedar
 2. Hardi-Plank
 3. Stone
 4. Brick

GUEST HOUSES

- Use limited to Guests, Family & Servants
- View from the road cannot appear to look like a Duplex
- Guest House Minimum square foot 750 to 1000 Max, or as approved by the ARC
- Must be set back from Primary Residence (cannot be side by side)
- No Garage/Carports permitted with the Guest House
- Primary Residence Garage cannot be between Primary Residence & Guest House, so one Garage serves both structures.
- May contain Kitchen/Laundry Room
- May not have second Street Address
- Cannot be Rented

LOT MAINTENANCE DURING CONSTRUCTION:

- Requires Trash Bins/Fencing for debris containment
- Regular on-site clean up, minimum monthly
- On-Site Porta Potty for extended construction jobs (Homes/Buildings/Clearing etc)
- Builder must install silt fencing, where applicable

(Note: Tied to Construction Deposit & subject to forfeit.)

COMPOSITE BUILDING SITE

LOT CONSOLIDATION

- Any owner of one or more adjoining lots may, with the prior written approval of the ARC and Board of Directors, consolidate such lots into one building site, with the privilege of placing or constructing improvements on such resulting site. In this case, the side setback lines shall be measured from the resulting side property lines rather than from the center adjacent lot lines as indicated on the plat or survey.
- Any such composite building site must have a front building setback line not less than the minimum front building setback line of other lots in the same block.

RESIDENTIAL FOUNDATION REQUIREMENTS

- Finished slab elevation for all structures shall be above the 100-year flood plain elevation, or such other level as may be established by the Commissioner's Court of Waller and/or Grimes County, Texas, and other applicable governmental authorities.
- All foundations (slabs/pier & beam) must be approved and certified by a qualified and registered Engineer
- Workshops/Outbuilding foundations are not subject to Engineering Approval requirement
- Pier & Beam foundations require Brick/Stone Skirting around Perimeter

LOCATION OF IMPROVEMENTS UPON THE LOT

SETBACKS

- All improvements, except fences, on each plat will conform to setbacks shown on the plat for front, rear, and sides of lots.
- **REAR & SIDE SETBACKS** - must be twenty-five (25') feet from the side and rear property lines, except that any barn shall be a minimum of forty-five (45') feet from the side and rear property lines.
- **EAVES & PORCHES** - shall be considered improvements for the purpose of these Builder Guidelines.
- **VARIANCE (waiver)** - The ARC, at its sole discretion, may grant or alter setback lines if the ARC deems such a variance or alteration necessary to permit effective utilization of tract.
 - Any such variance or alteration must be in writing and recorded in the Real Property Records of Waller and/or Grimes County, Texas.

UTILITIES

- **SEPTIC SYSTEM** - All dwellings placed on a lot must be equipped with septic tank or other sewage disposal system meeting all applicable laws, rules, standards and specifications.
- **WATER & ELECTRICITY** - All such dwellings must be served with water and electricity.
- **SUPPLY TANKS** - All water or propane supply tanks placed on the lot must be hidden or otherwise screened from view from main and side roads.

ORIENTATION & EASEMENTS

- The main residential structure, on any lot, shall face the front of the lot unless a variance is approved in writing by the ARC.
- Within designated easements, no improvements shall be placed, or permitted to remain, which may damage or interfere with the installation or maintenance of drainage/utilities.

BUILDING ELEVATION

- Property Owners are Solely responsible for Finish Elevations of all buildings constructed on their Lot
- Improvements cannot alter existing drainage such that it impacts adjoining Lots
- Certificate of Elevation for all Lots that abut/adjoin Lakes is required – see below:

SPECIAL REQUIREMENTS – for Homes/Improvements that abut/adjoin a Detention Pond

- Finished floors must be set at a minimum of 1 foot (1') above said Base Flood Elevation (BFE) as follows & identified on Building Plans
 1. Section 1 - 273 foot
 2. Section 2 – see Resources below
 3. Section 3 - 291 foot
 4. Section 4 – see Resources below

ADDITIONAL REQUIREMENTS - for building on a Flood Plain

- Permit from the County Flood Manager is required for building within an Identified FEMA Flood Plain on any Lot and a copy provided to the ARC.

RESOURCES TO DETERMINE BFE & FLOOD PLAINS INCLUDE

- Lot Surveys
- County Flood Plain Manager
- County FEMA Flood Maps

DRIVEWAYS

TEMPORARY CONSTRUCTION DRIVEWAYS

- **Must be Installed prior to construction of house/building**
(Note: Tied to Construction Deposit & subject to forfeit)
- Must extend from street pavement to construction forms
- Minimum 4 inches depth Construction – may be combination of below;
 1. Rock/Gravel
 2. Crushed Limestone
 3. Crushed Concrete
 4. Must be Maintained during Construction

Please be courteous to your neighbors and position driveways to prevent rutting a neighbor's ditch during construction or knocking over mailboxes, curb headers, etc.

PERMANENT DRIVEWAYS

- Primary Approach/Entrances– First 40 feet from Street Pavement must be Paved Concrete
- Permanent Driveways MUST extend from the Primary Road to the Entrance of the Residential Garage
- Concrete not required on Non-Primary Secondary Entrances
- Minimum 4 Inch depth Construction – May be combination of below;
 1. Concrete
 2. Asphalt
 3. Gravel/Iron Ore
 4. Crushed Rock

CULVERTS

CULVERTS/BRIDGE/CROSSING

- ALL Culverts must meet County Specs & Requires County Permit submitted for ARC approval prior to Installation

To View/Print Culvert Permit:

Grimes County:

<http://www.co.grimes.tx.us/upload/page/0124/docs/New%20Culvert%20Info%20Scan.pdf>

Waller County:

<http://www.co.waller.tx.us/page/County.Engineer>

- Masonry Headwalls required on Primary Driveway Entrances
- Curbs required on Culvert Headwalls
- Submit copy of Final County Inspection Report upon completion of Driveway Entrance/Culvert

(Note: Culvert Installation Process Tied to Construction Deposit & subject to forfeit)

TEMPORARY STRUCTURES, OUT-BUILDINGS / ACCESSORY BUILDINGS, AND GARAGES

USE OF TEMPORARY STRUCTURES

- No structure of a temporary character, whether a trailer, tent, shack, or other outbuilding shall be used on any Lot at any time as a residence, either temporarily or permanently.
- Containers/Storage Bins of any Type are Prohibited

For Information on Temporary Living during Main House Construction contact ARC/POA Board

GARAGES

- Dwellings, must at all times, have either an attached or detached garage.
- Detached Garages must use same Exterior Building Materials as House
- Minimum size for attached Garages is 20' X 22'
- Minimum size for Detached Garages is 24' X 24' with walk thru door
- Required to have fully operational garage door/doors that are maintained at all times.
- No garages may be used for a living area.

OUTBUILDINGS

- Workshops, barns and stables may be constructed on the property prior to the main dwelling being built, so long as they are of good construction, kept in good repair, and are not used for residential occupancy purposes.
- All Out-Buildings must be built on site
- No Structures permitted past front of Main Residence
- Submission Requirements include:
 1. Material of Construction
 2. Wall/Roof Framing Spacing
 3. Decking Specs
 4. Foundation Type
 5. In Harmony with Existing Structures on Lot

SCREENING

View from the road must be screened on the following items:

- Propane Tanks
- Air Conditioner Units
- Pool Equipment
- Dog Pens/Runs
- Trash Containers

MAILBOXES

- Must be installed by completion of the main residence.
- Must be in harmony of design with existing neighborhood mailboxes.
- Must meet U.S Postal Authority requirements.
- Temporary mailbox may be installed during construction of main residence and must meet U.S. Postal Authority requirements.

REQUIREMENTS FOR LOTS ADJOINING PRIVATE LAKE

DWELLINGS

- No dwelling may be constructed closer to the lakeshore than one hundred (100') feet.

BOAT DOCKS & PIERS

- May be installed on the lakeshore. However, such structures may not exceed more than twenty (20') feet along the shoreline and may not extend into the lake more than sixteen (16') feet from the shoreline.
 - All docks, and any docks overlooking or attached thereto, must be approved by the ARC.

MATERIALS

- No materials treated with creosote or other toxic materials will be allowed in, on, or adjacent to the lake.

BULKHEADS

- No bulkheading of the lake shoreline will be allowed.

MAINTENANCE

- It is the responsibility of each Property Owner to maintain the shoreline and keep the shoreline mowed.

WINDOW AIR CONDITIONING UNITS

- Not Permitted on Primary Residence or Guest House
- May be used on garage, barn, stable, workshop
- Must be screened from view

WALLS AND FENCES

- Conforms to Harmony of Design
- Approved Materials:
 1. Wood
 2. Masonry
 3. Vinyl
 4. Pipe
 5. Wrought Iron
 6. Barb Wire/Chain Link Excluded
 7. Other as approved by ARC
- Height:
 1. Minimum 4 feet
 2. Maximum 6 feet
- Boundary Placement;
 1. All Perimeter fencing, Front/Side/Rear follow Property Lines
 2. Interior/Other fencing as approved by ARC

NOTE:

DEVELOPER INSTALLED FENCES MUST BE MAINTAINED/REPLACED in accordance with CCRs.

DRIVEWAY GATES

- Primary Gates – Wrought Iron type or decorative metal required for all Sections 1-4
- Secondary Gates as approved by ARC

NOTE: It is the responsibility of each Property Owner to notify all Utility Providers (Electric/Phone/Cable/etc.) prior to starting construction or digging on the Utility Easement so that underground lines can be located and marked.

SWIMMING POOLS/SPAS

- All swimming pools, spas, and hot tubs require ARC approval.
- Permanent above-ground pools are prohibited.
- All associated plumbing and mechanical equipment must be concealed.

VACANT LOT CLEARING / MAINTENANCE

PERMITTED

- Brush removal
- Tree cutting/trimming per CCR guidelines
- Dirt leveling/grading
- Stump grinding
- Mowing
- Burning per County requirements

NOT PERMITTED

- Altering existing drainage
- Brush/Trees/Dirt/Rock/Other piles stored on lot
- Blockage/Rutting of County Ditches
- Culvert installation w/o County/ARC Permit
- Storage of Containers/Bins/Equipment on Lot
- Use of Temporary Buildings/Structures/Trailers
- Trash/Debris left on Lot
- Construction of any type w/o ARC approval
- Leaving tree stumps above ground

BUILDERS SIGNS

- One Sign per single family will be lot allowed until occupancy, per the CCRs
- 24" x 36" panel may use Builder's name and/or logo or trademark

SUBMISSION AND APPROVAL

The official submission of plans and specifications to the ARC is to provide a review process for conformance to guidelines and standards adopted by the ARC. A clear, direct statement as to acceptability of construction plans is to be made within the review time period.

All new Construction on the Lot, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the ARC prior to commencement of any on-site building or construction activity.

The design for residences must be approved in writing by the ARC before construction of a residence can begin.

All submittals shall be sent to the following address:
Current Management Company

SUBMISSION REQUIREMENTS

The Property Owner is required to submit complete and accurate design/construction documents for review by the ARC.

Minimum submittal requirements are as follows: (additional information is encouraged)

New Home Construction Plans requires:

1. Complete/Submit New Home Construction Deposit Agreement Form
2. Complete/Submit New Home Building Plan Submission Form
3. Provide Clear/Legible drawings
4. Survey with Location of improvements on the lot (see Example Drawing A-1)
5. Material of Construction Identified
6. Building Set Back lines noted
7. Driveway/Sidewalk locations
8. Copy of County issued Culvert Permit (Initial & Final)
9. Certified Site Elevation Plan
10. Drainage Plans (if existing altered)
11. Well /Septic/Propane tank Location
12. Wall & Roof detailed section, includes all material & spacing centers (see Example Drawing A-2)
13. Roof Decking Specified

Non-Residence Construction Requests: (Outbuildings/Fences/ Pools etc)

1. Complete/Submit New ARC Project Submission Form
2. Provide Clear/Legible drawings
3. Survey/Drawings with Location of improvements on the lot
4. Material of Construction Identified
5. Building Set Back lines noted
6. Driveway/Sidewalk locations
7. Drainage Plans (if existing altered)
8. Wall/Roof Framing Specs
9. Roof Decking Specified
10. Copy of County issued Culvert Permit if applicable (Initial & Final)

COMPLIANCE REQUIREMENTS

The Property Owner is solely responsible for compliance with all governing codes, ordinances, and these Builder Guidelines.

Note there are specific Building requirements tied to the Construction Deposit. Failure to comply with these requirements will result in forfeiture of part/all of your deposit.

The ARC shall review and approve in writing, each submittal or recommended revisions to those aspects of the plans that are inconsistent with the Builder Guidelines. The review and approval process shall not exceed thirty (30) days.

Construction shall proceed only after approval of the final set of drawings and specifications. Changes that occur during actual construction that differ from approved drawings will require alterations at the Owner's expense to restore compliance with approved drawings.

Any building or improvements placed upon a lot herein that was not presented to the ARC for approval prior to start of construction or placement will be in violation of these guidelines and may be removed by the ARC at the property Owner's expense. If the ARC pays for such removal, the cost, and interest will become a lien upon the property.

All associated Plantation Lakes ARC fees and deposits are paid prior to any Construction.

NEW Home FEES AND DEPOSITS

1. APPLICATION FEE (Non-Refundable)	\$ 200.00
2. CULVERT BULKHEAD HEAD WALLS & CURBS, CONSTRUCTION DRIVEWAY/ROAD/LOT CLEAN UP DEPOSIT	\$ 1000.00
TOTAL:	\$ 1200.00

ALL OTHER CONSTRUCTION:

• APPLICATION FEE – other improvements	\$ 25.00
TOTAL:	\$ 25.00

ADDITIONAL REVIEW FEE (if necessary)	\$ 75.00
--------------------------------------	----------

DEPOSIT REFUND REQUIREMENTS

- Construction Driveway installed prior to starting Construction
- 40' ft. driveway and culverts with bulkhead/curbs installed
- Regular Lot Clean Up conducted
- No dirt/debris/log piles/construction material seen
- Yard is landscaped (Per CCRs)
- All required screening in place
- Property is clean with no further construction activity in sight
- Request for Refund submitted within 24 months from Plan Approval Date or subject to Forfeiture

NEW HOME CONSTRUCTION DEPOSIT AGREEMENT

Owners Name:

Builders Name:

Phone:

Phone:

Address/Lot #:

I have read the Builders Guidelines & understand that specific requirements of Construction are tied to my Deposit. I understand that failure to comply with these requirements will result in a Loss of Part/All of my Deposit. Those include:

- Culvert Installation Process
- Installation/Maintenance of Construction Driveway (**Must be Installed Prior to starting Construction**)
- Lot Maintenance Clean Up during/after Construction
- Concrete Driveway Entrance/Headwall
- Yard is Landscaped per CCR's
- Abide by County Burn Ban restrictions

Approval of Plans are tied to specific Timelines. All Projects must start within 90 days & be complete within 12 months. (see Builders Guidelines for Homes)

Failure to comply with the Timeline will cancel the Approval & require Resubmission of Plans.

Planned Start Date:

Estimated Completion Date:

As the Property Owner, I am Solely Responsible for all Construction on my Property.

Signed

Date

NEW HOME BUILDING PLAN SUBMISSION FORM

The Property Owner is required to submit complete and accurate design/construction documents for review by the ARC.

Minimum submittal requirements are as follows: (additional information is encouraged)

Owner Name:

Address/Lot #:

Planned Start Date:

Estimated Completion Date:

Describe the Project.

Who will perform the Work?

Contact # _____

New Home Construction Plans requires the following:

1. Provide Clear/Legible drawings
2. Survey with Location of improvements on the lot (see example Drawing A-1)
3. Material of Construction Identified
4. Building Set Back lines noted
5. Driveway/Sidewalk locations
6. Copy of County issued Culvert Permit (Initial & Final Inspection)
7. Certified Site Elevation Plan
8. Drainage Plans (if existing altered)
9. Well /Septic/Propane tank Location
10. Wall & Roof detailed section, includes all material & spacing centers (see example Drawing A-2)
11. Roof Decking Specified (see example Drawing A-2)

Please complete the following:

Residence:

- Square Ft _____
- Stories (1/2) _____
- Garages (Attached/Detached) _____
- Garage Size _____

Framing Specs:

- Wall Framing Materials _____
(2X4, 2X6, Metal)
- Wall Framing Spacing _____
- Roof Rafter Spacing _____
- Decking Material Type _____
- Decking Material Thickness _____

Exterior:

- Roof Type _____
- If Asphalt Shingles, # of Tabs _____
- Exterior Wall Material _____
(Brick/Stone/Hardee Plank/Cedar/Log)

Permanent Driveways past 40ft Concrete Entrance:

- Specify Material used _____
- Thickness _____

Exterior Colors:

- Primary _____
- Secondary _____

Property Owner Signature

Date

NEW ARC SUBMISSION FORM

Non-Residence Construction Requests: (Outbuildings/Fences/ Pools etc)

The Property Owner is required to submit complete and accurate design/construction documents for review by the ARC.

Minimum submittal requirements are as follows: (additional information is encouraged)

Owner Name:

Address/Lot #:

Planned Start Date:

Estimated Completion Date:

Describe the Project.

Who will perform the Work?

Contact #

1. Provide Clear/Legible Drawings Survey with Location of improvements on the lot
2. Material of Construction Identified
3. Building Set Back Lines noted
4. Driveway/Sidewalk locations noted
5. Copy of County issued Culvert Permit (if applicable) Initial & Final Inspection
6. Drainage Plans (if altered)
7. Wall/Roof Framing Specs
8. Roof Deck Thickness Specified

Please complete those Sections that apply:

Structures:

- Barn/Workshop/Storage/Well House/Other _____
- Square Ft _____
- Stories (1/2) _____

Foundation:

- Specify Type _____

Framing Specs:

- Wall Framing Materials _____
(2X4, 2X6, Metal)
- Wall Framing Spacing _____
- Roof Rafter Spacing _____
- Decking Material Type _____
- Decking Material Thickness _____

Exterior:

- Roof Type _____
- If Asphalt Shingle, # of Tabs _____
- Exterior Wall Material _____
(Brick/Stone/Hardee Plank/Cedar/Log/Metal)

Wall/Fences:

- Perimeter/Interior? _____
- Height _____
- Material Type _____

Swimming Pools (Note – above grounds Pools not permitted)

- Equipment Screening Type _____

Driveway Additions: (past 40ft Concrete Entrance)

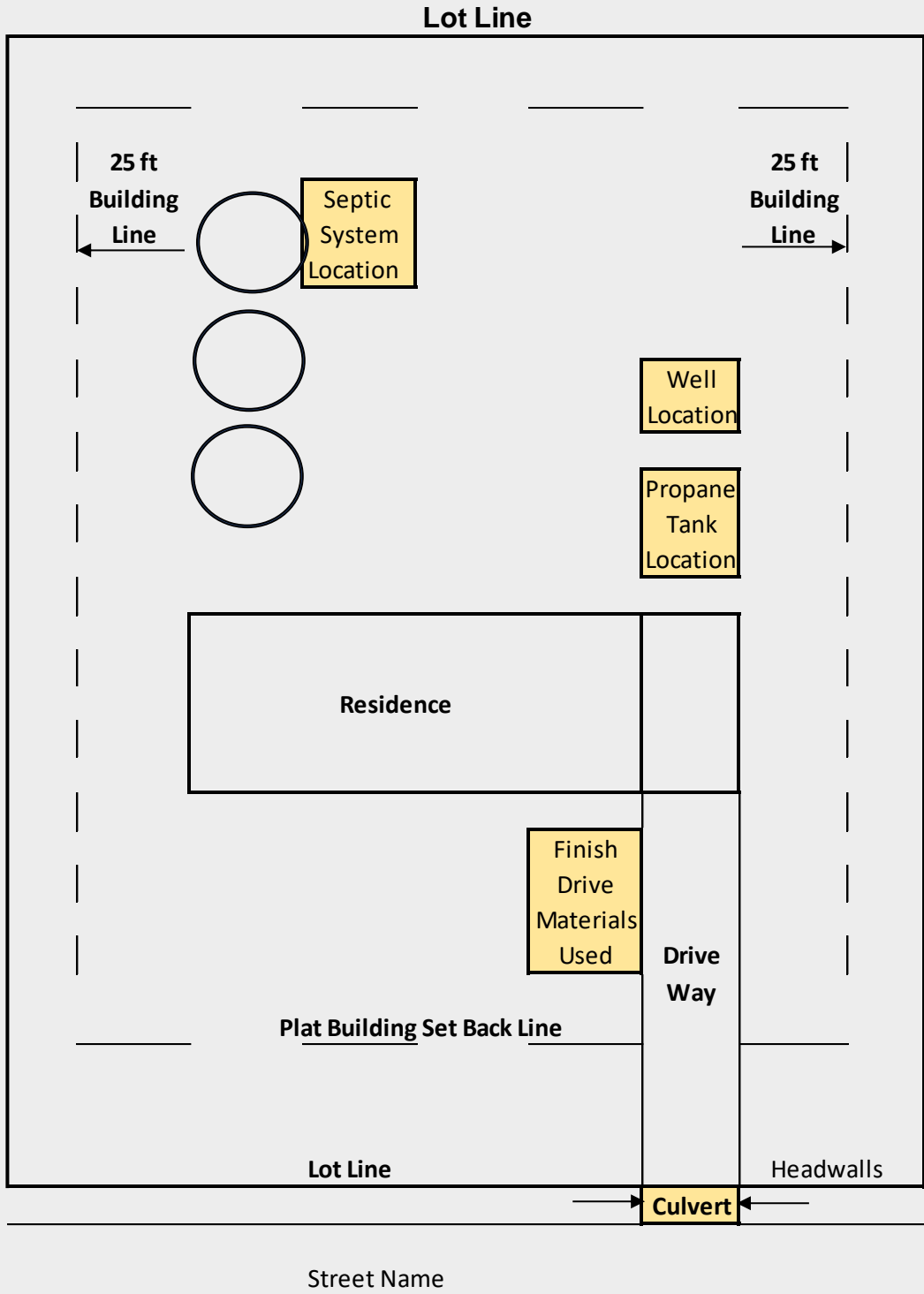
- Specify Material Used _____
- Thickness _____

Property Owner Signature

Date

Example Drawing A-1 Septic/Well/Propane/Driveway

Note: Plans submitted for approval must include the locations of the Septic, Well, Propane Tanks and the type of materials used for the Finished Driveway.



Example Drawing A-2 Wall/Roof Section

Note: Plans submitted for approval must supply Wall/Roof Section with the yellow highlighted information noted on the Drawings.

