



**Residential • Multi-Family • Condos • Townhouses**

## **GC Home Inspection**

**Phone: 281-682-9558**

**Email: [chadlangston@me.com](mailto:chadlangston@me.com)**

**Visit us on the web: [gchomeinspection.com](http://gchomeinspection.com)**

8102 Rhobell St  
Houston, TX 77078





# PROPERTY INSPECTION REPORT FORM

Elijah Adeniyi <i>Name of Client</i>	09/21/2023 <i>Date of Inspection</i>
8102 Rhobell St, Houston, TX 77078 <i>Address of Inspected Property</i>	
Chad Gregory Langston Jr. <i>Name of Inspector</i>	25839 <i>TREC License #</i>
Chad Langston <i>Name of Sponsor (if applicable)</i>	7946 <i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

**Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.**

**This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.**

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

---

### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

# Summary

## Repair Items

### FOUNDATIONS

---

- ◆ Minor vertical cracking was observed in the foundation. This type of cracking is usually the result of shrinkage of the concrete as it cures. Shrinkage cracks are very common and should not be cause for alarm.
- ◆ Common minor cracks were observed in the foundation walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.

### ROOF COVERING MATERIALS

---

- ◆ Lifted flashing should be re-secured.
- ◆ Minor repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.
- ◆ It is recommended that exposed nail heads be caulked or sealed appropriately.

### ROOF STRUCTURES AND ATTICS

---

- ◆ The attic access was inaccessible due to clutter for this unit and therefore was not inspected.

### WALLS (INTERIOR AND EXTERIOR)

---

- ◆ The joints in the Hardie plank should be better sealed. More information can be obtained at: [http://www.jameshardie.com/builder/products\\_siding\\_hardieplankLapSiding.py?openTab=jsnavLink4](http://www.jameshardie.com/builder/products_siding_hardieplankLapSiding.py?openTab=jsnavLink4)
- ◆ Typical minor cracking was observed on the exterior walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.
- ◆ Unit A -
  - ◆ Water damage was noted in the master bathroom. Repairs should be undertaken to prevent further damage to the structure.
- ◆ Unit B -
  - ◆ Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.
  - ◆ Damage to the interior finish in the front entrance/foyer was observed and should be repaired.
  - ◆ Damage to the interior finish in the east bedroom was observed and should be repaired.

### CEILINGS AND FLOORS

---

- ◆ Unit A -
  - ◆ The tile floor in the kitchen is cracked and should be repaired.
  - ◆ Water damage was noted on the floor adjacent to the laundry area.
  - ◆ Water damage was noted on the ceiling in the southwest bedroom which is coming from the condensation dripping off of the plenum. Further investigation and repair should be made as necessary.
  - ◆ The tile floor in the formal living room is cracked and should be repaired.

- ◆ Unit B -
- ◆ The tile floor in the kitchen and living room is cracked and should be repaired.
- ◆ The tile floor in the northeast bedroom's bathroom is cracked and should be repaired.
- ◆ Water damage was noted on the ceiling in the living room. The thermal imaging did not reveal the presence of moisture in this area.

## DOORS (INTERIOR AND EXTERIOR)

- ◆ Unit B -
- ◆ Damaged or non-functional doors in various locations should be repaired.

## WINDOWS

- ◆ It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.
- ◆ The windows should be examined and sealed at the exterior to prevent water infiltration and to improve efficiency.
- ◆ The window(s) have lost their seal in some locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.

## STAIRWAYS (INTERIOR AND EXTERIOR)

- ◆ Unit B -
- ◆ Missing balusters should be replaced.

## SERVICE ENTRANCE AND PANELS

- ◆ Unit B -
- ◆ Double lugged neutrals were observed in the breaker box and should be improved as necessary. Neutral wires under the same lug can present problems when attempting to isolate a circuit to perform work or can become loose and cause a fire.
- ◆ White wires that are "hot" should be properly identified.
- ◆ Unit A -
- ◆ White wires that are "hot" should be properly identified.

## BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

- ◆ The weather cap on the exterior outlet is missing and should be replaced.
- ◆ Unit B -
- ◆ An outlet is loose and should be re-secured.

## COOLING EQUIPMENT

- ◆ 2020 3.5 ton (Servicing unit B)
- ◆ The quick disconnect is missing its cover plate. This should be replaced.
- ◆ 2021 3.5 ton (Servicing unit A) -

- ◆ The outdoor unit of the air conditioning system is out of level. This should be improved.
- ◆ The auxiliary drain pan installed below the evaporator coil of the air conditioning system contains water and debris. This should be emptied and cleaned.

## PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

- ◆ It is recommended that an anti-siphon device be added to the hose bib(s).
- ◆ Unit A -
  - ◆ The toilet in the master bathroom is loose and should be re-secured.
  - ◆ The toilet in the half bathroom is loose and should be re-secured.
  - ◆ The drain stop for the sink in the half bathroom is missing and should be repaired.
  - ◆ Water pressure was found to be low for the sink in the Jack & Jill bathroom. This condition should be investigated and/or repaired.
  - ◆ The drain stop for the sink in the Jack & Jill bathroom is missing and should be repaired.
  - ◆ The drain stop for the sink in the second floor bathroom is missing and should be repaired.
  - ◆ The drain stop for the tub in the Jack & Jill bathroom is missing and should be repaired.
  - ◆ The tub diverter in the Jack & Jill bathroom does not function properly. Further investigation and repair should be made as necessary.
- ◆ Unit B -
  - ◆ Cracked, deteriorated and/or missing shower stall grout and caulk in the master bathroom should be replaced.
  - ◆ The sink in the master bathroom was observed to drain slowly, suggesting that an obstruction may exist.
  - ◆ The drain stop for the sink in the northeast bedroom's bathroom is missing and should be repaired.
  - ◆ The shower head is leaking in the northeast bedroom's bathroom and should be repaired.
  - ◆ The drain stop for the tub in the Jack & Jill bathroom is missing and should be repaired.
  - ◆ The drain stop for the sink in the Jack & Jill bathroom is inoperative and should be repaired.

## DRAINS, WASTES, AND VENTS

- ◆ Exposed PVC waste vent pipes should be painted or covered with lead roof jacks to prevent damage from UV light.

## DISHWASHERS

- ◆ Unit B -
  - ◆ The dishwasher lacks an air gap device or does not have a proper loop in the drain hose. To ensure proper separation between supply and waste water improvement is necessary.
- ◆ Unit A -
  - ◆ The dishwasher lacks an air gap device or does not have a proper loop in the drain hose. To ensure proper separation between supply and waste water improvement is necessary.

## Items To Monitor

## WALLS (INTERIOR AND EXTERIOR)

---

- ◆ Slightly greater than typical cracking was observed on the exterior wall. The amount of movement does not suggest a serious structural problem. This area should, of course, be monitored. The rate of movement cannot be predicted during a one-time inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

### A. Foundations

*Type of Foundation(s):* Slab on grade

*Comments:*

It is the opinion of the inspector that the foundation was performing as intended at the time of inspection.

Minor vertical cracking was observed in the foundation. This type of cracking is usually the result of shrinkage of the concrete as it cures. Shrinkage cracks are very common and should not be cause for alarm.





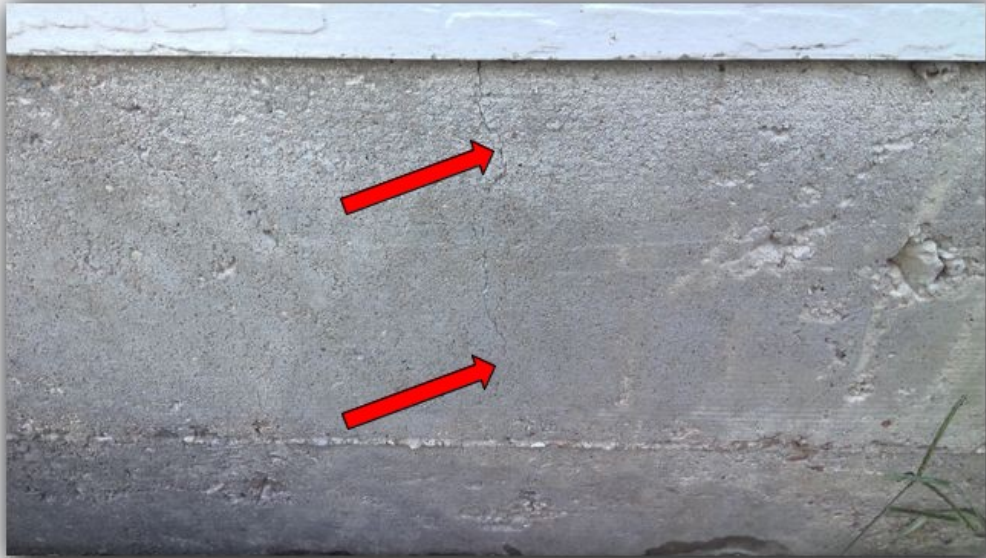
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Common minor cracks were observed in the foundation walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



- 
- 
- 
- 

**B. Grading and Drainage**

*Comments:*

This system was performing as intended at the time of inspection.

- 
- 
- 
- 

**C. Roof Covering Materials**

*Types of Roof Covering:* Asphalt Shingles

*Viewed From:* Walked on roof

*Comments:*

Lifted flashing should be re-secured.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Minor repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.

It is recommended that exposed nail heads be caulked or sealed appropriately.

**D. Roof Structures and Attics**

*Viewed From:* Entered attic and performed visual inspection

*Approximate Average Depth of Insulation:* 12 inches

*Comments:*

Unit B -

The attic access was inaccessible due to clutter for this unit and therefore was not inspected.

**E. Walls (Interior and Exterior)**

*Comments:*

The joints in the Hardie plank should be better sealed. More information can be obtained at:

[http://www.jameshardie.com/builder/products\\_siding\\_hardieplankLapSiding.py?openTab=jsnavLink4](http://www.jameshardie.com/builder/products_siding_hardieplankLapSiding.py?openTab=jsnavLink4)



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Typical minor cracking was observed on the exterior walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.



Slightly greater than typical cracking was observed on the exterior wall. The amount of movement does not suggest a serious structural problem. This area should, of course, be monitored. The rate of movement cannot be predicted during a one-time inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit A -

Water damage was noted in the master bathroom. Repairs should be undertaken to prevent further damage to the structure.

I=Inspected

NI=Not Inspected

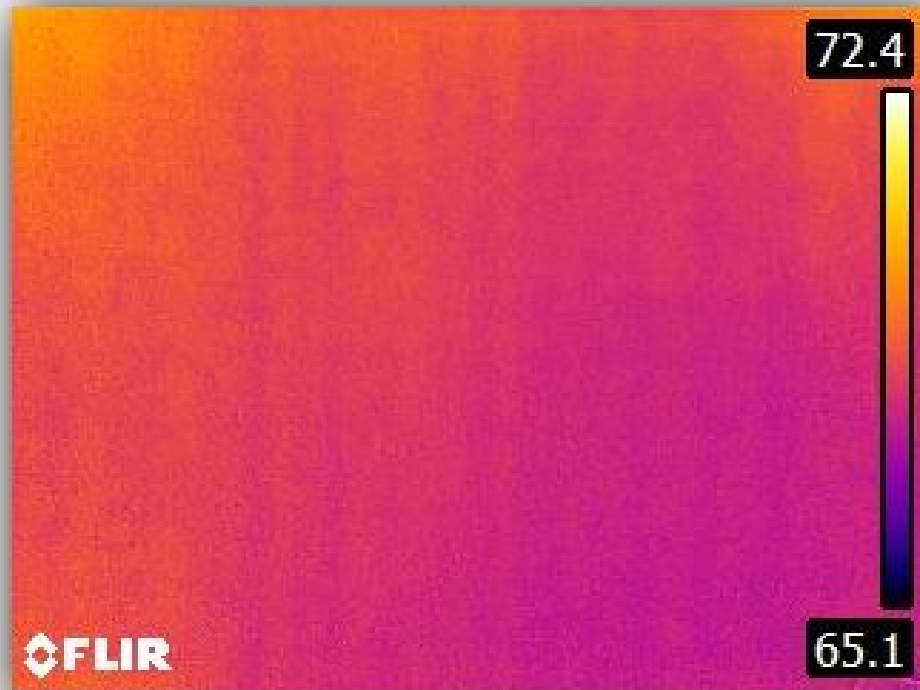
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



There were no thermal anomalies observed to the walls of the home at the time of inspection.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit B -

Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

Damage to the interior finish in the front entrance/foyer was observed and should be repaired.



Damage to the interior finish in the east bedroom was observed and should be repaired.



There were no thermal anomalies observed to the walls of the home at the time of inspection.

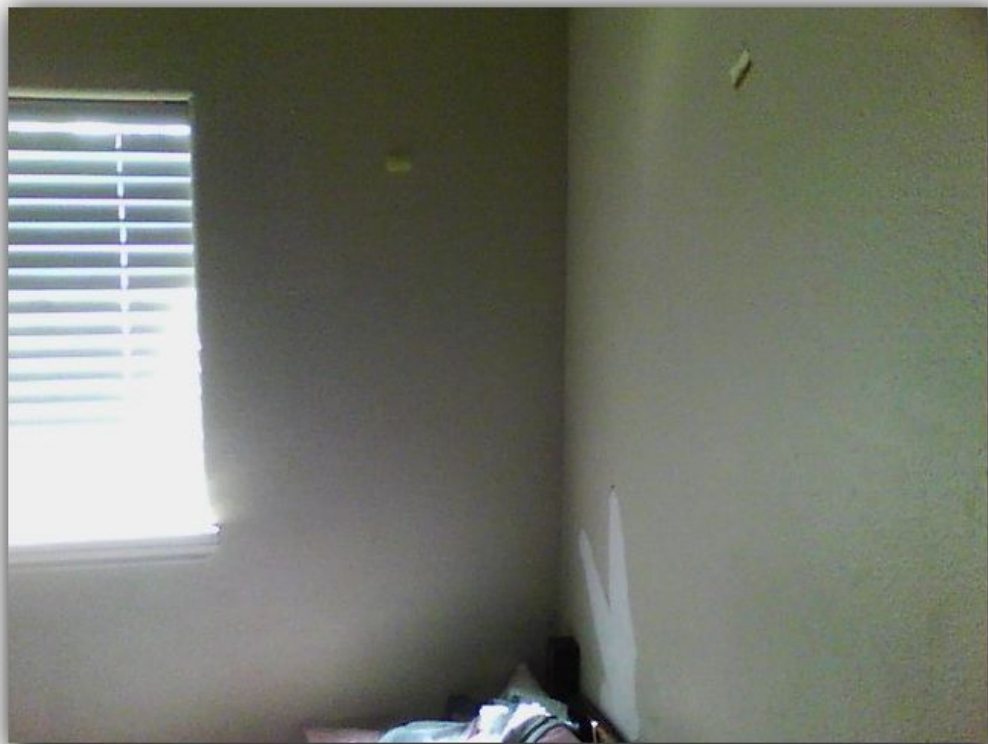
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

- 
- 
- 
- 

**F. Ceilings and Floors**

*Comments:*

Unit A -

The tile floor in the kitchen is cracked and should be repaired.



Water damage was noted on the floor adjacent to the laundry area.



Water damage was noted on the ceiling in the southwest bedroom which is coming from

I=Inspected

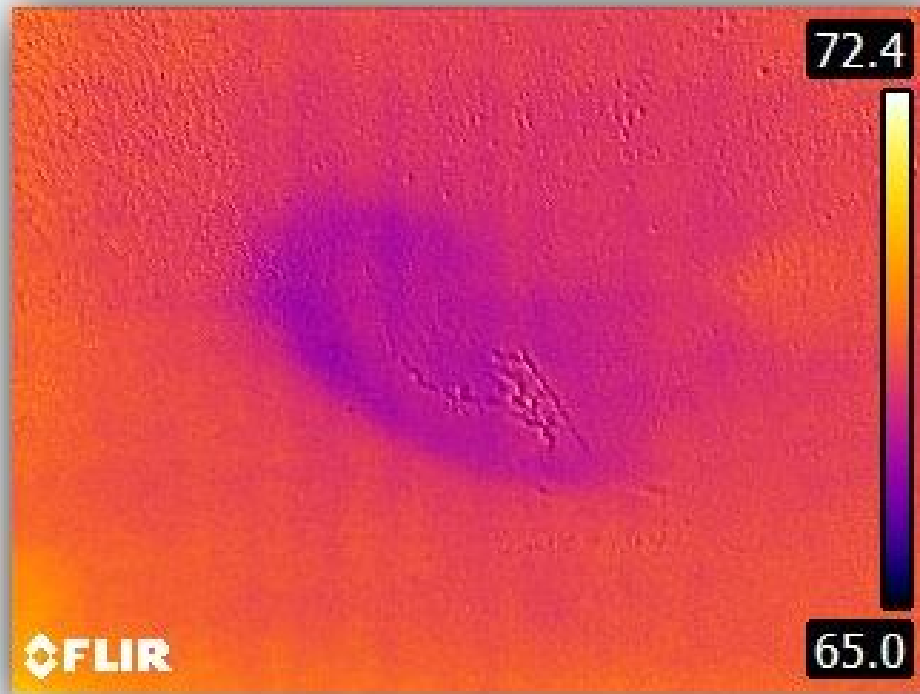
NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

the condensation dripping off of the plenum. Further investigation and repair should be made as necessary.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The tile floor in the formal living room is cracked and should be repaired.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit B -

The tile floor in the kitchen and living room is cracked and should be repaired.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The tile floor in the northeast bedroom's bathroom is cracked and should be repaired.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



There were no thermal anomalies observed to the ceilings of the home at the time of inspection.

Water damage was noted on the ceiling in the living room. The thermal imaging did not reveal the preservice of moisture in this area.

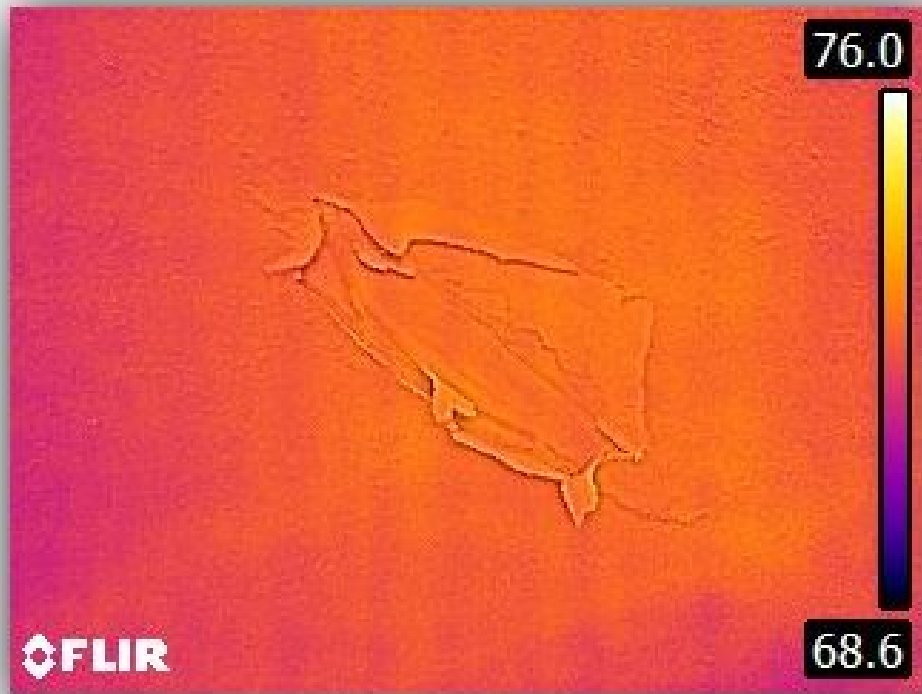
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

**G. Doors (Interior and Exterior)**

*Comments:*

Unit B -

Damaged or non-functional doors in various locations should be repaired.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

**H. Windows**

*Comments:*

It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.

The windows should be examined and sealed at the exterior to prevent water infiltration and to improve efficiency.



The window(s) have lost their seal in some locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



**I. Stairways (Interior and Exterior)**

*Comments:*

Unit B -

Missing balusters should be replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



**J. Fireplaces and Chimneys**  
*Comments:*

**K. Porches, Balconies, Decks, and Carports**  
*Comments:*

This system was performing as intended at the time of inspection.

## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**  
*Comments:*

In accordance with the Texas Real Estate Commission, Chapter 535 §535.229 (a)(17), states that “the lack of arc-fault circuit interrupting devices serving family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas; and failure of operation of installed arc-fault circuit interrupter devices” shall be reported as Deficient.

Unit B -

Double lugged neutrals were observed in the breaker box and should be improved as necessary. Neutral wires under the same lug can present problems when attempting to isolate a circuit to perform work or can become loose and cause a fire.

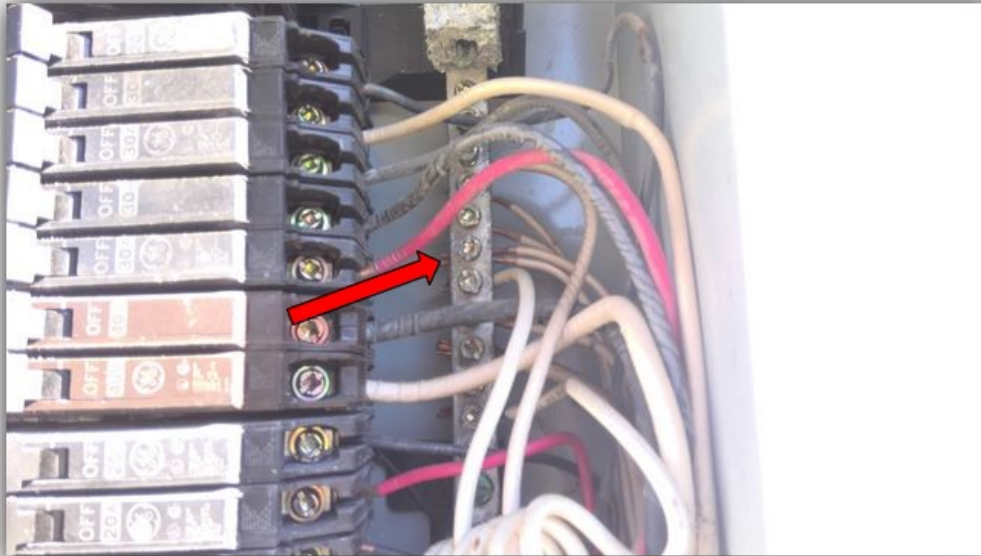
I=Inspected

NI=Not Inspected

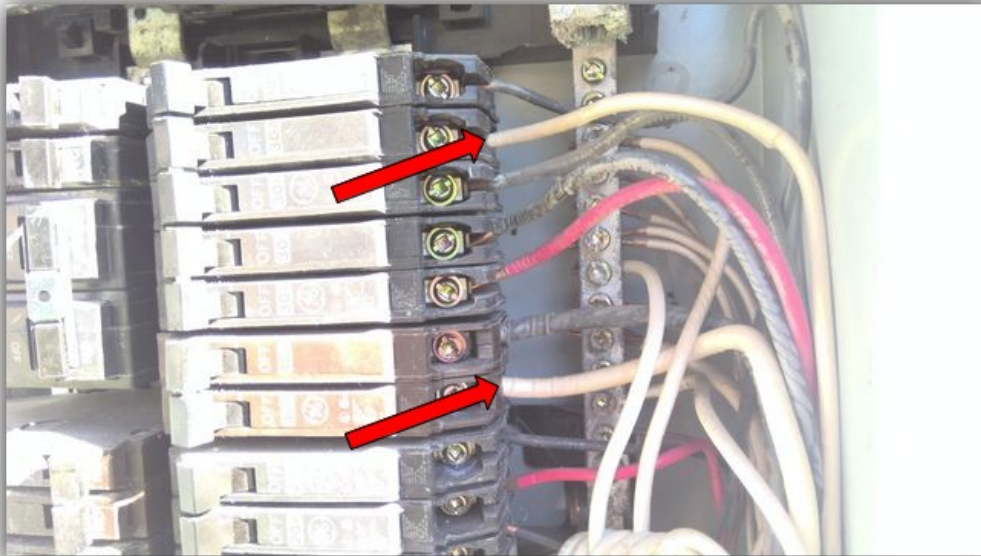
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



White wires that are "hot" should be properly identified.



Unit A -

White wires that are "hot" should be properly identified.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:*

The weather cap on the exterior outlet is missing and should be replaced.



Unit B -

An outlet is loose and should be re-secured.



**III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**A. Heating Equipment**

Type of Systems: Central  
 Energy Sources: Electric  
 Comments:

This system was performing as intended at the time of inspection.

**B. Cooling Equipment**

Type of Systems: Central  
 Comments:

2020 3.5 ton (Servicing unit B)



The quick disconnect is missing its cover plate. This should be replaced.

I=Inspected

NI=Not Inspected

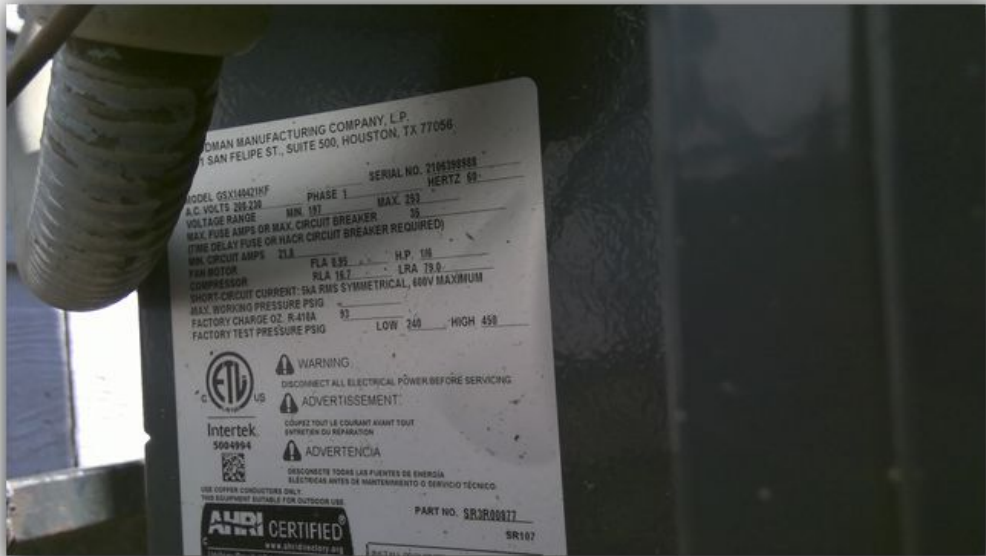
NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



2021 3.5 ton (Servicing unit A) -



The outdoor unit of the air conditioning system is out of level. This should be improved.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The auxiliary drain pan installed below the evaporator coil of the air conditioning system contains water and debris. This should be emptied and cleaned.



- 
- 
- 
- 

**C. Duct Systems, Chases, and Vents**

*Comments:*

This system was performing as intended at the time of inspection.

**IV. PLUMBING SYSTEMS**



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

**A. Plumbing Supply, Distribution Systems and Fixtures**

*Location of water meter:* North side of the home

*Location of main water supply valve:* Northeast and northwest corner of the home

*Static water pressure reading:* 60 psi

*Type of supply piping material:* CPVC

*Comments:*

It is recommended that an anti-siphon device be added to the hose bib(s).



Unit A -

The toilet in the master bathroom is loose and should be re-secured.

The toilet in the half bathroom is loose and should be re-secured.

The drain stop for the sink in the half bathroom is missing and should be repaired.

Water pressure was found to be low for the sink in the Jack & Jill bathroom. This condition should be investigated and/or repaired.

The drain stop for the sink in the Jack & Jill bathroom is missing and should be repaired.

The drain stop for the sink in the second floor bathroom is missing and should be repaired.

The drain stop for the tub in the Jack & Jill bathroom is missing and should be repaired.

The tub diverter in the Jack & Jill bathroom does not function properly. Further investigation and repair should be made as necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit B -

Cracked, deteriorated and/or missing shower stall grout and caulk in the master bathroom should be replaced.

The sink in the master bathroom was observed to drain slowly, suggesting that an obstruction may exist.

The drain stop for the sink in the northeast bedroom's bathroom is missing and should be repaired.

The shower head is leaking in the northeast bedroom's bathroom and should be repaired.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The drain stop for the tub in the Jack & Jill bathroom is missing and should be repaired.

The drain stop for the sink in the Jack & Jill bathroom is inoperative and should be repaired.

**B. Drains, Wastes, and Vents**

*Type of drain piping material:* PVC

*Comments:*

Exposed PVC waste vent pipes should be painted or covered with lead roof jacks to prevent damage from UV light.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



- 
- 
- 
- 

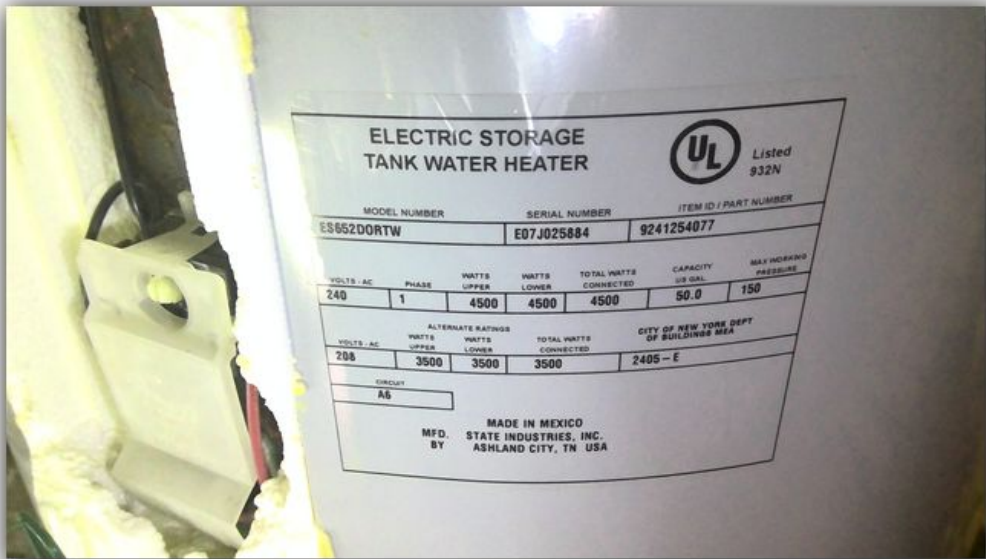
**C. Water Heating Equipment**

*Energy Sources:* Electric

*Capacity:* 50 Gallon

*Comments:*

Unit A -



Unit B -

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Attic access was unavailable due to clutter. Therefore, the water heater was not inspected.

**D. Hydro-Massage Therapy Equipment**

*Comments:*

**E. Gas Distribution Systems and Gas Appliances**

*Location of gas meter: N/A*

*Type of gas distribution piping material: N/A*

*Comments:*

**V. APPLIANCES**

**A. Dishwashers**

*Comments:*

Unit B -

The dishwasher lacks an air gap device or does not have a proper loop in the drain hose. To ensure proper separation between supply and waste water improvement is necessary.

Unit A -

The dishwasher lacks an air gap device or does not have a proper loop in the drain hose. To ensure proper separation between supply and waste water improvement is necessary.

**B. Food Waste Disposers**

*Comments:*

This system was performing as intended at the time of inspection.

**C. Range Hood and Exhaust Systems**

*Comments:*

This system was performing as intended at the time of inspection.

**D. Ranges, Cooktops, and Ovens**

*Comments:*

This system was performing as intended at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

**E. Microwave Ovens**

*Comments:*

Model# -

S/N -

**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

This system was performing as intended at the time of inspection.

**G. Garage Door Operators**

*Comments:*

**H. Dryer Exhaust Systems**

*Comments:*

This system was performing as intended at the time of inspection.

## TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

8102 Rhobell St

Inspected Address

Houston

City

77078

Zip Code

### SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.



8102 Rhobell St Houston 77078  
Inspected Address City Zip Code

1A. GC Home Inspection 1B. 0777379  
Name of Inspection Company SPCS Business License Number

1C. 1212 Chesterwood Pearland TX 77581  
Address of Inspection Company City State Zip Telephone No.

1D. Chad Langston 1E. Certified Applicator  (check one)  
Name of Inspector (Please Print) Technician

1F. Thursday, September 21, 2023  
Inspection Date

2. Elijah Adeniyi Seller  Agent  Buyer  Management Co.  Other   
Name of Person Purchasing Inspection

3. Adeniyi, Elijah  
Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee  Purchaser of Service  Seller  Agent  Buyer   
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. House only  
List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:  
Foundation: Slab  Pier and Beam  Pier Type: \_\_\_\_\_ Basement  Other: \_\_\_\_\_  
Siding: Wood  Fiber Cement Board  Brick  Stone  Stucco  Other: \_\_\_\_\_  
Roof: Composition  Wood Shingle  Metal  Tile  Other \_\_\_\_\_

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A  
If treating for subterranean termites, the treatment was: Partial  Spot  Bait  Other   
If treating for drywood termites or related insets, the treatment was: Full  Limited

6B. N/A N/A N/A  
Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:  
Yes  No  List Insects: N/A  
If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase or sale of this property. I do further state that neither I nor the company for which I am acting is associate in any way with any party to this real estate transaction.

7A. [Signature] 0907598  
Inspector (Technician or Certified Applicator Name and License Number)

Others Present:  
7B. N/A  
Apprentices, Technicians, or Certified Applicators (Names) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:  
8A. Electric Breaker Box  8B. Date Posted: 9/21/23  
Water Heater Closet   
Beneath the Kitchen Sink

9A. Were any areas of the property obstructed or inaccessible? Yes  No   
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:  
Attic  Insulated area of attic  Plumbing Areas  Planter box abutting structure   
Deck  Sub Floors  Slab Joints  Crawl Space   
Soil Grade Too High  Heavy Foliage  Eaves  Weepholes   
Other  Specify: N/A

10A. Conditions conducive to wood destroying insect infestation? Yes  No   
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:  
Wood to Ground Contact (G)  Formboards left in place (I)  Excessive Moisture (J)   
Debris under or around structure (K)  Footing too low or soil line too high (L)  Wood Rot (M)  Heavy Foliage (N)   
Planter box abutting structure (O)  Wood Pile in Contact with Structure (Q)  Wooden Fence in Contact with the Structure (R)   
Insufficient ventilation (T)  Other (C)  Specify: N/A

8102 Rhobell St

Houston

77078

Inspected Address

City

Zip Code

11. Inspection Reveals Visible Evidence in or on the structure:

11A. Subterranean Termites

Active Infestation  
Yes  No

Previous Infestation  
Yes  No

Previous Treatment  
Yes  No

11B. Drywood Termites

Yes  No

Yes  No

Yes  No

11C. Formosan Termites

Yes  No

Yes  No

Yes  No

11D. Carpenter Ants

Yes  No

Yes  No

Yes  No

11E. Other Wood Destroying Insects

Yes  No

Yes  No

Yes  No

Specify: N/A

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

N/A

11G. Visible evidence of: N/A has been observed in the following areas: N/A

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 11. (Refer to Part G, H and I, Scope of Inspection)

Yes

No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows:

Yes

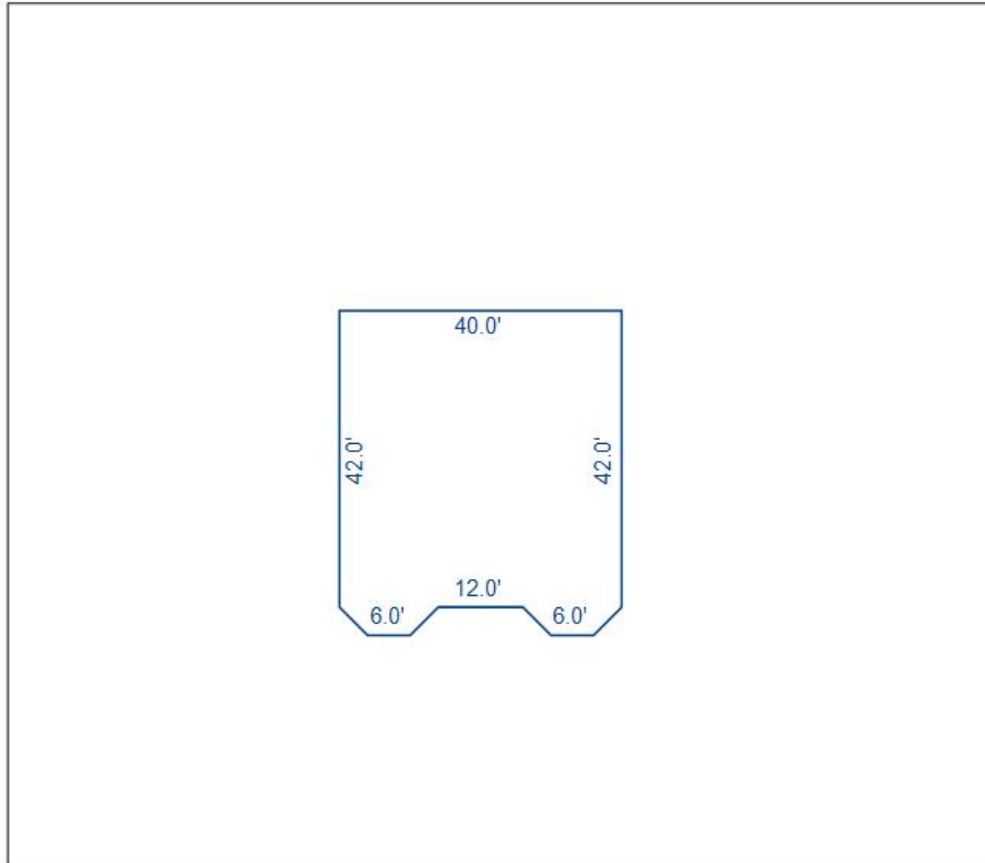
No

Specify reason: N/A

Refer to Scope of Inspection Part J

### Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify \_\_\_\_\_



Additional Comments \_\_\_\_\_

8102 Rhobell St  
Inspected Address

Houston  
City

77078  
Zip Code

**Statement of Purchaser**

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: N/A

Signature of Purchaser of Property or their Designee

Date

9/21/23

Customer or Designee not Present      **Buyers Initials** \_\_\_\_\_