



RESIDENTIAL INSPECTION REPORT

9400 Doliver Dr 78
Houston, TX 77063



Inspector

Ensley Baber

TREC# 25464

(866) 484-8318

office@inspectorteam.com



Agent

Melissa Marks

Martha Turner Sotheby's International
Realty - Memorial Brokerage

713.624.7050

melissa.marks@sothebys.realty



PROPERTY INSPECTION REPORT FORM

| | |
|---|---|
| Susan McDaniel <i>Name of Client</i> | 05/26/2023 9:00 am <i>Date of Inspection</i> |
| 9400 Doliver Dr 78, Houston, TX 77063 <i>Address of Inspected Property</i> | |
| Ensley Baber <i>Name of Inspector</i> | TREC# 25464 <i>TREC License #</i> |
| <i>Name of Sponsor (if applicable)</i> | <i>TREC License #</i> |

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today’s standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER “ADDITIONAL INFORMATION PROVIDED BY INSPECTOR”, OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Condominium
Access Provided By: Lockbox
In Attendance: Buyer, Buyer Agent, Workmen
Occupancy: Vacant but Furnished
Weather Conditions: Clear
Temperature (approximate): 75 Fahrenheit (F)



Storage Items/Occupied Home:
The home was occupied and/or furnished at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual observation of components. Items blocked by storage/furnishings were not inspected.



Condominium Inspection:

This inspection covers interior components and private systems only. Shared systems, common elements, the need for capital improvements, elevators, and the buildings' exterior systems are typically the responsibility of the Home Owners Association (HOA) and are not a part of this inspection. Recommend confirming with HOA what is homeowner responsibility.

Thank you for choosing Bryan & Bryan Inspections

Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this webpage includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.

Office Use: Order # 57620

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I=Inspected

NI=Not Inspected

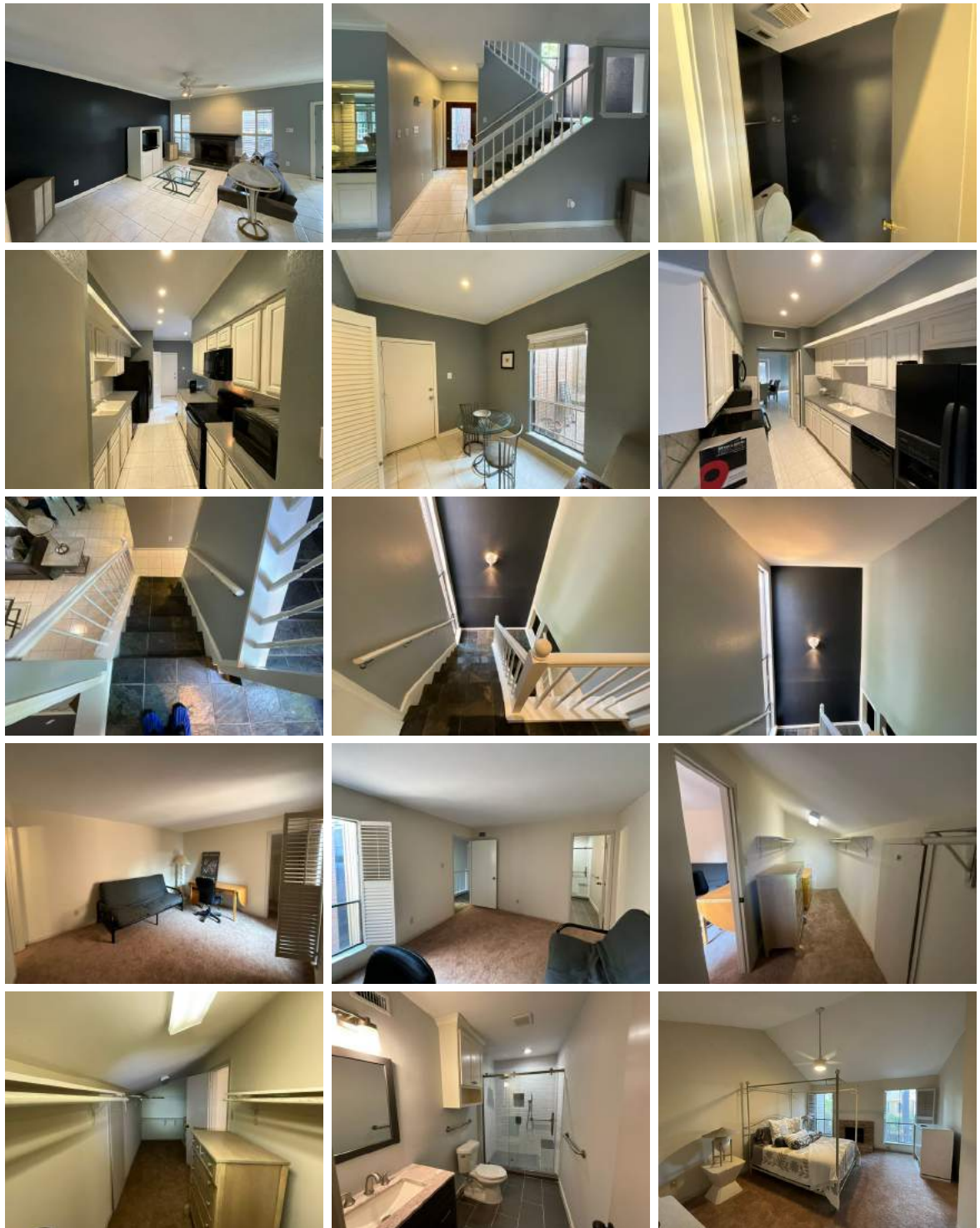
NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

General Photos of Interior:



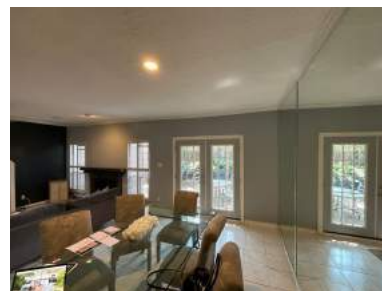
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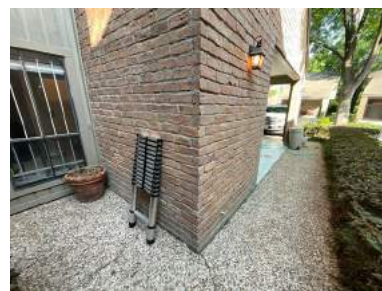
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General Photos of Structure:



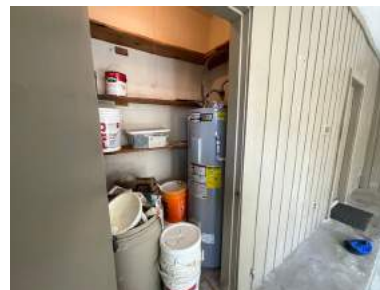
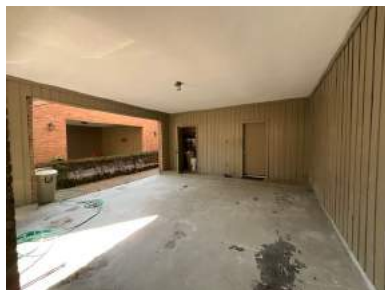
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General Photos of Roof Covering:



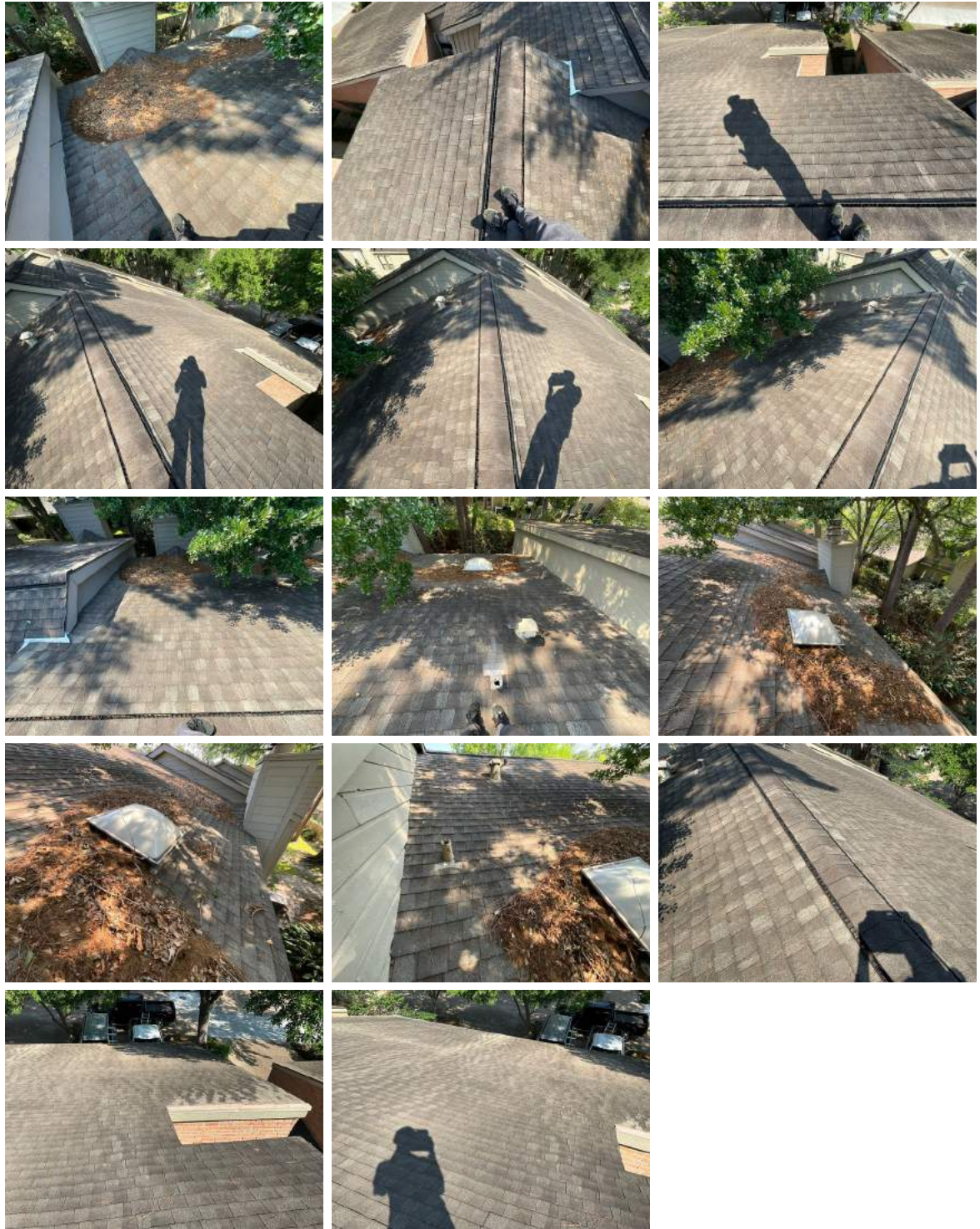
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General Photos of Attic:

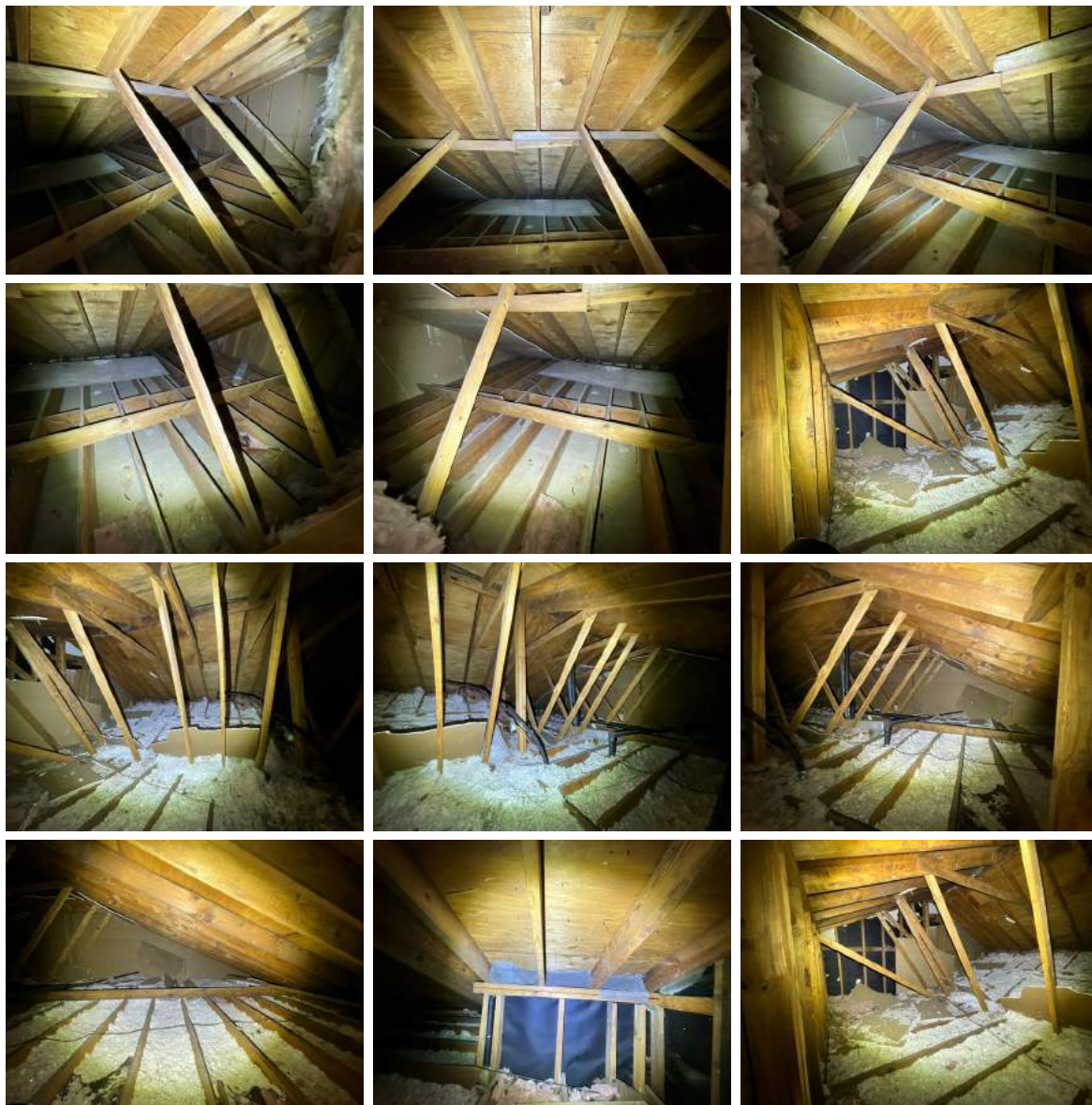
I=Inspected

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General Photos of Fireplace/Chimney:



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



A. Foundations

Type of Foundation: Slab on Grade



Crawl Space Viewed From: N/A

Performance Opinion: Functioning as Intended with Some Deficiencies :

Some deficiencies were noted, but they do not appear to be adversely affecting the performance of the foundation at this time.

Note: The statements included in this report regarding the performance of the foundation are the inspector's OPINION. If buyer desires a second opinion or further analysis a foundation company or structural engineer should be contacted.

Digital Level Pictures:

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there were elevation variations that indicated excessive movement of the foundation.



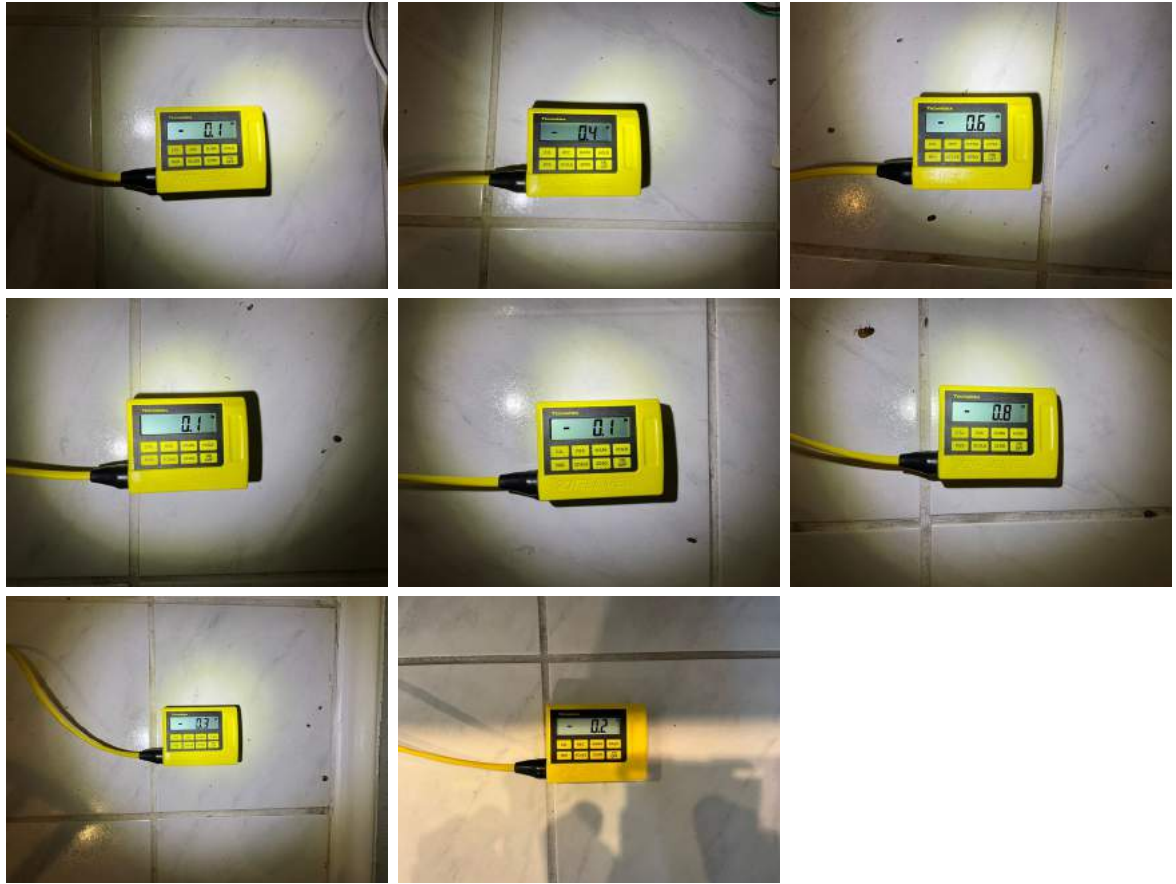
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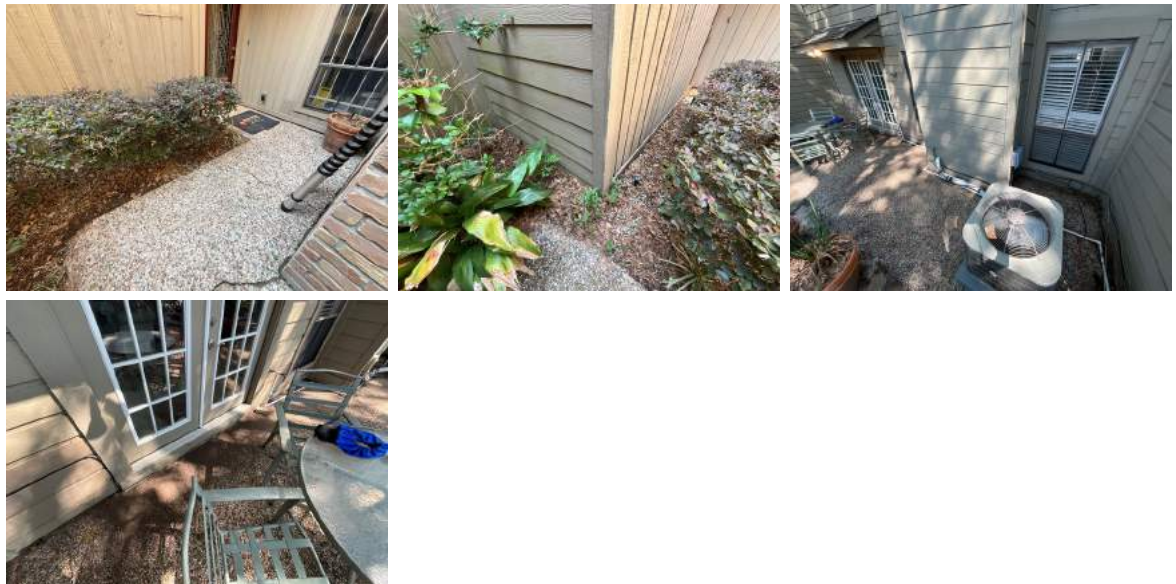
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Comments:

Parts of the Slab Not Visible:

Parts of the slab facing were not visible. Examples include, but are not limited to, high soil, heavy foliage, storage items and/or debris against the house.



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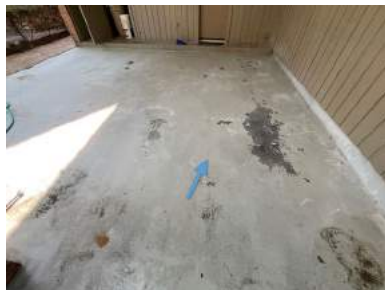
D=Deficient

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1: Slab: Minor Surface Irregularities

 Maintenance Item/Note

These conditions are typically cosmetic and not associated with structural movement. Examples include, but are not limited to, shear cracks, corner pops and minor cracks.



Carport

2: Slab: Exposed Reinforcing Steel

 Recommendation

Reinforcing steel (rebar) was exposed along the perimeter of the foundation. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Rear Exterior

B. Grading and Drainage

Comments:

Drainage Systems Not Flow Tested:

The inspector did not determine effectiveness or condition of any below grade downspout extension(s) or drainage system(s), nor did the inspector determine the location of a discharge outlet.



1: Grading & Drainage: Uneven/Cracked Flatwork

 Recommendation

I=Inspected

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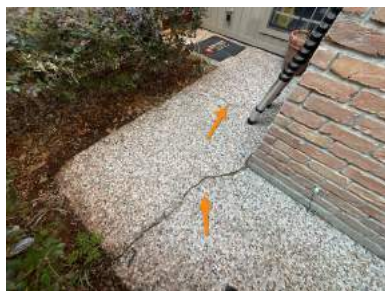
NP=Not Present

D=Deficient

I NI NP D

Uneven or cracked flatwork can be a trip hazard. Evaluation and remediation recommended.

Recommendation: Contact a qualified concrete contractor.



Front Exterior

2: Grading & Drainage: Inadequate

Recommendation

Low spots, ruts, soil erosion, negative grading, standing water and/or damaged sod were present at the time of inspection. Evaluation and remediation by a qualified landscaping contractor or foundation contractor so that water flows away from the home is recommended.

Recommendation: Contact a qualified landscaping contractor



Negative Grading - Rear Exterior

C. Roof Covering Materials

Types of Roof Covering: Composition Shingles



Viewed From: Walking the Roof Surface

Comments:

Roof Fastening Not Verified:

The roof fastening method was not verified as determining this may cause damage to the roofing material. In addition, the inspector does not determine if the roof fastening meets current wind storm codes/ratings.

I=Inspected

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I NI NP D

1: Roof Covering Requires Full Evaluation by a Qualified Roofing Professional

🔴Recommendation

Due to the number and/or types of deficiencies present at the time of inspection, full evaluation by a qualified roofing contractor is recommended. Upon further evaluation additional, sometimes more serious, deficiencies may be discovered.

Recommendation: Contact a qualified roofing professional.

2: Tree Limbs On/Near Roof

🔴Recommendation

Tree limbs that were in contact with roof or hanging near roof should be trimmed to prevent damage to the roofing materials. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



3: Granule Loss

🔴Recommendation

The shingles showed granule loss. A cause was not determined. Deteriorated or damaged areas should be fully evaluated and remediated by a qualified roofing professional.

Recommendation: Contact a qualified roofing professional.



4: Debris on Roof

🔴Recommendation

Debris was present on roof surface. The condition of the roof covering underneath could not be determined. Removal of debris and evaluation of the roofing materials underneath is recommended.

Recommendation: Contact a qualified professional.

I=Inspected

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I NI NP D



5: Roof: Wavy or Sagging

🔴Recommendation

Areas of the roof were wavy or sagging, indicating possible sheathing or framing deficiencies. Evaluation and repair by a qualified roofing professional is recommended.

Recommendation: Contact a qualified roofing professional.



6: Sealant: Deteriorating

🔴Recommendation

Deteriorated roof sealant was observed. The life cycle of this material is generally 5-8 years depending on weather conditions. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.

I=Inspected

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I NI NP D



7: Flashing Deficiencies

🔴 Recommendation

Corroded, Kickouts Missing -

Deficiencies with the flashings were present at the time of inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.



Corroded Flashings

Kickouts Not Present

☒ ☐ ☐ ☒ D. Roof Structure and Attic

Viewed From: Attic Access Hatch, Knee Wall



Approximate Average Depth of Insulation: Less Than 6 Inches

I=Inspected

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Attic Access Method: Access Hatch/Panel, Knee Wall Access



Type of Attic/Roof Ventillation: Ridge Vent



Ridge Vent

Type of Insulation Material: Blown Fiberglass, Batt Fiberglass



Comments:

Only Accessible Areas Were Entered:

Only accessible areas of the attic were inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible. In addition, insulation can hide or obstruct deficiencies.

Fire Rated Material Between Townhomes:

Town homes like this usually have fire walls between homes that share the walls as well as the roof decking. It could not be determined if the material used in this home was a fire rated material at time of inspection.

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1: Framing: Firestop Missing

⚠️ Safety Hazard

A proper firestop/draftstop should be present between the townhome attics or in the breezeway framing between a garage and the house. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



2: Framing: Missing/Inadequate Purlins

🔴 Recommendation

Purlins should share the same dimensions as the rafters that they help to support and be braced every 4' on center according to current building standards. Further evaluation and remediation by a qualified roofing contractor is recommended.

Recommendation: Contact a qualified roofing professional.



3: Insulation: Insufficient

🔴 Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Insulation depth was inadequate. Generally, 10 inches of insulation is considered adequate. Installation of additional insulation by a qualified insulation contractor is recommended.

Recommendation: Contact a qualified insulation contractor.

4: Insulation: Voids/Fallen

🔴Recommendation

Gaps or areas of poor insulation coverage were observed in one or more locations of the attic. This may reduce the R value of the insulation system. Evaluation and remediation is recommended.

Recommendation: Contact a qualified insulation contractor.



5: Venting: Inadequate

🔴Recommendation

The attic ventilation appeared to be inadequate. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

6: Venting: Soffit Vents Not Present For Ridge Vent

🔴Recommendation

There were no soffit vents present on the exterior. Current building standards recommend having soffit vents installed when ridge vents are used in roof ventilation. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



Soffit Vents Not Present

E. Walls (Interior and Exterior)

Comments:

Fresh Paint:

Fresh paint and new finishes can hide defects from the inspector.

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I NI NP D



1: Exterior: Seal Wall Fixtures

➔Recommendation

Doors/Windows, Light Fixture(s), Electrical Distribution Panel(s), Service Panel(s), A/C Disconnect Box(es), Trim Boards -

One or more areas were not properly sealed/caulked. Most exterior sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Light Fixtures



Service Panels



Distribution Panels



Trim Boards



A/C Disconnect Box



Windows

2: Masonry: Weep Holes Blocked/Missing

➔Recommendation

Multiple Locations

Weep holes in the brick were blocked or missing, either at the base of the wall or above steel lintels. Weep holes permit moisture to drain from behind the brick and prevent moisture from being trapped within the walls, which could cause structural problems. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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Front Exterior



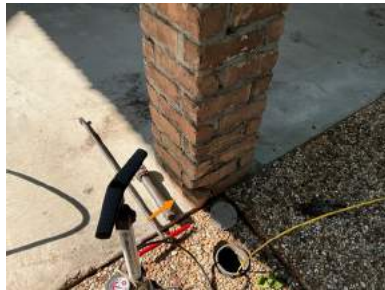
Left Exterior

3: Masonry: Deterioration/Damage

👉 Recommendation

There was deteriorated or damaged brick/masonry. Evaluation and remediation is recommended.

Recommendation: Contact a qualified masonry professional.



Front Exterior

4: Exterior Walls: Surface Defects

👉 Recommendation

The exterior wall coverings, such as siding, trim fascia, soffit or eave had defects. Examples include, but are not limited to:

- Damage
- Loose
- Deteriorated, damaged, missing paint
- Warped
- Missing

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



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Damaged - Front Exterior

5: Exterior Walls: Inadequate Clearance

🔴Recommendation

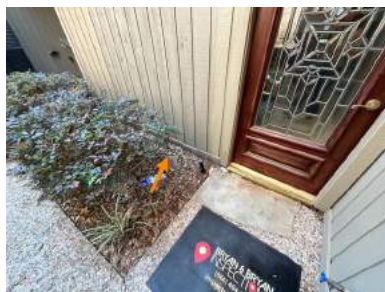
Multiple Locations

The siding did not adequately clear either the roof surface or the ground. Installation guidelines generally require the following clearances:

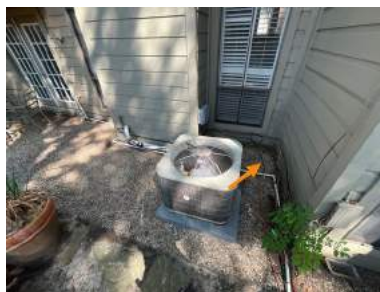
- 1 to 2 inches of clearance between the siding and the roof
- 1 1/2 inches clearance above concrete
- 4 to 6 inches clearance above grade

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Front Exterior



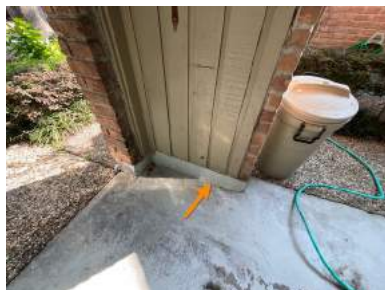
Rear Exterior

6: Exterior: Evidence of Wood Rot

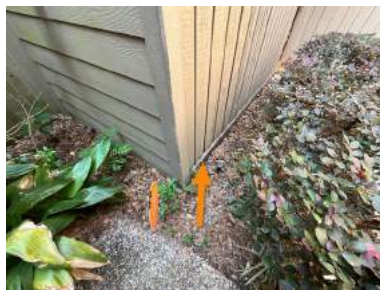
🔴Recommendation

Wood rot/deterioration was observed. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Siding - Front Exterior



Siding - Front Exterior

7: Exterior: High Soil

🔴Recommendation

Multiple Locations

A high soil level was observed. The foundation should have at least 4 inches of exposure. Evaluation and remediation is recommended.

Recommendation: Contact a qualified landscaping contractor

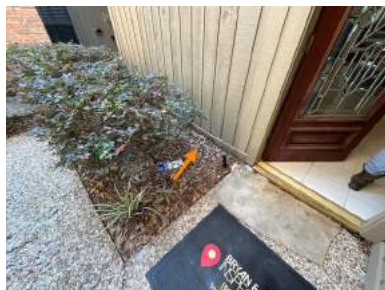
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I NI NP D



Front Exterior



Rear Exterior

8: Interior Walls: Wrinkled Tape Joints

🔴 Recommendation

Multiple Locations

Wrinkled tape joints can be evidence of current and/or previous structural movement. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Utility Closet



Stairway

9: Interior Walls: Damaged

🔴 Recommendation

Damaged wall coverings were observed. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Living Room



Living Room

10: Interior Walls: Evidence of Active Moisture Contact

🔴 Recommendation

Wall structure showed signs of water intrusion. Tested positive for moisture at the time of the inspection. Evaluation and remediation is recommended.

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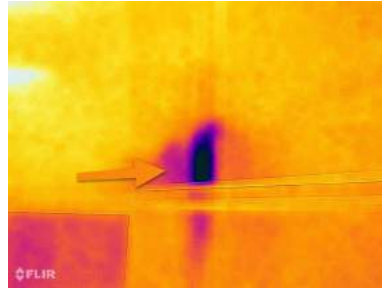
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Recommendation: Contact a qualified professional.



Primary Bathroom Closet 1/2



Primary Bathroom Closet 2/2

11: Interior Walls: Evidence of Previous Moisture Contact

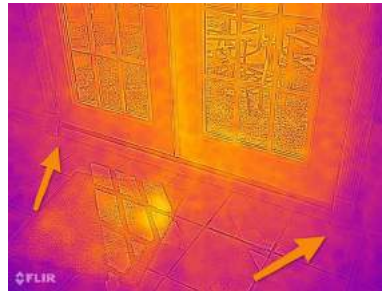
🔴 Recommendation

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Rear Entry 1/2



Rear Entry 2/2

12: Interior: Possible Microbial Growth

🔴 Recommendation

Observed signs of possible microbial growth indicating prior moisture intrusion. It is recommended that the source of any moisture intrusion be identified, and the issue remediated.

Recommendation: Contact a qualified professional.



Primary Bathroom Closet

13: Evidence Of Previous Termite Treatment

🔵 Maintenance Item/Note

Previous termite treatment evidence was observed. Inquire with seller for more information.

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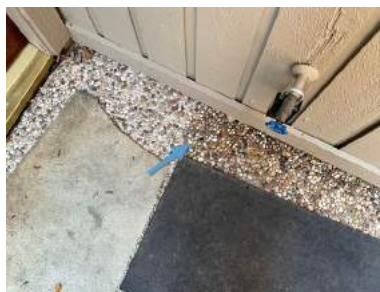
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Recommendation: Contact the seller for more info



Front Exterior



Front Exterior

F. Ceilings and Floors

Previous Repairs:

Previous repairs were observed. Recommend obtaining repair documentation or further explanation from the seller. The success of any repairs is outside the scope of this inspection.



2nd Floor Hall

Comments:

1: Ceiling: Evidence of Previous Moisture Contact

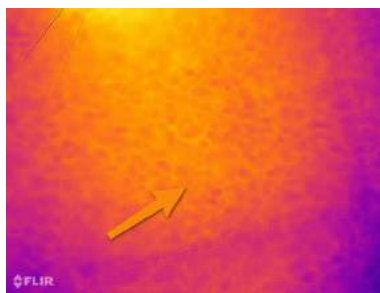
🔴Recommendation

Ceiling showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Utility Closet 1/2



Utility Closet 2/2

2: Flooring: Tiles Cracked/Chipped

🔴Recommendation

Multiple Locations

Floor tiles were cracked or chipped. Evaluation and remediation is recommended.

I=Inspected

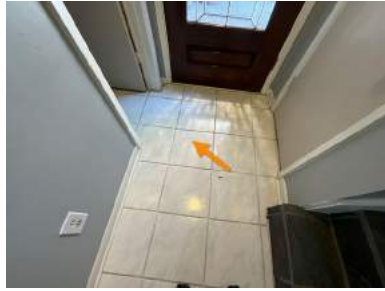
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I NI NP D

Recommendation: Contact a qualified professional.



Entryway



Living Room

3: Flooring: Sloped

🟡Recommendation

Multiple Locations

The floor noticeably sloped. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



2nd Floor Bedroom Closet



2nd Floor Bedroom



Primary Bathroom

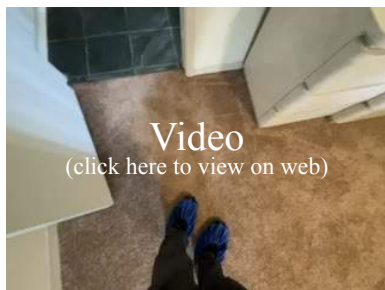
4: Flooring: Squeaky Subflooring

🟡Recommendation

For Example: Primary Bedroom

Squeaky subflooring is not uncommon and is usually caused by wood subflooring that isn't properly attached to the joists. These can generally be repaired by a flooring contractor. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



G. Doors (Interior and Exterior)

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

Comments:

1: Doors: Wood Rot at Base of Frame/Door

🔴 Recommendation

Wood rot was observed at the base of a door frame/door. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



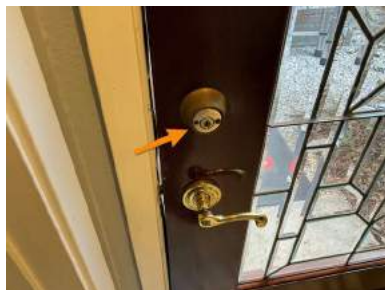
Rear Entry

2: Doors: Keyed Deadbolts

🔴 Recommendation

Double cylinder deadbolts are generally prohibited due to fire-code restrictions. Essentially, people can be entrapped in a house in the event of an emergency if they don't have the keys to double cylinder deadbolts. Evaluation and remediation by a qualified professional is recommended.

Recommendation: Contact a qualified professional.



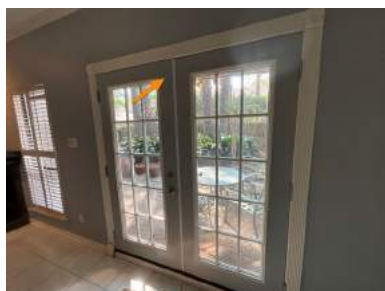
Front Entry

3: Doors: Sticks/Difficult to Operate

🔴 Recommendation

The doors were sticking and/or were difficult to operate. Evaluation and remediation is recommended.

Recommendation: Contact a handyman or DIY project



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Rear Entry

4: Door Hardware: Missing/Damaged Hardware

🔴Recommendation

Multiple Locations

One or more doors had missing or damaged hardware. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Utility Closet



Rear Entry

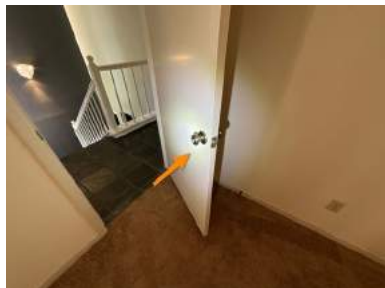
5: Door Hardware: Lock Installed Improperly

🔴Recommendation

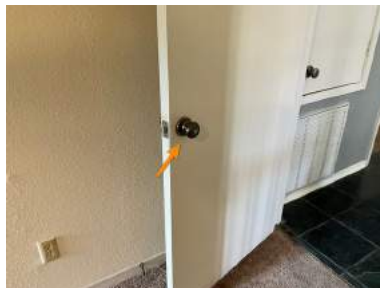
Multiple Locations

The door lock was placed on the outside of the door. Persons' can be locked in the room due to this condition. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



2nd Floor Bedroom



Primary Bedroom

☒ ☐ ☐ ☒

H. Windows

Comments:

Security Locks:

Security locks were in place and limited the inspector's ability to inspect and operate one or more windows. The inspector does not operate, remove or disable security devices.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

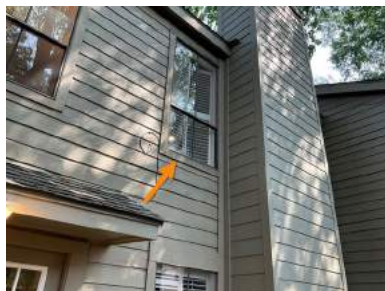


1: Windows: Missing/Damaged Screens

🔴Recommendation

One or more windows were missing a screen or had a damaged screen. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



Rear Exterior

2: Windows: Cracked/Broken Glass Panes

🔴Recommendation

Cracked or broken glass panes were present. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



2nd Floor Bedroom

3: Windows: Plastic Trim Damaged/Missing

🔴Recommendation

Plastic trim around windows was either damaged or missing. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Rear Exterior

4: Windows: Safety Glass Not Installed

▲ Safety Hazard

Windows With Sill Height Less Than 18" Above the Floor -
Safety glass with a tempered stamp should be installed in all hazardous locations, such as:

- within 24 inches of doors
- within 60 inches of the floor of a tub
- within 60 inches of a stair landing
- within 60 inches vertically and 60 inches horizontally of a pool
- at door glazing
- windows with sill height less than 18" above the floor

Recommendation: Contact a qualified window repair/installation contractor.



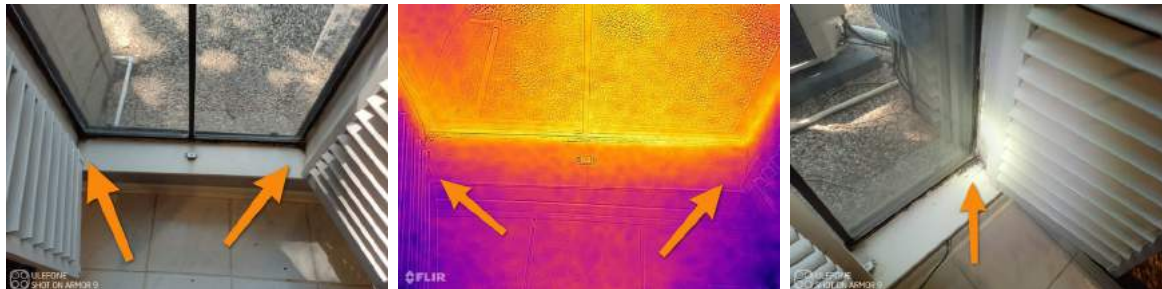
For Example: 2nd Floor Bedroom

5: Windows: Evidence of Previous Moisture Contact

👉 Recommendation

Window showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

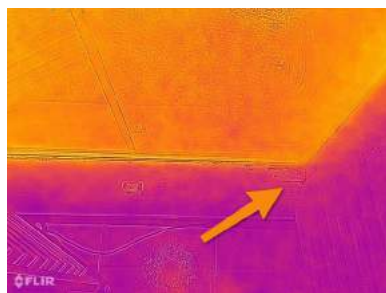
D=Deficient

I NI NP D

Living Room 1/2

Living Room 2/2

Living Room 1/2



Living Room 2/2

6: Windows: Drill Holes in Frames

🔴 Recommendation

The windows had drill holes in the frame for installation of the security system window contacts. Confirmation from the window manufacturer stating that these drill holes will not affect the warranty is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



Living Room

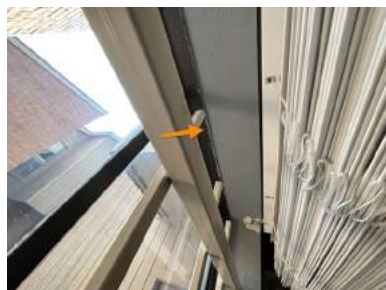
7: Windows: Caulking Missing/Damaged

🔴 Recommendation

Multiple Locations

Caulking around window frames was missing or deteriorated. Most sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Kitchen



Living Room

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

I. Stairways (Interior and Exterior)

Comments:

1: Handrails/Guardrails: Inadequate

▲Safety Hazard

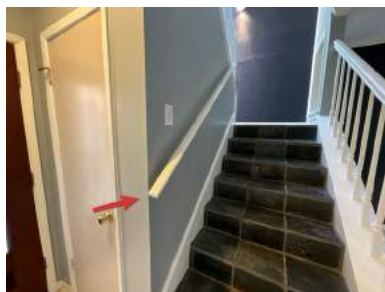
Does Not Turn Into Wall, Missing, Spindle Gap Too Wide -

All stairs or landings require:

- A handrail that is 34-36" in height or a guardrail 36" in height
- Handrail/guardrail that is not climbable
- Spindle gaps that are no greater than 4" for a guardrail or 4 3/8" for a handrail
- Handrail/guardrail that turn in towards the wall at the upper end

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Does Not Turn Into Wall



Missing Spindles



Too Wide

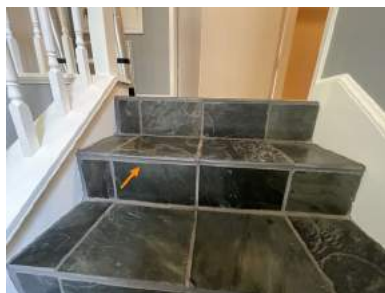
2: Stair Tread Issues

🟡Recommendation

Sloped, Run Not Uniform -

Stair treads exhibited conditions that do not appear to meet current building standards. Evaluation by a qualified contractor is recommended for safety.

Recommendation: Contact a qualified professional.



Sloped

J. Fireplaces and Chimneys

Comments:

Limited Access/Visibility:

There was limited access and visibility to safely inspect chimney flue.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

1: Cleaning of Fireplace is Recommended

 Maintenance Item/Note

The firebox was dirty at the time of inspection. Cleaning of the firebox is recommended before use.

Recommendation: Contact a qualified chimney sweep.



Primary Bedroom

2: Damper: Arm Missing/Damaged/Difficult

 Recommendation

The damper arm was missing, damaged or difficult to operate. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Difficult To Operate - Living Room

3: Firebox: Corrosion

 Recommendation

Multiple Locations

Corrosion was observed inside the firebox. This indicates possible prior moisture contact. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Living Room



Primary Bedroom

I=Inspected

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D=Deficient

| | | | |
|----------|-----------|-----------|----------|
| I | NI | NP | D |
|----------|-----------|-----------|----------|

K. Porches, Balconies, Decks, and Carports

Comments:

I=Inspected

NI=Not Inspected

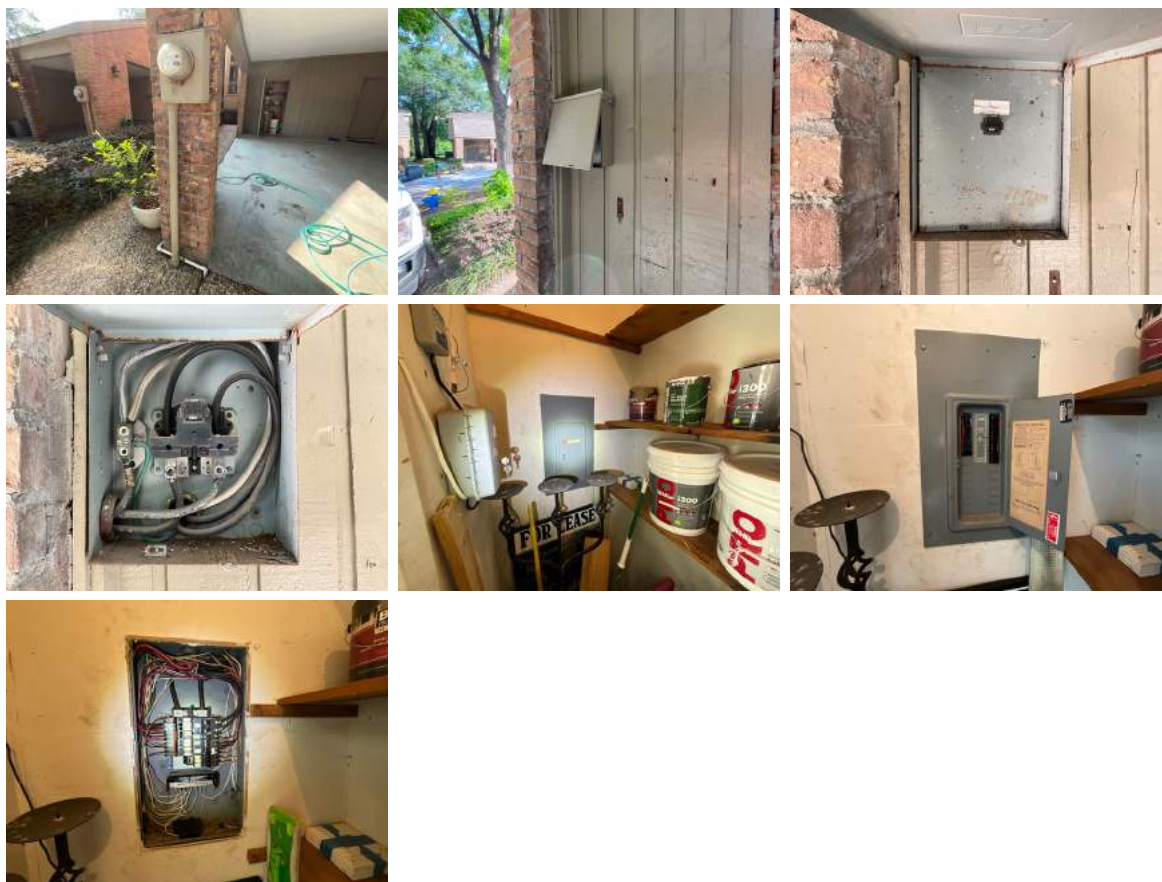
NP=Not Present

D=Deficient

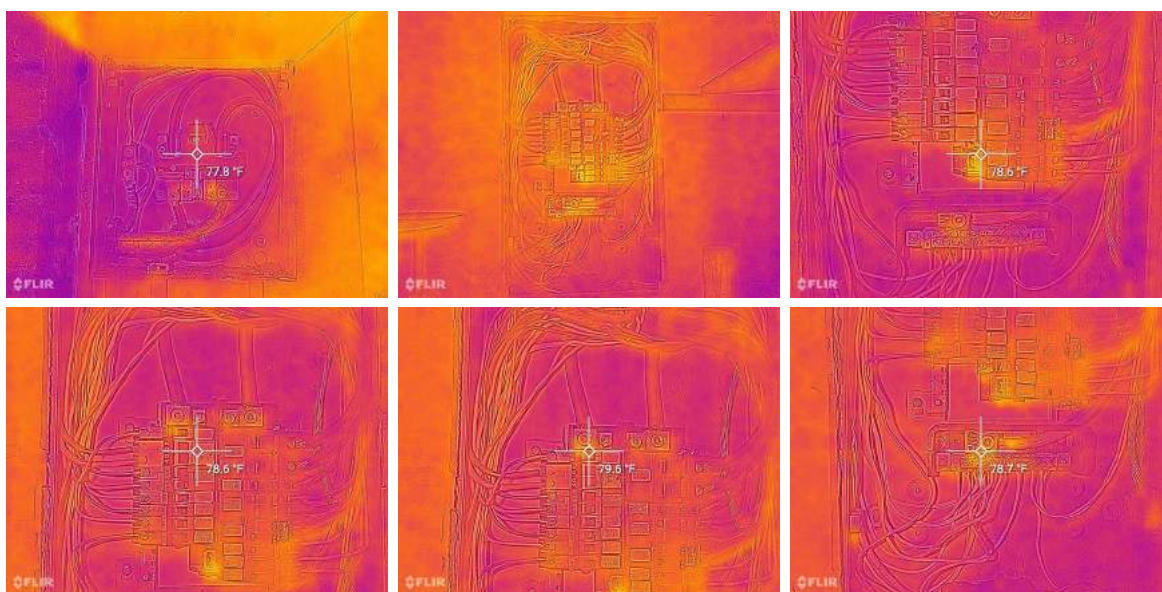
I NI NP D

II. ELECTRICAL SYSTEMS

General Photos of Distribution Panels:



General Infrared Photos of Distribution Panels:



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

General Photos of 220V Outlets:



General Photos of Grounding Systems:



A. Service Entrance and Panels

Main Disconnect/Service Box Types and Locations: Breakers - Utility Room

Service Entrance Cable Location: Underground

Service Size: 150 Amps



Comments:

1: AFCI (Arc-Fault Circuit Interrupt) Protection Was Lacking or Not Present

👉Recommendation

AFCI protection was required by the National Electrical Code for all homes built after 2008. The Texas Real Estate Commission recognizes that the building codes have not always required AFCI's, however, the agency believes that it is important for consumers to be made aware of these safety devices when they are not present or fail to function properly in a home as a consumer protection issue and requires inspectors to report the lack of proper AFCI protection in the distribution panel as deficient, regardless of the homes age.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|



2: Circuits Not Labeled

🔴 Recommendation

Circuits in the distribution panel were not properly labeled. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



3: Missing Knockouts

⚠️ Safety Hazard

Safety "knockouts" were missing from the panel cover. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



4: Pointed Screws Improper

⚠️ Safety Hazard

Sharp tipped screws were used on the panel cover. Blunt tipped screws designed for this application are recommended to prevent puncturing electrical wiring insulation. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



5: Missing Panel Screws

👉 Recommendation

Screws that mount the cover to the electrical panel were missing. Evaluation and remediation is recommended.

Note: Blunt tipped screws designed for this application are recommended to prevent puncturing electrical wiring insulation.

Recommendation: Contact a qualified electrical contractor.



6: FPE/Zinsco/Sylvania/Challenger Panel

👉 Recommendation

A Zinsco, Sylvania-Zinsco, Challenger, or FPE (Federal Pacific) brand electrical panel was installed in this building. Although once widely used, these panels are no longer manufactured due to a poor history of performance. This includes the possibility that the circuit breakers may not trip when needed, or other possible electrical hazards. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



7: Panel: Corrosion

👉 Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

The extent and cause of this condition could not be fully determined. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



8: Ground Wire Problems

🔴 Recommendation

The ground wire was missing or not connected properly to the grounding rod. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.

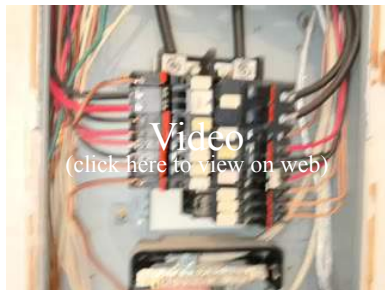


9: Loose Breakers

⚠️ Safety Hazard

Loose breakers were present in the distribution panel. This condition is potentially hazardous. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



10: Abandoned Breaker

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

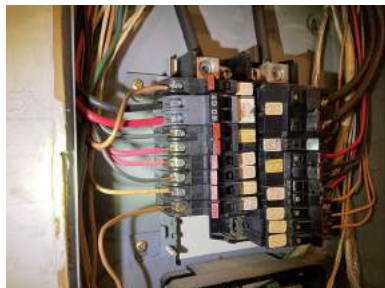
Recommendation

Abandoned components were observed in the panel. Evaluation by a qualified electrical contractor is recommended.

Recommendation: Contact a qualified electrical contractor.



B. Branch Circuits, Connected Devices, and Fixtures
Type of Wiring: Copper



Comments:

Smoke Alarm Testing Method:

Accessible smoke/carbon monoxide alarms (units within an arm's reach of the inspector) were tested by pushing the test button. Test buttons only confirm that the battery, electronics, and alert systems are working. It does not mean that the smoke sensors are working.

Restriction to Receptacles:

Not all receptacles were accessible due to usage or furniture location.

1: Smoke/Carbon Monoxide Detectors Defective

Recommendation

Not Functioning as Intended, Not Present in Required Location -
Smoke detectors are required in all bedrooms, hallways to bedrooms, and living areas on every level of the home. These devices should be changed every 10 years for safety. Evaluate the units in the home and remedy as needed.

As gas appliance(s) were installed in the living portion of the home, installation of carbon monoxide detectors is recommended for safety. Evaluation and remediation is recommended.

Note: *The inspector does not disassemble devices to check for expiration dates.*

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

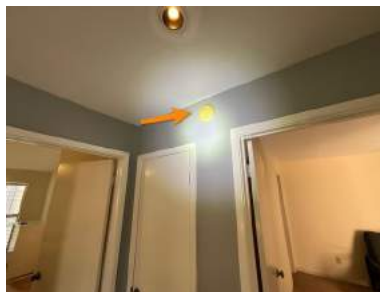
NP=Not Present

D=Deficient

I NI NP D



Bedrooms



Not Functioning

2: Receptacles: GFCI Protection Inadequate/Missing

👉 Recommendation

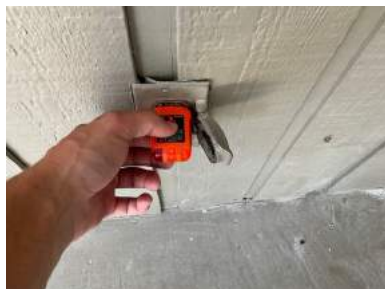
Exterior, Bathrooms, Kitchen, Laundry Area -

GFCI protection was inadequate or missing. Current building standards recommend the installation of ground fault protection:

- at all countertop receptacles in the kitchen
- in bathrooms
- in garages
- all exterior receptacles
- in laundry rooms

GFCI protection was not present in one or more of these locations. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Exterior



Kitchen



Laundry Area



Bathrooms

3: Receptacle/Switch Covers: Missing, Loose or Damaged

👉 Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

One or more receptacle/switch cover plates were missing, loose or damaged. Replacement of cover plates is recommended for safety. Evaluation and remediation by a qualified electrical contractor is recommended.

Recommendation: Contact a qualified electrical contractor.



Living Room

4: Receptacles: No Power

🔴 Recommendation

Receptacles had no power. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Kitchen

5: Receptacles: Improper Wiring

🔴 Recommendation

Receptacles are not wired correctly. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Living Room

6: Receptacles: Loose/Damaged/Scorched

🔴 Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

For Example: Loose - Kitchen

One or more receptacles were loose, damaged or scorched at the time of inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



7: Receptacles: Not Tamper-Resistant

🔴Recommendation

TREC now requires inspectors to report the absence of tamper resistant receptacles in a home as deficient. Tamper-Resistant Receptacles (TR) have built-in shutters that help prevent a person from inserting foreign objects in the receptacle slots. TR outlets are found primarily in new construction. Older homes typically do not have these devices.

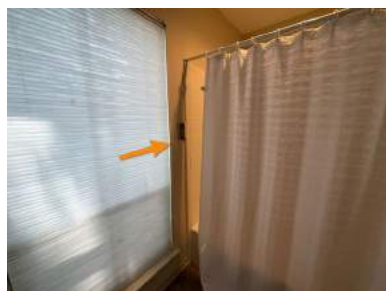
Recommendation: Contact a qualified electrical contractor.

8: Receptacles/Switches: Switches or Receptacles Located Within 3' of Tub/Shower

🔴Recommendation

Close proximity of a light switch or electrical receptacle to a tub or shower is prohibited by current building standards. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Primary Bathroom

9: Lights: Inoperative

🔴Recommendation

One or more light fixtures were not operating at time of inspection. Cause was not determined. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D



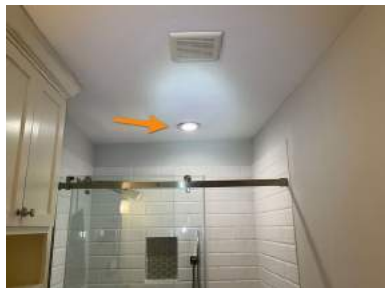
Carport

10: Lights: Fixtures or Globes Damaged/Missing/Loose

🔴Recommendation

Light fixtures or globes were missing, damaged or loose. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



2nd Floor Bedroom Bathroom

11: Lights: Unprotected Bulbs in Clothes Closets

🔴Recommendation

Exposed or partially exposed bulbs are not allowed in closets. While once common, utility light fixtures with bare bulbs in a socket in closets are no longer allowed. All light bulbs must be fully enclosed in a globe or other housing. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Primary Bathroom Closet

12: Lights: Flickering Lights

🔴Recommendation

For Example: Kitchen

One or more flickering lights were observed. Recommend evaluation by a licensed electrician.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified electrical contractor.



Stairway

13: Dimmer Switches: Not Rated For Fan

👉Recommendation

The dimmer control switches were not rated for ceiling fan control. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Living Room

14: Wiring: Exposed Ends & Splices

👉Recommendation

Exposed wire connections, splices, and ends were present. All wire connections and charged wires with exposed ends and splices should be covered in junction boxes for safety. Evaluation and remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



Utility Room



Utility Closet

15: Wiring: Gaps in Conduit

👉Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
|----------|-----------|-----------|----------|

There were gaps in conduit. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Kitchen

I=Inspected

NI=Not Inspected

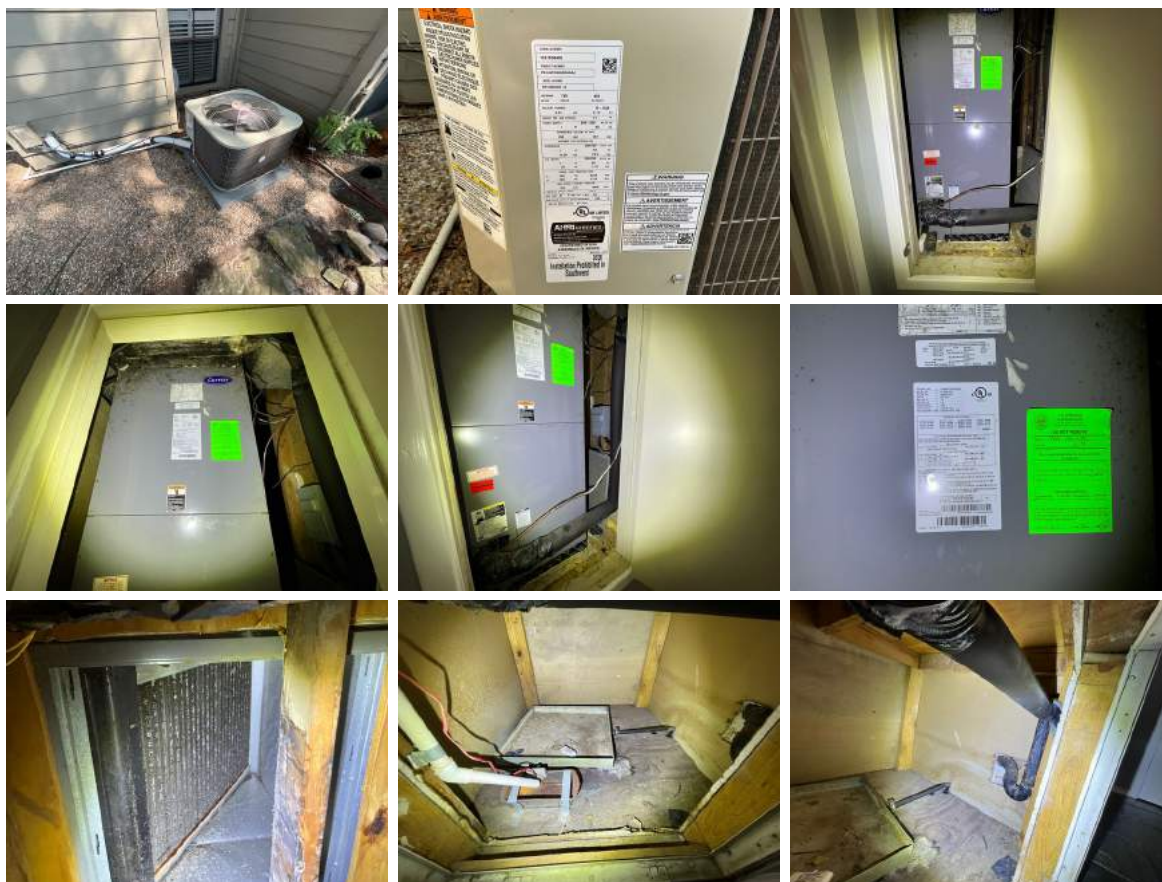
NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

General Photos of HVAC Equipment:



General Photos of Accessible Return Chases/Media Filters:



General Photos of Thermostats:

I=Inspected

NI=Not Inspected

NP=Not Present

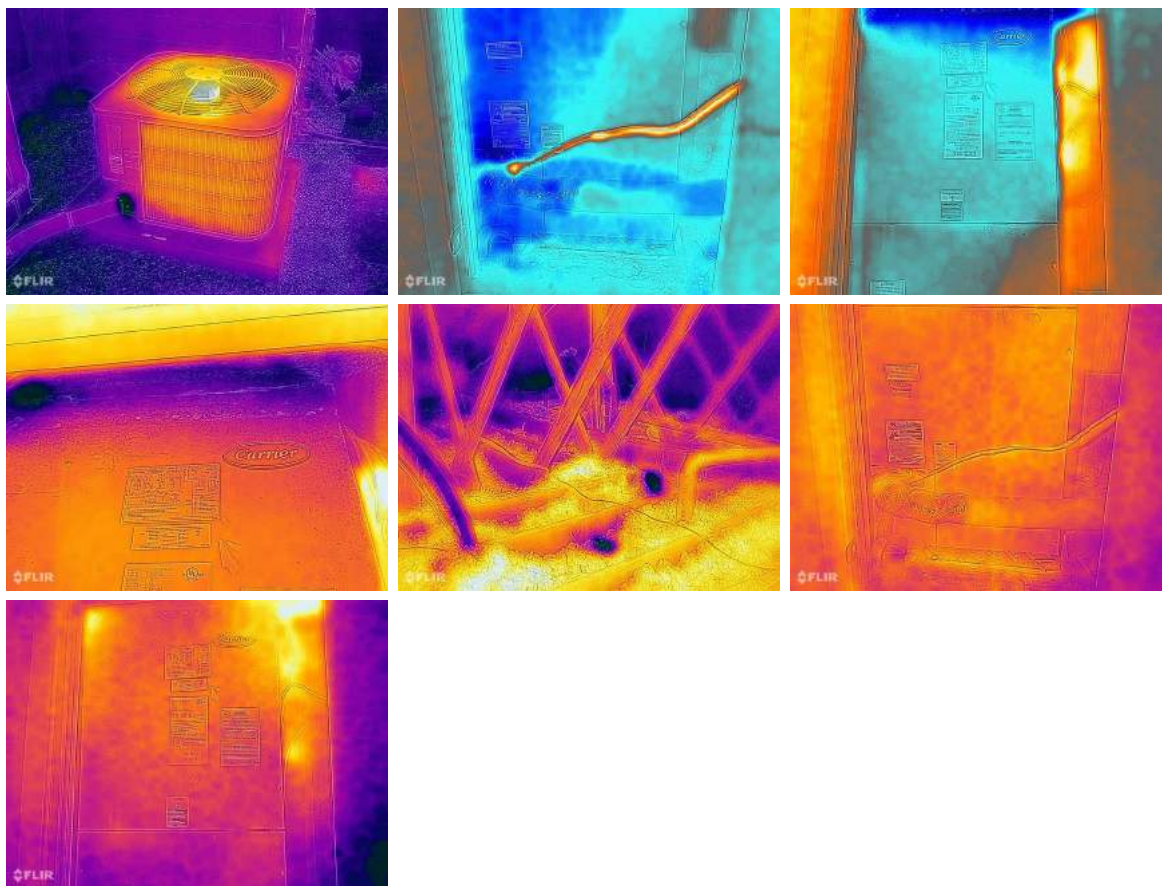
D=Deficient

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| I | NI | NP | D |
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Primary Bedroom

General Infrared Photos of HVAC Equipment:



-
-
-
-

A. Heating Equipment

Type of System: Furnace

Energy Source: Electric

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Heating System Was Functioning:

The heating system was functioning at the time of inspection. Refer to the inspection report for any further recommendations.



Comments:

Furnace/Air Handler Cover:

Inspector does not remove furnace/air handler covers.

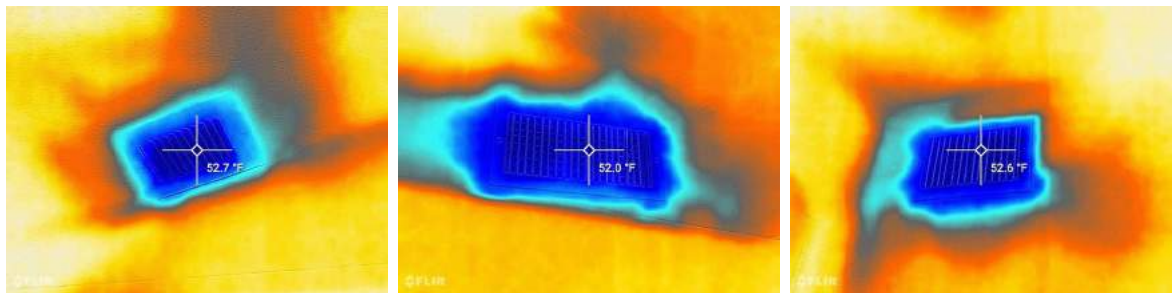
B. Cooling Equipment

Type of System: Central Air Conditioner

Type of Refrigerant: R410A (Puron)

Cooling System Was Functioning:

The cooling system was functioning at the time of inspection. Refer to the inspection report for any further recommendations.



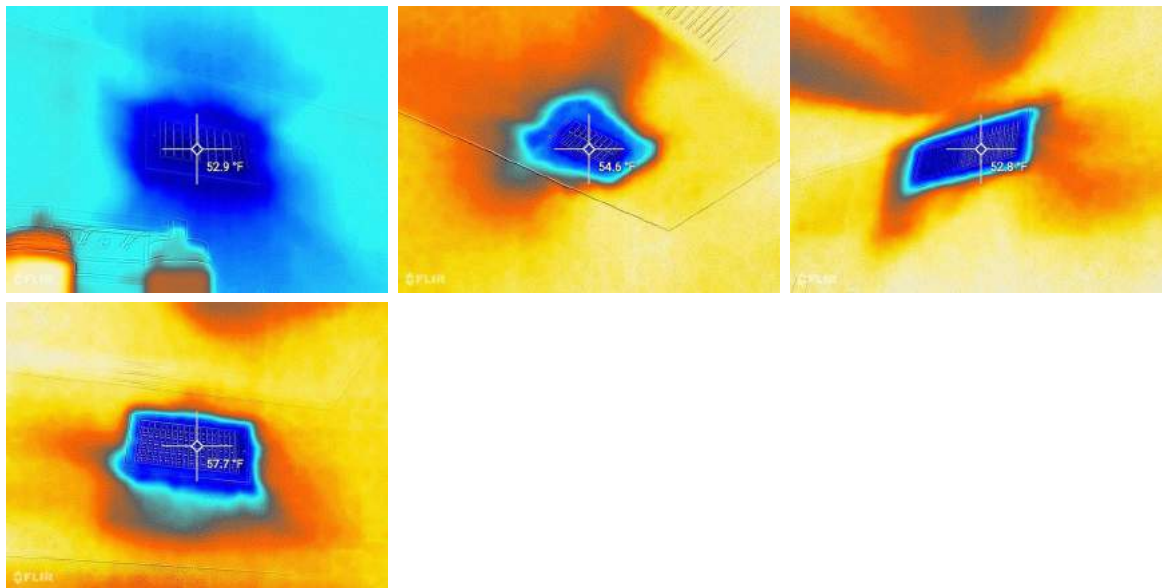
I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

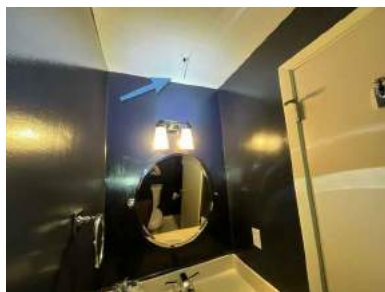


Temperature Difference (Delta) - First Floor: 16°
 Temperature Difference (Delta) - Second Floor: 17°
 Comments:

1: Note: Secondary Drain Line Termination

Maintenance Item/Note

Note: The secondary drain line for the air handler emergency drain pan terminated above the half bathroom sink. Although not a deficiency, the termination location is typically located outside of a window that is visible to persons in the home. Remedy as needed.



Half Bathroom

2: Condensate System: Possible Microbial Growth

Recommendation

Signs of microbial growth were observed indicating prior moisture contact or condensation issues. Evaluation and remediation is recommended.

Recommendation: Contact a qualified HVAC professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
|---|----|----|---|



3: Evaporator Coil: Damaged/Dirty Fins

➡ Recommendation

Internal fins on the evaporator coil were damaged or dirty. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



C. Duct Systems, Chases, and Vents

Comments:

Return Chases in Ceilings:

Inspector does not access return chases in ceilings.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

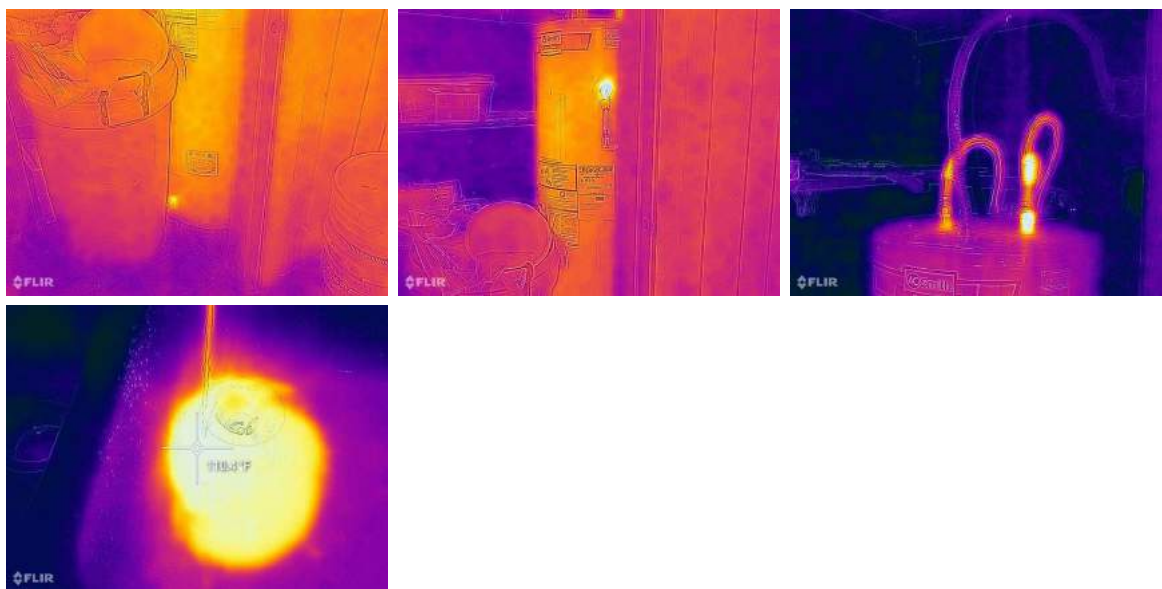
I NI NP D

IV. PLUMBING SYSTEMS

General Photos of Water Heating Equipment:



General Infrared Photos of Water Heating Equipment:



General Photos of Plumbing Fixtures:



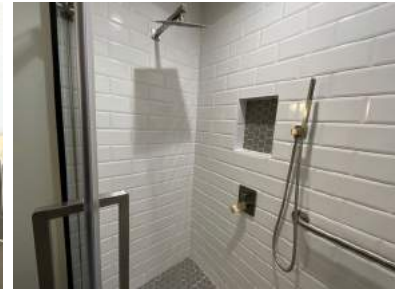
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



I=Inspected

NI=Not Inspected

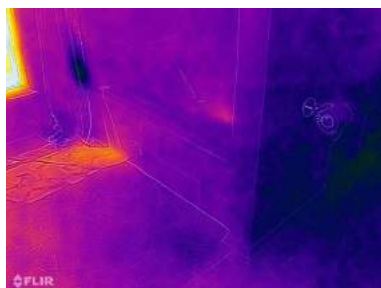
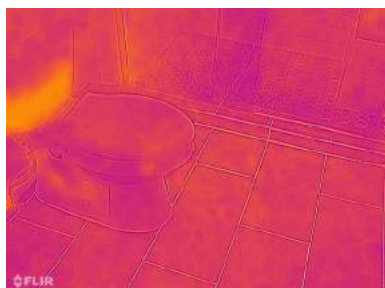
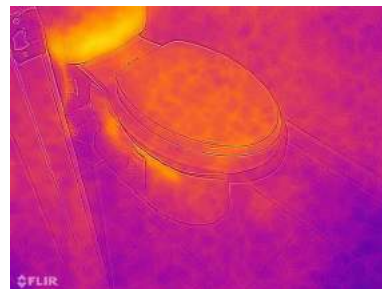
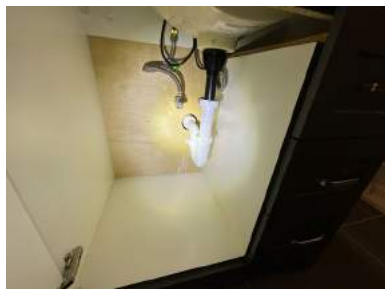
NP=Not Present

D=Deficient

I NI NP D



General Photos of Drain Lines:



- A. Plumbing Supply, Distribution Systems, and Fixtures**
Location of Water Meter: Front Yard Near Street

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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|---|----|----|---|
| I | NI | NP | D |
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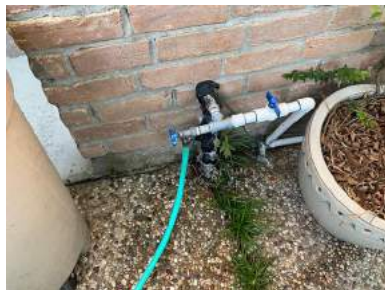
Location of Main Water Supply Valve: Exterior Wall - Left Side



Static Water Pressure Reading: 50-55 PSI



Type of Supply Piping Material: PEX, Galvanized Steel



Prior Repairs:

Evidence of prior plumbing repairs was present in one or more areas of the home. It is recommended that you request repair documentation such as invoices, work orders, permits, or further explanation from the seller. The success of any repairs is outside the scope of this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|



Comments:

Plumbing in Vacant Houses:

It is not uncommon for plumbing seals (gaskets, commode seals, etc.) to dry out when a property is vacant for an extended period of time. These dried out seals may crack and leak after a short period of time when placed back into service. Inspectors cannot determine life expectancy of plumbing seals or gaskets.

No Plumbing Access:

There was not an access panel at one or more bathrooms to observe bath drain lines.



Painted Shut

Water Meter Blocked By Debris:

The water meter was not accessible to inspect due to debris in the meter box.



1: Fixtures: Drain Stops Missing, Damaged or Ineffective

👉 **Recommendation**

Multiple Locations

Drain stops had issues that prevented them from working properly. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Half Bathroom



Primary Bathroom

2: Fixtures: Aerators Damaged/Missing

🔴 Recommendation

Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



Kitchen

3: Fixtures: Poor Flow/Water Pressure

🔴 Recommendation

Multiple Locations

Fixtures had poor flow/water pressure. Cause was not determined. Further evaluation by a qualified plumbing professional is recommended.

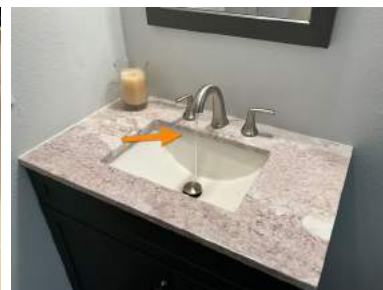
Recommendation: Contact a qualified plumbing contractor.



Kitchen



Half Bathroom



2nd Floor Bedroom Bathroom

4: Fixtures: Diverters Not Functioning Properly

🔴 Recommendation

Water did not completely stop coming out of the faucet spout after the shower diverter was activated. Evaluation and remediation is recommended.

I=Inspected

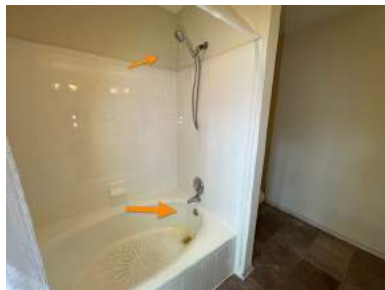
NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
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Recommendation: Contact a qualified plumbing contractor.



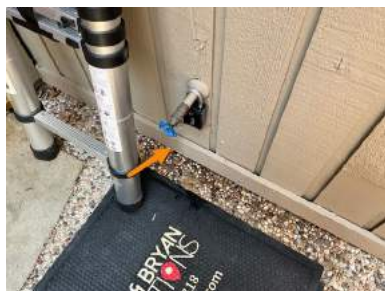
Primary Bathroom

5: Fixtures: Dripping

🔴 Recommendation

Faucets were dripping. Evaluation and/or repair by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



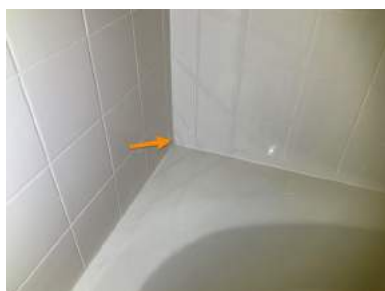
Front Exterior

6: Shower: Loose/Cracked Tiles

🔴 Recommendation

One or more tiles were loose/cracked in the shower enclosure. This can result in possible water intrusion behind the tile. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Primary Bathroom

7: Shower/Tub: Missing/Deteriorated Caulking or Grout

🔴 Recommendation

Multiple Locations

Evaluation and remediation is recommended.

I=Inspected

NI=Not Inspected

NP=Not Present

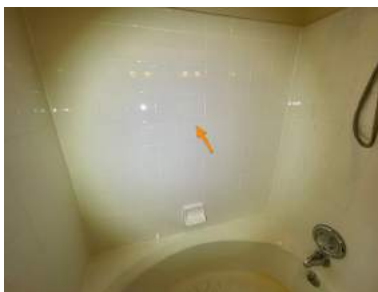
D=Deficient

I NI NP D

Recommendation: Contact a qualified professional.



2nd Floor Bedroom Bathroom



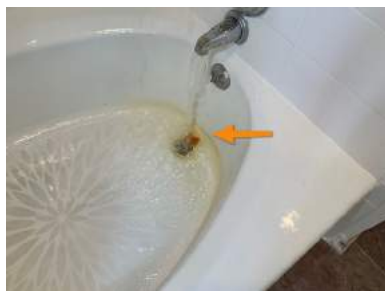
Primary Bathroom

8: Shower/Tub: Surface Defects

🔴 Recommendation

Defects were observed on the shower/tub surface. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Primary Bathroom

9: Sink: Surface Defects

🔴 Recommendation

Surface defects in one or more sinks were present at the time of inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Kitchen

10: Supply Piping: Corrosion on Galvanized Pipes

🔴 Recommendation

Multiple Locations

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Galvanized water supply piping was corroded. The extent of rusting on the piping is not determined. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



Left Exterior



Rear Exterior



Kitchen

11: Toilet: Runs Continuously

🔴 Recommendation

Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



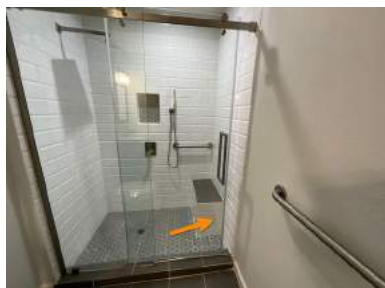
Half Bathroom

12: Shower Door: Does Not Close Properly

🔴 Recommendation

The shower door didn't stay closed when shut. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



2nd Floor Bedroom Bathroom

B. Drains, Wastes, and Vents

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

Type of Drain Piping Material: PVC, ABS



Comments:

1: Evidence of Previous Leaks

 Maintenance Item/Note

Multiple Locations

Evidence of previous leaks were noted. No leaking occurred at time of inspection and the area remained dry.



Kitchen



Primary Bathroom

2: Drain Piping: Leaks

 Recommendation

Leaking was observed at time of inspection. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



Primary Bathroom

3: Drain Piping: Poorly Sloped

 Recommendation

The drain piping was poorly sloped. A proper slope is needed to ensure proper drainage. Pipes that have too steep of a slope will allow the water to drain without the solids, and pipe that is too shallow or bellied will clog constantly or even hold water. Evaluation and/or remediation by a licensed plumber is recommended.

I=Inspected

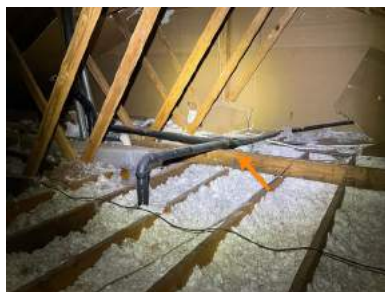
NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Recommendation: Contact a qualified plumbing contractor.



Attic

C. Water Heating Equipment
Energy Source: Electric



Capacity: 50 Gallons

Location: Utility Room

Year of Manufacture: 2018

Comments:

Inspector Does Not Test TPR Valve or Open/Remove Burner Covers:

The inspector does not test TPR valves or remove the burner compartment covers due to safety reasons and risk of damage to the property.

1: Annual Maintenance Flush Recommended

Maintenance Item/Note

Water heaters should typically be flushed annually to prevent sediment buildup and maintain efficiency. It is recommended that you refer to the manufacturer's manual for maintenance schedules specific to this device and make any service appointments as needed.

Recommendation: Contact a qualified plumbing contractor.

2: Tank: Missing Drain Pans

Recommendation

Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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3: Tank: Corroded/Damaged Tank

➡ Recommendation

The water heater tanks and/or fittings had corrosion and/or damage. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



4: TPR Valve Note: Replacement May Be Needed

🔧 Maintenance Item/Note

The manufacturer recommends replacement of the pressure relief valve every three years to ensure proper emergency function. The inspector does not test TPR valves due to safety hazard or possible damage to unit.

Recommendation: Contact a qualified plumbing contractor.



TPR Valve

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: N/A

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
|----------|-----------|-----------|----------|

Type of Gas Distribution Piping Material: N/A

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Comments:



1: No Anti-Siphon Loop

🔴 Recommendation

An anti-siphon loop was not installed at the drain hose under the sink. Most manufacturers specifications suggest that in the absence of an air gap, the drain be looped to prevent back washing from the sink. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



2: Corroded Dish Racks

🔴 Recommendation

There was evidence of corrosion on dishwasher racks. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



3: Inoperative

🔴 Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
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The dishwasher did not operate when tested. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



B. Food Waste Disposers

Comments:



1: Corrosion

🔴 Recommendation

There was evidence of corrosion on or in the disposal. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



C. Range Hood and Exhaust Systems

Exhaust Hood Type: Re-circulate

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

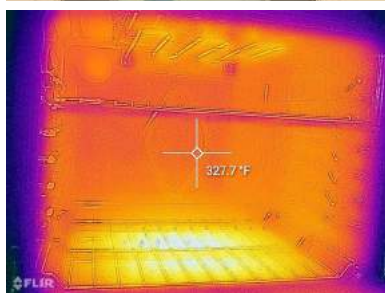
I NI NP D



D. Ranges, Cooktops, and Ovens

Energy Source: Electric

Comments:



1: Missing Anti-Tip Device

▲ Safety Hazard

There was no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



E. Microwave Ovens

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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Comments:



F. Mechanical Exhaust Vents and Bathroom Heaters

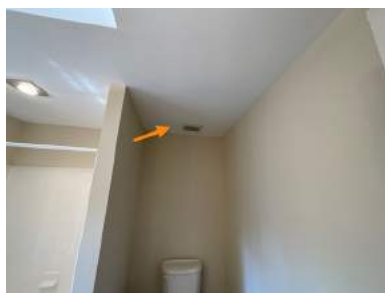
Comments:

1: Noisy Vent Fans

👉 Recommendation

Vent fans were noisy during operation. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Primary Bathroom

2: Dirty/Loose Vent Covers

👉 Recommendation

Cleaning or resealing of the exhaust vent cover is needed to ensure proper air flow. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Half Bathroom

G. Garage Door Operators

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

Comments:

H. Dryer Exhaust Systems

Comments:



1: Cleaning Vent Recommended

[Maintenance Item/Note](#)

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line.

Recommendation: Contact a qualified professional.

2: Screen Over Vent Termination

▲ Safety Hazard

The dryer vent termination was covered by a screen. This arrangement can cause lint to build up on the screen and create an airflow blockage. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
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VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Control Location: Utility Room



Rain Sensor: Installed



Shut Off Location: At Backflow Preventer

Vacuum Breaker/Backflow Preventer: Installed



Zone Location: Not Tested

Comments:

Tested in Manual Mode Only:

Inspection and operation of irrigation (sprinkler) systems under the scope of this inspection is limited to "manual mode" only. Timers and other functions are not operated.

Control Panel Not Plugged In:

The control panel was not plugged in. The inspector could not test the sprinkler system due to this condition.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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| I | NI | NP | D |
|---|----|----|---|



1: Corroded Valve Handles

➔ Recommendation

One or more valve handles were corroded. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

