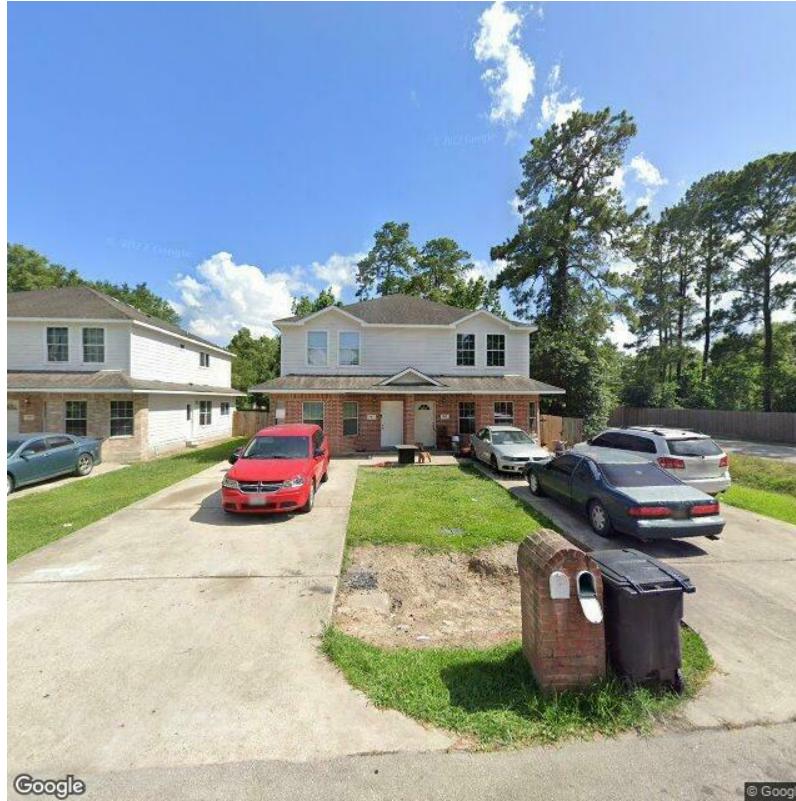




HITE TECH INSPECTIONS
832-477-0367
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<https://www.hitetechinspections.com>



HITETECH TREC REI 7-6

8102 Rhobell St B
Houston, TX 77078



Inspector
Tyler Roberts
Real Estate Inspector #24422
8322449978
tyler@hitetechinspections.com



Agent
Michael Hamilton
281-556-3828
michaelhamilton@yahoo.com



PROPERTY INSPECTION REPORT FORM

Diamond Kelley

Name of Client

8102 Rhobell St B, Houston, TX 77078

Address of Inspected Property

Tyler Roberts

Name of Inspector

David Hite, License #

Name of Sponsor (if applicable)

08/17/2023 8:00 am

Date of Inspection

Real Estate Inspector #24422

TREC License #

22989

TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

In Attendance: Buyer Agent, Buyer

Weather Conditions: Clear

Temperature (approximate): 85 Fahrenheit (F)

Occupancy: Furnished, Occupied

No evidence of termites:

No evidence of termites were discovered, monitoring on a monthly basis is suggested in order to discover activity in the future. If activity is suspected, call a qualified termite treatment company to inspect.

FINAL WALK THROUGH IS REQUIRED:

Final walk through can reveal damages in areas that were hidden by furniture and personal belongings, as well as damage that occurred during move out. A final walk through should be conducted once all the personal belongings of the previous owner have been removed, and no one will be entering the home before closing. This step should be conducted immediately before closing to ensure the final condition of the home. DO NOT SKIP THIS STEP!

The structure has a large amount of personal items being stored:

Personal items may block parts of the structure and property from being viewed, and therefore will limit the scope of the inspection.

General Disclaimers

All open penetrations into a home should be sealed to protect from water and pest intrusions.

An inspection does not determine the advisability or inadvisability of the purchase of the property.

An inspection does not determine the insurability of the property.

An inspection does not determine the life expectancy of the property or any components or system therein.

An inspection does not determine the market value of the property or its marketability.

An inspection does not include items not permanently installed.

An inspection is not technically exhaustive.

An inspection does not deal with aesthetic concerns or what could be deemed matters of taste, cosmetic defects, etc.

An inspection will not determine the suitability of the property for any use.

An inspection will not identify concealed or latent defects.

Arc fault breakers will not be tested when the home is occupied to avoid damaging any electrical equipment plugged into the affected outlets.

If the home uses well and septic you should have the system evaluated by a licensed professional.

In a humid climate, houses where the AC is not functioning can develop issues with moisture build up in walls and ceilings. This can lead to bio growth that requires expensive remediation. If an AC unit is left inoperable for an extended period of time, a mold test should be conducted to ensure that mold has not developed as a result of high moisture levels. Bio growth can affect the health of occupants.

Mechanical and electrical systems can fail unexpectedly. Therefore, this report deals only with the condition of such systems at the time of the inspection, and is not to be considered a guarantee or warranty as to future performance.

Seasonal changes such as wind-driven rain, ice, and humidity may bring some defects to light that were not noted during your home inspection. Basements and attics that were dry at the time of the inspection can be damp or leak in later weeks or months.

Some items or areas may not be inspected if they are blocked by furniture or stored items.

The condition of the property may change after the date of inspection due to many factors such as weather, moisture, leaks, actions taken by the owner or others, and the passage of time. This report reflects the condition of the property at the time of the inspection.

The inspector is not required to move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

The inspection is limited to visible and accessible components and areas.

The inspection is performed in good faith and is a 'snapshot in time'; it does NOT constitute a prediction that the home will perform adequately in the future.

The water heaters TPR valve will not be operated, because of the possibility of damaging the valve itself or components of the home.

This inspection is being conducted in accordance with Texas Standards of Practice guidelines.

This is not a code compliance inspection. The local municipality should be contacted for any questions or concerns in relation to local building code.

When the temperature is above 70 degrees furnaces cannot be adequately tested, and when the temperature is below 60 AC units cannot be adequately tested. The inspector has looked at the components and tested them as fully as possible. No assertions are being made as to the correct functionality when these conditions exist and no warranty is made as to its functionality.

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I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

The foundation is performing :

The foundation is performing within an acceptable range without the need of under pinning or further evaluation. It is important to monitor the foundation for future movement.

Type of Foundation(s): Slab on Grade

Estimates should be obtained on all items needing repair before the option period ends to avoid unexpected repair expenses after closing:

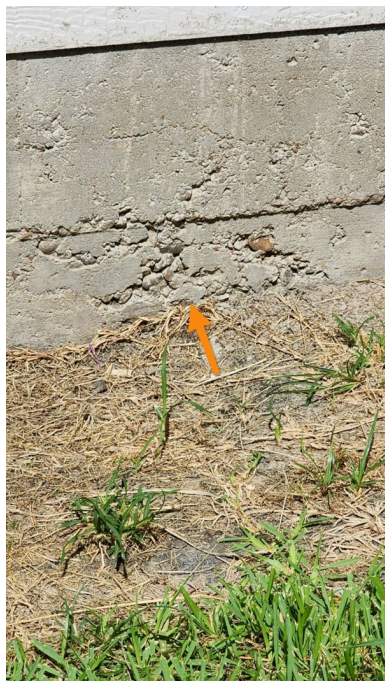
Only visual items can be inspected, hidden items within wall and behind objects as well as latent defects cannot be discovered and are not part of this inspection.

1: Spalling

 Recommendation

Spalling is a result of moisture removing elements of the cement, and should be patched to avert avoid further deterioration.

Recommendation: Contact a qualified professional.



B. Grading and Drainage

1: Gutters are missing

 Maintenance Item

Gutters are always recommended around the entire roof perimeter to help drain water away from the foundation and siding. This helps keep moisture even around the foundation. Uneven moisture can lead to movement in the foundation. It also keeps water away from the siding, which protects it from deterioration.

Recommendation: Contact a qualified gutter contractor

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2: Negative Grading

🔴 Recommendation

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation: Contact a qualified landscaping contractor



C. Roof Covering Materials

Types of Roof Covering: Asphalt

Viewed From: Roof -

The perspective from which the roof is viewed limits the scope of the inspection. For example, when the roof can only be viewed from the ground some parts of the roof may not be visible, where as when the roof can be walked on the whole roof can be observed.

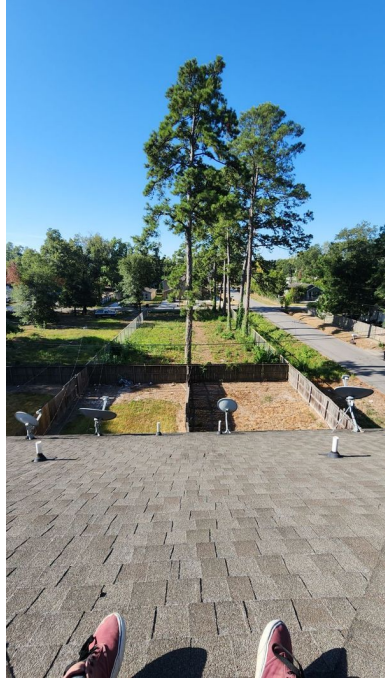
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: Roof Life Expectance -

The life expectancy for architectural shingles is 18-22 years and 3 tab shingles is 10-15 years. Budgeting for future replacement is important.

Insurance Coverage:

Roof passing inspection does not guarantee insurance company coverage. Consult with insurance provider during the option period.

1: Damaged Coverings

🔴 **Recommendation**

Roof coverings exhibited general damage that could affect performance. Recommend a qualified roofer evaluate and repair.

Recommendation: Contact a qualified roofing professional.

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2: Flashings have gaps

Recommendation

Wind driven rain can make its way into these gaps, allowing water to damage to the underlying components leading to expensive repairs. It also allow animals and insects access to the interior space of the home.

Recommendation: Contact a qualified roofing professional.



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3: Granular loss

🔴 Recommendation

Shingles lose granules as they age. Granules provide UV protection for shingles. Once the granules erode away the sun is able to deteriorate the asphalt and shortens the life of the roofing material.

Recommendation: Contact a qualified roofing professional.



4: PVC is not painted

🔵 Maintenance Item

Multiple Locations

PVC will deteriorate when exposed to sunlight, which will shorten the lifespan of the material. PVC should be painted or covered to avoid damage.

Recommendation: Contact a handyman or DIY project

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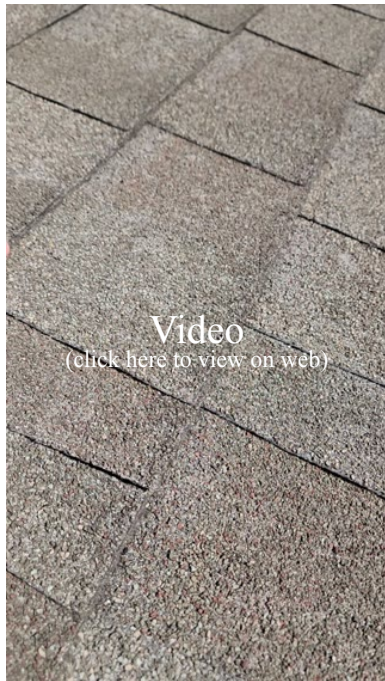


5: Shingles have wind damage and should be repaired

🔴Recommendation

<https://iibec.org/misconceptions-wind-damage-asphalt-composition-shingles/>

Recommendation: Contact a qualified roofing professional.



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D. Roof Structures and Attics

Approximate Average Depth of Insulation: 10 Inches



Viewed From: Attic

1: Attic entry is not properly secured

▲Safety items

Attic entries need to be secured with 16d nails or lag screws. Most attic entries have labels giving instruction on how to properly install the entry. entrance ladder must be secured directly onto the framing without gaps.

Recommendation: Contact a qualified professional.



Missing shims at fasteners

E. Walls (Interior and Exterior)

1: Cracks through mortar

🟡Recommendation

These can be caused by age as well as rusted lintels. These are not necessarily a sign of foundation movement. All cracks should be sealed to prevent water penetration.

Recommendation: Contact a qualified professional.

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I	NI	NP	D
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2: Firewall is missing or damaged

▲Safety items

The purpose of a firewall is to keep a fire from spreading quickly. Firewalls should be made of wallboard because it is fire resistant.

These are required on town homes to separate units, on garage walls and ceilings connected to living areas, detached garages at the entrance to the walkway, and in buildings that are less than 5 feet from adjacent structures.

Recommendation: Contact a qualified drywall contractor.

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3: Gaps in Siding

🔴 Recommendation

Gaps in the siding allow water and insects to penetrate the structure. All gaps should be sealed to prevent damage from interior structural components.

Recommendation: Contact a qualified siding specialist.



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I	NI	NP	D
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4: Joints are separating in siding

🔴 Recommendation

Multiple Locations

Siding should be sealed at all joints. Reason for separation should be determined in order to assess if repairs are needed to structure.

Recommendation: Contact a qualified professional.



5: Lintels are rusted

🔧 Maintenance Item

Lintels are metal plates that support the brick above them it is important to keep these painted and sealed to prevent rusting. Rust will expand and crack the brick and mortar. In extreme cases, the lintel will not be able to support the brick and will need to be replaced.

Recommendation: Contact a qualified masonry professional.

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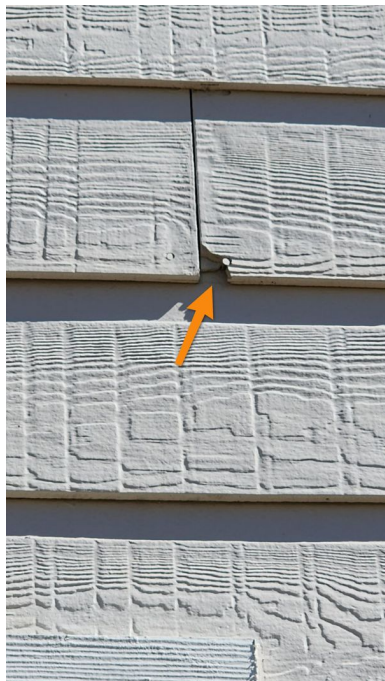
6: Siding or trim is damaged or deteriorated

Recommendation

Multiple Locations

Damaged or deteriorated siding and trim can allow access to water and insects into the home. Have damaged or deteriorated areas replaced.

Recommendation: Contact a qualified siding specialist.



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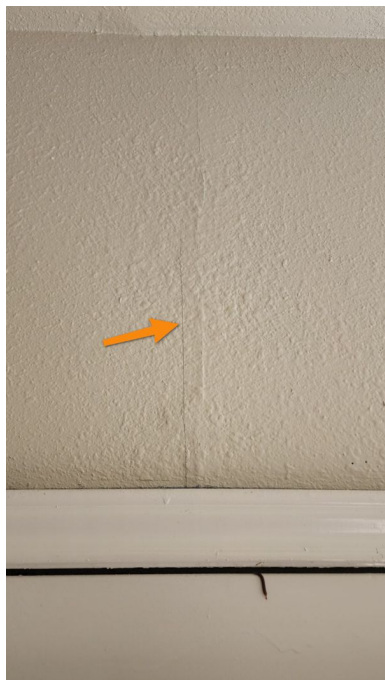
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7: Wall board separation at tape joints

Recommendation

Wallboard tape joints separate from stresses on the wall such as temperature fluctuations, which causes wallboard to expand and contract, use of low quality mud and tape, and poor installation of mud and tape, which can result in weak joints that separate easily from settling that **every building experiences**. If the separations continue to occur it could indicate moisture intrusion or movement, and should be evaluated further.

Recommendation: Contact a qualified drywall contractor.



F. Ceilings and Floors

1: Evidence of previous repair

Recommendation

Reason for previous repairs cannot be determined, and can cover latent defects.

Recommendation: Contact a qualified professional.

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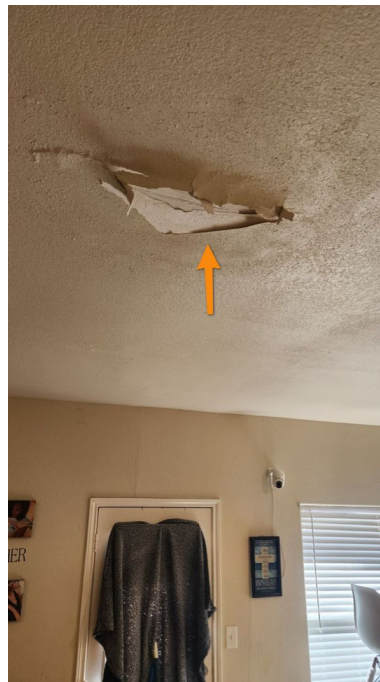


2: Evidence of previous water intrusion

Recommendation

These places had evidence of previous moisture, but were dry at the time of the inspection. They can change with the weather and should be monitored for further change. If further changes occur have moisture source identified, and corrected.

Recommendation: Contact a qualified professional.



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I	NI	NP	D
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Living Room

Living Room

3: Flooring - damaged, loose, or uneven

🔴 Recommendation

The home flooring had general moderate damage visible at the time of the inspection. Recommend evaluation by a qualified flooring contractor.

Recommendation: Contact a qualified professional.



4: Tile is loose or cracked

🔴 Recommendation

Recommendation: Contact a qualified flooring contractor

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I	NI	NP	D
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G. Doors (Interior and Exterior)

1: Door Is binding

Recommendation

Door sticks and is tough to open. Recommend sanding down offending sides.

[Here is a helpful DIY article](#) on how to fix a sticking door.

Door may need to be adjusted or reinstalled in order to operate correctly.

Recommendation: Recommended DIY Project

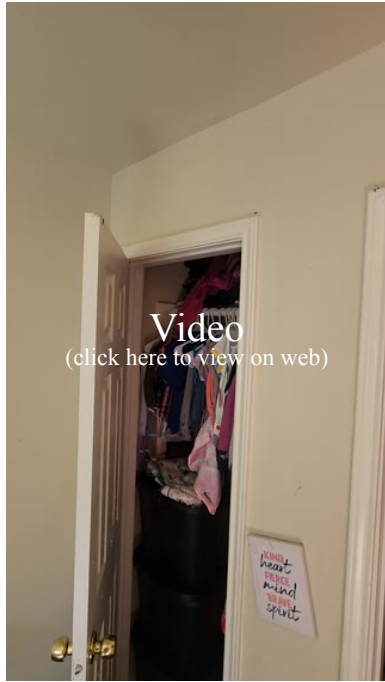
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2: Needs sealed at threshold

Recommendation

Sealing will avoid water penetration under the flooring and should be sealed to avoid damage to flooring.

Recommendation: Contact a handyman or DIY project



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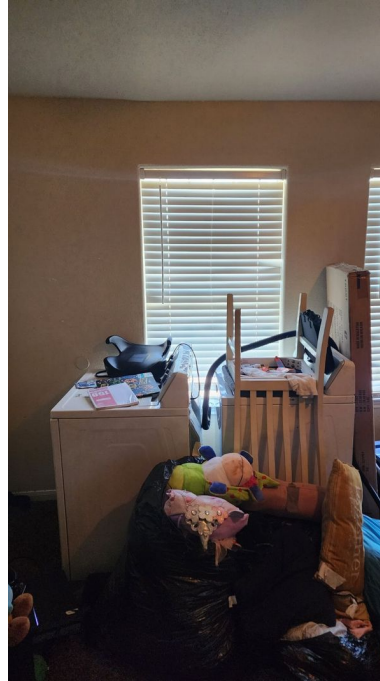
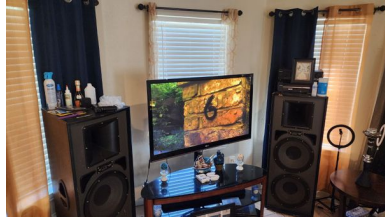
D=Deficient

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H. Windows

Window is obstructed :

Objects in front of the window are blocking access to the window not allowing for it to be tested.



1: Caulking/sealant is deteriorated or missing

[Maintenance Item](#)

Multiple Locations

Caulking/sealant keep water and pests from entering the home.

Recommendation: Contact a handyman or DIY project

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D



2: Condensation between window panes

🟡Recommendation

Observed condensation between the window panes, indicates a failed seal. Recommend qualified window contractor evaluate and repair or replace as needed.

Recommendation: Contact a qualified window repair/installation contractor.



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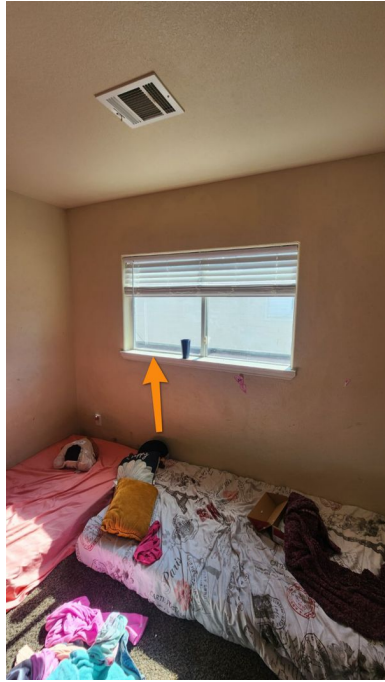
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3: Difficult to open or close

🟡Recommendation

Try lubricating window to see if that corrects the function, as windows age they can be more difficult to open and close. Determine reason and repair or replace.

Recommendation: Contact a handyman or DIY project



4: Failed seal around window

🟡Recommendation

Multiple Locations

When the seal between the glass and frame deteriorates it can allow moisture to come through and can cause a loss of HVAC.

Recommendation: Contact a qualified professional.

I=Inspected

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I NI NP D



5: Lock is missing, damaged, or not locking properly

🔴Recommendation

Locks keep your windows secure from unwanted entry. Locks may not operate if the window does not fit in the frame properly or the lock is damaged. Repair lock as needed.

Recommendation: Contact a qualified window repair/installation contractor.



2nd Floor Bedroom

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I	NI	NP	D
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6: Missing Screen(s)

🔴 Recommendation

One or more windows are missing a screen. Screens protect against insect intrusion when the window is open. Recommend replacement.

Recommendation: Contact a qualified window repair/installation contractor.

7: Screen is damaged

🔴 Recommendation

Damaged screens will let insects enter home when the window is open.

Recommendation: Contact a qualified professional.



8: Missing flashing above trim on window

🔴 Recommendation

Multiple Locations

Flashing above window trim protects trim and allows moisture to escape from behind siding.

<https://www.finehomebuilding.com/list/window-and-door-flashing-guide>

Recommendation: Contact a qualified professional.

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I. Stairways (Interior and Exterior)

1: Guard/Handrail is loose

▲Safety items

Loose handrails and guardrails may not provide sufficient support to prevent a fall, and should be repaired.

Recommendation: Contact a qualified carpenter.



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I	NI	NP	D
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J. Fireplaces and Chimneys

K. Porches, Balconies, Decks, and Carports

1: Cement on driveway or porch has cracks

 Recommendation

Cracks should be sealed to keep water from penetrating the separations caused by the crack.

Recommendation: Contact a qualified professional.



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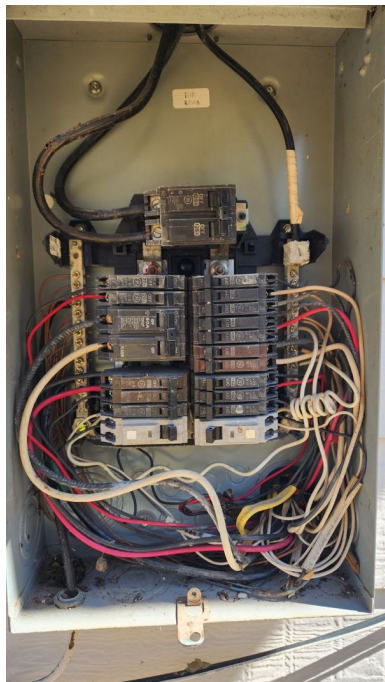
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Service Size : 125



Estimates should be obtained on all items needing repair before the option period ends to avoid unexpected repair expenses after closing.:

Only visual items can be inspected, hidden items within wall and behind objects as well as latent defects cannot be discovered and are not part of this inspection.

1: A/C breaker is not the correct size

▲Safety items

If the unit malfunctions, the breaker will not trip, and the unit will continue to run which could cause damage or a fire.

If the breaker is undersized it will cause the breaker to trip under heavy loads.

For more information <https://www.thespruce.com/what-is-an-arc-fault-1152477>

Recommendation: Contact a qualified heating and cooling contractor

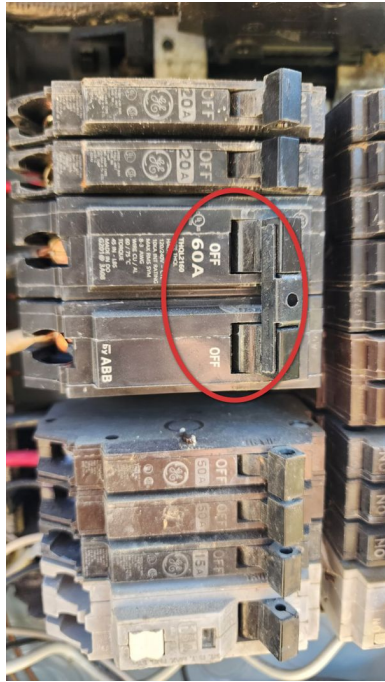
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Max rating 35 amp

2: Corroded components on/in panel

⚠ Safety items

Corroded electrical components can malfunction and do not operate efficiently. Recommendation- Replace corroded components, and identify any sources of moisture that can cause corrosion.

Recommendation: Contact a qualified electrical contractor.



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I	NI	NP	D
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3: Debris in the panel

🔴 Recommendation

Panel should be free of debris, which could inhibit function or create combustible situation.

Recommendation: Contact a qualified professional.



4: Double lugging

⚠️ Safety items

Double lugging is not allowed inside the panel unless the breaker is clearly marked for double use. Double lugging is never allowed on the neutrals on the grounding bar as it may not allow improper connectivity for the wiring to the system.

Recommendation: Contact a qualified professional.

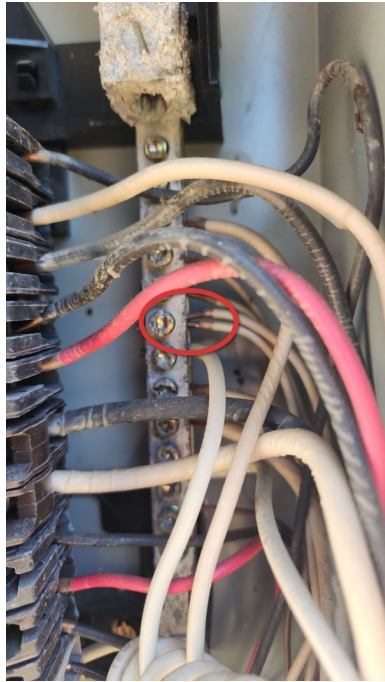
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5: Two grounding rods are required for current code

▲Safety items

http://lightningsafety.com/nlsi_lhm/25ohms-clarification-from-NFPA-70.html

Recommendation: Contact a qualified professional.

6: Wires are coming in from a single entrance

▲Safety items

Wires are now required to be spread out to disperse the heat they create.

Recommendation: Contact a qualified electrical contractor.

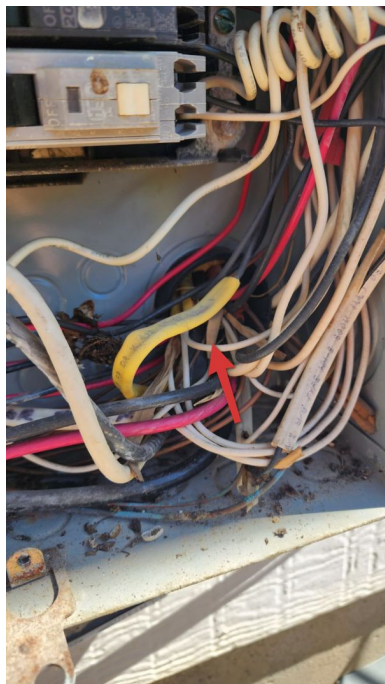
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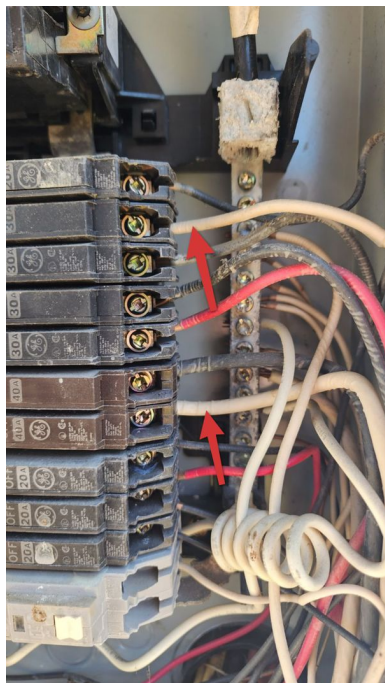


7: Wires are not color coded

▲ Safety items

Without correct color coding, wiring could be installed incorrectly and wires could be misidentified as grounds or neutrals instead of hot wires.

Recommendation: Contact a qualified professional.



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I	NI	NP	D
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

1: Door bell does not work or is damaged

🔴Recommendation

Does not ring to interior

Repair or replace door bell.

Recommendation: Contact a handyman or DIY project

2: Exposed bulbs needs cages to protect from breakage

🔴Recommendation

Bulbs that are exposed and could come into contact with people should have cages on them to avoid breakage which could lead to injury.

Recommendation: Contact a qualified professional.



3: Exposed Ends & Splices

⚠️Safety items

All wire connections & charged wires with exposed ends and splices should be covered in junction boxes for safety. Recommend a qualified electrician correct.

Recommendation: Contact a qualified electrical contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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4: Light fixture cover is damaged, missing or loose

🔴Recommendation

Lights covers protect electrical components from insects and the elements.

Recommendation: Contact a qualified professional.



5: Missing GFCI protection where required

I=Inspected

NI=Not Inspected

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D=Deficient

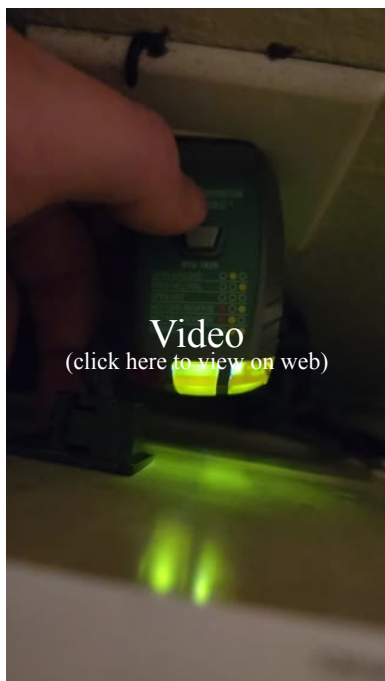
I	NI	NP	D
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▲Safety items

No GFCI protection. Recommend licensed electrician upgrade by installing ground fault receptacles. [Here is a link](#) to read about how GFCI receptacles keep you safe.

Required on all dryers, ranges, ovens or similar appliances. Bathrooms, Garages and Accessory Buildings, Outdoors, Crawl Spaces, Basements, Kitchens, Sinks, Boathouses, Bathtubs and Shower Stalls, Laundry Areas, Indoor Damp and Wet Locations.

Recommendation: Contact a qualified electrical contractor.



6: Outdoor receptacle not sealed properly

▲Safety items

Outdoor receptacles need to be sealed to keep moisture and insects from accessing electrified components and causing damage.

Recommendation: Contact a qualified professional.

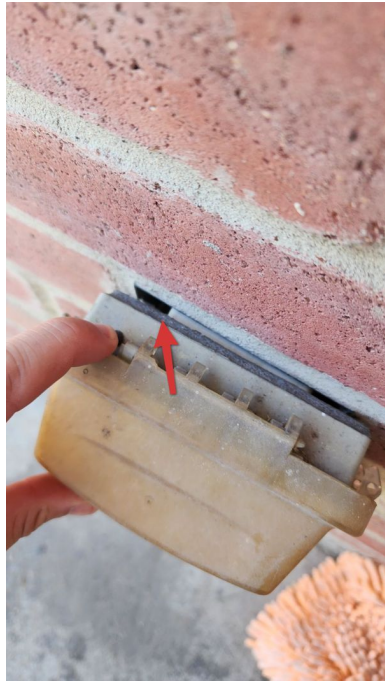
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I	NI	NP	D
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7: Outlets and switches need weatherproof cover on the exterior

▲ Safety items

Without a proper weatherproof cover the outlet will be exposed to the elements.

For more information <https://www.lowes.com/pl/Electrical-box-covers-Electrical-boxes-covers-Electrical/4294653953>

Recommendation: Contact a qualified electrical contractor.

I=Inspected

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I	NI	NP	D
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8: Smoke detectors are missing

▲ Safety items

Smoke detectors alert occupants to evacuate the building in a fire emergency. Smoke detectors should be located in every bedroom, and at least one on every floor.

Recommendation: Contact a qualified professional.



Master Bedroom

I=Inspected

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I	NI	NP	D
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9: Smoke detector is beeping indicating need for a battery change.

▲Safety items

Recommendation: Recommended DIY Project

C. Other

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Energy Sources: Electric

Type of Systems: Forced Air

Filtration location: return

Estimates should be obtained on all items needing repair before the option period ends to avoid unexpected repair expenses after closing.:

Only visual items can be inspected, hidden items within wall and behind objects as well as latent defects cannot be discovered and are not part of this inspection.

Warm Temperature:

The furnace cannot be adequately tested when the temperature is over 70 degrees.

1: Filter requires replacement

🟡 **Recommendation**

The HVAC filter appears to be beyond its expected lifespan. Recommend replacement.

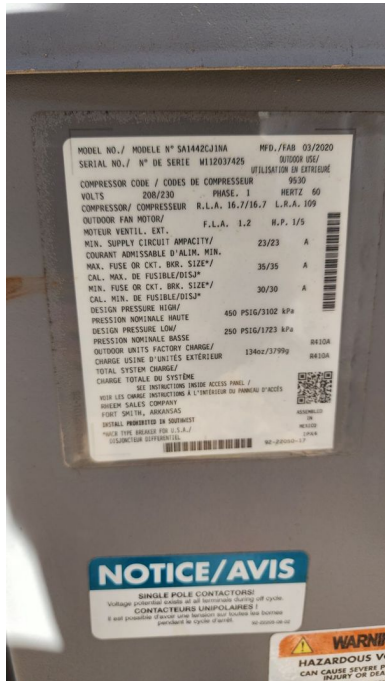
Recommendation: Contact a qualified HVAC professional.

B. Cooling Equipment

Manufacturer data plate:

Instructions on how to determine age and size of the unit.

<https://comfortmonster.com/knowledge-center/identify-system-make-model-size-age-typethere-many-different-system-types-well-focus-systems-make-90-commonly-installed-today-iden/>



Type of Systems: Central Air Conditioner

I=Inspected

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I	NI	NP	D
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AC condenser max breaker rating: 35 - amps

1: Condenser cut off is missing or not accessible

🔴Recommendation

The condenser cut off is required to be mounted in sight of the condenser for emergency purposes. If the condenser malfunctions it is close to the unit to allow for quick electrical disconnection. It is not allowed to be installed behind the unit.

Recommendation: Contact a qualified electrical contractor.

2: Condenser fins are dirty or damaged

🔴Recommendation

Damaged or dirty condenser fins will not expel heat as efficiently.

Recommendation: Contact a qualified HVAC professional.



3: Condenser unit is not secured or level

🔴Recommendation

Condensing unit is not level or secured. This can cause accelerated deterioration of components. Recommend licensed HVAC contractor level the unit.

Recommendation: Contact a qualified HVAC professional.

I=Inspected

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I	NI	NP	D
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4: Insulation Missing or Damaged

Recommendation

Missing or damaged insulation on refrigerant line can cause energy loss and condensation.

Recommendation: Contact a qualified HVAC professional.



5: Refrigerant lines need to be sealed or resealed at entrance into the home

I=Inspected

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I	NI	NP	D
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 Maintenance Item

Penetrations into the home need to be sealed to keep pests and water out.

Recommendation: Contact a qualified professional.



6: Register did not produce sufficient differentials to properly cool the house

 Recommendation

The air conditioner was running but did not produce air within the 14+ degree range needed to cool the home at all registers. Recommend licensed HVAC contractor evaluate.

Recommendation: Contact a qualified HVAC professional.

I=Inspected

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I NI NP D



Return



Register

7: Solar cover missing on insulation

 Maintenance Item

Solar covers prevent the sun from deteriorating the insulation which makes the insulation last longer.

Recommendation: Contact a qualified professional.

8: Secondary installed in incorrect location

 Recommendation

Secondary should be installed above a window in order to allow owner to see drainage.

Recommendation: Contact a qualified HVAC professional.

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I	NI	NP	D
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C. Duct Systems, Chases, and Vents

Ducts inside walls, sub floors, and inaccessible parts of the attic are excluded from the inspection:

Only the parts of the ducts that can be seen are included in the inspection. The interior condition of the ducts cannot be observed for damage or biogrowth and should be inspected by a HVAC company if the purchaser wants to know about the ducts in areas that are not observable.

1: Ducts are installed at a sharp angle or constricted not allowing for proper flow of air

🔴Recommendation

Improperly angled ducts do not allow air to flow freely and will not deliver air to the registers needed to cool and heat rooms adequately. Ducts should not exceed 45 to 50 angle to insure efficient airflow.

Recommendation: Contact a qualified HVAC professional.

I=Inspected

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2: Ducts are touching each other and insulation

Recommendation

Multiple Locations

Ducts are known to condensate when in contact with insulation or other ducts, and should be separated from contact with each other or insulation.

Recommendation: Contact a qualified heating and cooling contractor



I=Inspected

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I	NI	NP	D
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D. Other

I=Inspected

NI=Not Inspected

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D=Deficient

I NI NP D

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Main Water Supply Valve : Exterior of Home



Location of Water Meter: Exterior
Static Water Pressure Reading : 40 psi



Type of Supply Piping Material: PVC

I=Inspected

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I	NI	NP	D
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Sewer pipe camera or hydrostatic test should be conducted:

Test to determine integrity of piping under home to the sewer system should be conducted.

Estimates should be obtained on all items needing repair before the option period ends to avoid unexpected repair expenses after closing.:

Only visual items can be inspected, hidden items within wall and behind objects as well as latent defects cannot be discovered and are not part of this inspection.

1: Caulking is missing or deteriorated

 Maintenance Item

Multiple Locations

Caulking, while inexpensive is an important part of the home. Caulking around plumbing fixtures and at joints protects finishes and structural members from water damage.

Recommendation: Contact a handyman or DIY project



2: Entrance into home is not sealed

 Recommendation

Seal to keep water and pests out.

Recommendation: Contact a handyman or DIY project

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I	NI	NP	D
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3: Hose bib needs anti-siphon device

🔴 Recommendation

Device protects the drinking water system from contamination and bacteria contained in water in piping and hoses that have left the delivery system. For more information

https://www.globalindustrial.com/p/plumbing/valves/backflow-preventers/hose-bibb-vacuum-breaker?infoParam.campaignId=T9F&gclid=Cj0KCQiAqY3zBRDQARIsAJeCVxMgqF2EvXQHhktZ-mLP3cEJfpno-E9WZwAL9GV6ngXp6Hz6gwu6ZF0aAtEwEALw_wcB

Recommendation: Contact a qualified professional.

I=Inspected

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I	NI	NP	D
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4: Shower door seals are deteriorated or missing

🔴Recommendation

Without functioning shower door seals, water can escape from shower enclosure during use.

Recommendation: Contact a qualified professional.



5: Shower glass is required to be tempered and clearly marked

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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▲ Safety items

All panes of glass in a shower should be tempered safety glass and clearly marked. Tempered glass is made to break into small dull pieces protecting the user from injury.

Recommendation: Contact a qualified general contractor.



Marking not visible in glass

6: Shower head is leaking from connection joint

● Recommendation

The connection between the shower head and stem needs to be resealed.

Recommendation: Contact a qualified professional.

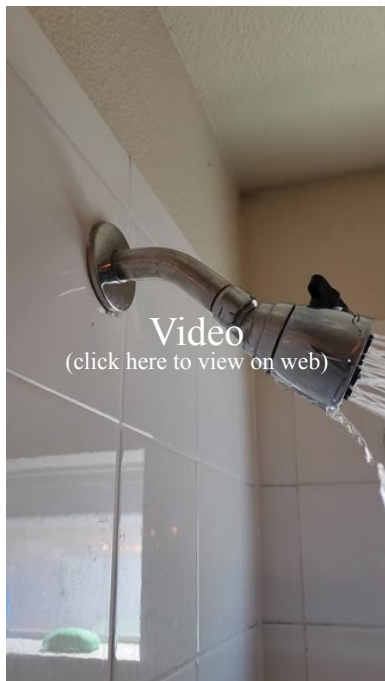
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I NI NP D



7: Toilet does not flush

🚫 Recommendation

1st Floor Partial Bathroom

Recommendation: Contact a qualified professional.

8: Toilet is loose from floor

🚫 Recommendation

2nd Floor Bathroom

Toilets have a wax ring that seals the connection of the toilet to the floor. If the seal is broken water and sewer gases can escape.

Recommendation: Contact a qualified professional.

9: Tub is not properly supported

🚫 Recommendation

2nd Floor Bathroom

Tub should have support over 80% of the bottom of the tub. If the tub is not properly supported it could come loose or crack due to the weight of water and usage.

Recommendation: Contact a qualified professional.

10: Vanity is not secured

🚫 Recommendation

1st Floor Partial Bathroom

If the vanity or sink is not secured it will allow the drain pipe to move, which can cause a leak. The vanity might also fall if not secured.

Recommendation: Contact a qualified professional.

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I NI NP D

B. Drains, Wastes, and Vents
Type of Drain Piping Material: PVC

1: Clogged Drain
 🟡 Recommendation

Drain was observed to be clogged at time of inspection. Recommend a qualified plumber evaluate and remedy.

Recommendation: Contact a qualified plumbing contractor.



2nd Floor Bathroom shower

C. Water Heating Equipment
Manufacturers data plate :



Capacity : 50 gal
 Energy Sources: Electric

1: Pan has debris in it
 🟡 Recommendation

Debris in the drain pan can clog the drain and cause water to spill into the structure.

Recommendation: Contact a qualified professional.

I=Inspected

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D=Deficient

I	NI	NP	D
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2: Previous moisture in drain pan

🔴 Recommendation

Monitor the drain pan for future moisture, and consult a licensed plumber if water appears.

Recommendation: Contact a qualified plumbing contractor.



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NP=Not Present

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I	NI	NP	D
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D. Hydro-Massage Therapy Equipment

F. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: N/A

Type of Gas Distribution Piping Material: N/A

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

A. Dishwashers

Manufacturer data plate :



Limited view:

Only visual items can be inspected, hidden items within wall and behind objects as well as latent defects cannot be discovered and are not part of this inspection.

1: High drain loop missing

🟡 **Recommendation**

The drain line on a dishwasher is supposed to loop above the sink drain and then go into the sink waste water pipe to prevent waste water from reentering the dishwasher.

For more information <https://m.youtube.com/watch?v=t7dEkdHjR84>

Recommendation: Contact a qualified professional.

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I	NI	NP	D
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B. Food Waste Disposers

1: Excessive Noise

🔴Recommendation

Garbage disposal was excessively noisy. Recommend a qualified plumber evaluate and repair.

[Here is a helpful DIY troubleshooting video.](#)

Recommendation: Contact a qualified handyman.

C. Range Hood and Exhaust Systems

1: Exhaust duct is not properly sealed

🔴Recommendation

When the exhaust duct is not sealed properly it can exhaust moisture filled air into the home instead of on the exterior of the home. This can cause moisture build up and deterioration.

Recommendation: Contact a qualified professional.

I=Inspected

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I NI NP D



D. Ranges, Cooktops, and Ovens
Working:



1: Burner Not Working

👉 Recommendation

One or more heating elements did not heat up or heat up fully when turned on. Recommend qualified professional evaluate & repair.

Recommendation: Contact a qualified appliance repair professional.



2: Oven Not Heating Up

👉 Recommendation

I=Inspected

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D=Deficient

I	NI	NP	D
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Oven wasn't heating up at time of inspection. Recommend a qualified appliance contractor evaluate and repair.

[Here is a DIY troubleshooting tip.](#)

Recommendation: Contact a qualified professional.



E. Microwave Ovens

F. Mechanical Exhaust Vents and Bathroom Heaters

1: Exhausts into attic

Recommendation

Exhaust from mechanical vents can cause a buildup of moisture in the attic, which can lead to condensation, and deterioration.

Recommendation: Contact a qualified professional.

I=Inspected

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I	NI	NP	D
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2: Not properly secured to the wall or ceiling

🔴 Recommendation

Interior vent guards block large particles from getting into the vent fan, and keep the fan from being accessible to occupants.

Recommendation: Contact a qualified professional.



Master Bathroom

I=Inspected

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I	NI	NP	D
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G. Garage Door Operators

H. Dryer Exhaust Systems

Dryer vent inside walls cannot be inspected for continuous connection:

Dryer vents are inspected at every location that can be seen. Dryers themselves are not part of the inspection. We can only inspect the parts of the vent that can be seen visually. If the vent has been marked as having lint build up, it should be cleaned by a professional, who will be able to determine if the duct is continuous.

1: Dryer vent filled with lint

 Safety items

Built up lint in dryer vents creates a fire hazard. Dryer vents should be cleaned every three months to ensure free flow of dryer exhaust and reduce the risk of fire.

Recommendation: Contact a handyman or DIY project