

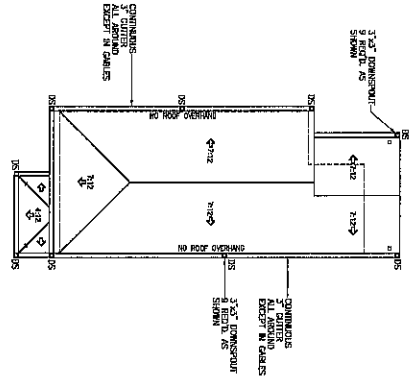
GUTTER & DOWNSPOUT CALCULATIONS

ROOF FALL SLOPE (10 IN) = 0.2 IN/4 IN
 ROOF FALL AREA (100 SQ FT) = 100 SQ FT
 DRAINAGE AREA (100 SQ FT) = 100 SQ FT
 DRAINAGE AREA (100 SQ FT) = 110 SQ FT
 YEAR SETTING = 10 YEARS
 PLAN AREA = 1,589 SQ FT
 MAX. GUTTER SPACING BY EACH DS = 22 FT.
 GUTTER NUMBER OF DS = 72 @ 22 FT. DS = 224.98 SQ FT
 PLAN AREA = 1,718 SQ FT
 MIN. GUTTER DEPTH = 3 IN.
 RECOMMENDED PRODUCT = SERIES 300
 RECOMMENDED PRODUCT = SERIES 300
 RECOMMENDED PRODUCT = SERIES 300

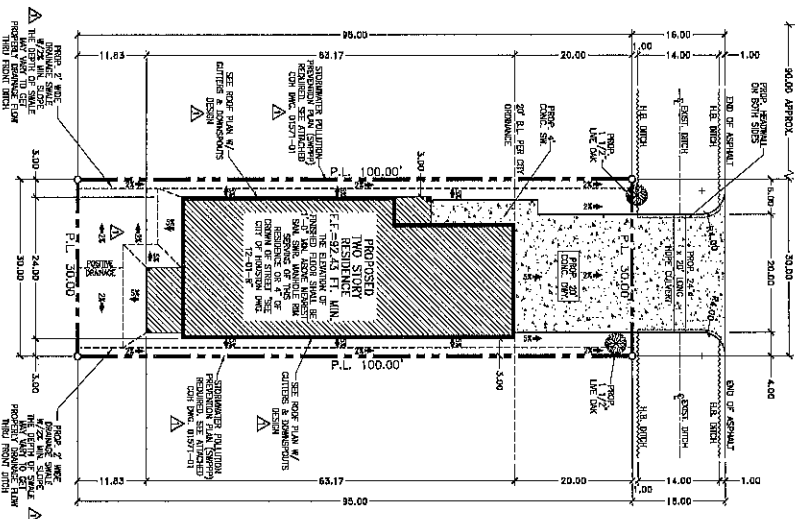
GUTTER & DOWNSPOUTS PROVIDED

GUTTER LENGTH = 187 FT.
 GUTTER DEPTH = 3 IN.
 GUTTER DEPTH = 3 IN.
 DS SIZE = 3 IN.

ROOF PLAN W/GUTTERS & DOWNSPOUTS CALCULATIONS



KNOX ST. (60 ROW) ASPHALT RD.



SITE DRAINAGE PLAN

CALCULATION OF IMPERVIOUS PERCENTAGE

IMPROVEMENT TYPE	EXISTING SQ. FT.	ADDITION SQ. FT.	TOTAL SQ. FT.
BUILDINGS (E.G. HOUSE, GARAGE, STORAGE)		1,312	1,312
PARKING LOT		488	488
DRIVEWAY/SIDEWALK/PATIO/CONCRETS		488	488
SWIMMING POOL/DECK/PAVING ROAD		1,790	1,790
OTHS		1,790	1,790
-LOT AREA		3,000	3,000
PERCENTAGE IMPERVIOUS AREA CALCULATION (A/B) x 100 =		59.33 %	

If > 60%, REFER THE IMPERVIOUS DESIGN MANUAL, CHAPTER 9, SECTION H FOR ADDITIONAL PROVISIONS

SITE GRADING (AT FOUNDATION)

THE GRADING AT THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET FROM THE FOUNDATION. THE GRADING SHALL BE SLOPED AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET FROM THE FOUNDATION. THE GRADING SHALL BE SLOPED AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET FROM THE FOUNDATION.

SITE SURFACE DRAINAGE

SURFACE DRAINAGE SHALL BE DIRECTED TO A STORM SEWER CONDUIT OR OTHER APPROVED POINT OF COLLECTION SO AS TO NOT CREATE A PONDING AREA. SURFACE DRAINAGE SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET FROM THE FOUNDATION. THE GRADING SHALL BE SLOPED AWAY FROM THE FOUNDATION AT A MINIMUM SLOPE OF 5 PERCENT FOR A MINIMUM DISTANCE OF 10 FEET FROM THE FOUNDATION.

SITE PLAN NOTES:

- DO NOT DRAIN TO ADJACENT PROPERTY.
- IT IS THE BUILDER/CONTRACTOR RESPONSIBILITY TO VERIFY ALL SWAY HEIGHTS, SLAB CONCRETE, BUILDING LISTS, UTILITY EXISTENCES, METAL EXISTENCES, BUILDING LISTS, SUCH FOR BROWNSHAWNS, AROUND & DOWNHOLE TO BE DONE.
- SEE ROOF PLAN FOR ALL INFORMATION ON THIS SITE PLAN FOR THE CONSTRUCTION OF THE RESIDENCE.



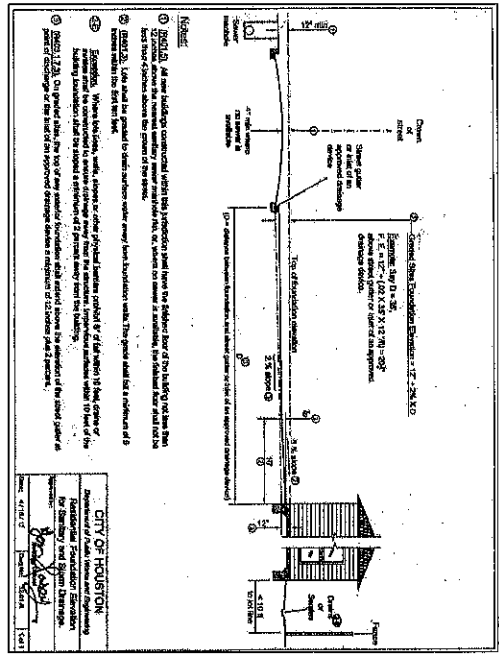
ABC DESIGN STUDIO
 PROFESSIONAL ENGINEERING FIRM
 1100 WEST 19TH STREET, SUITE 100
 HOUSTON, TEXAS 77058
 TEL: 713.465.1100
 WWW.ABCDESIGNSTUDIO.COM

PROPOSED SINGLE RESIDENCE AT 6623 KNOX ST. HOUSTON TX 77061

DATE:	DESIGN BY:	APC
DRAWN BY:	SCALE:	1" = 10'
LEGAL DESC:	ADD PROJ. NO.:	ABC20-34
HIGHLAND HEIGHTS AMOTION	FLOODPLAIN ZONE:	X
HIGHLAND COUNTY, TEXAS	PERM. MAP PANEL:	422010080 H
HCAO ACD. NO. 9103230250060	KEY MAP:	4187

DATE: DECEMBER 16, 2020
 OWNER: PEREZ & BERNARDI INVESTMENT GROUP
 LEGAL DESC: LOT 40 BLOCK 23
 HIGHLAND HEIGHTS AMOTION
 HIGHLAND COUNTY, TEXAS
 HCAO ACD. NO. 9103230250060

PROJECT: SITE DRAINAGE PLAN
 SHEET: A-02

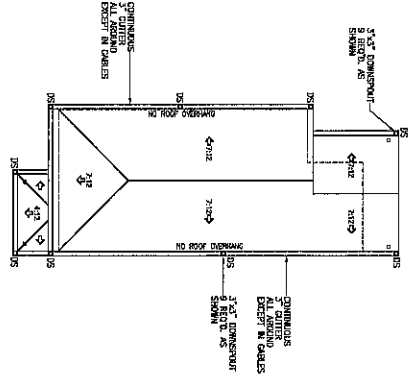


CITY OF HOUSTON
 DEPARTMENT OF PUBLIC WORKS
 ENGINEER
 [Signature]

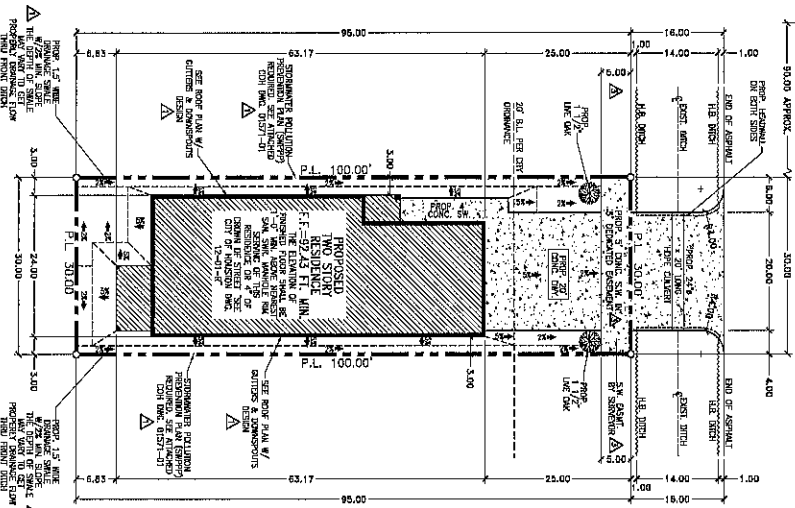
GUTTER & DOWNSPOUT CALCULATIONS
 RAIN FALL INTENSITY (10 YR) = 4.2 in./hr.
 RAIN FALL INTENSITY (100 YR) = 10.0 in./hr.
 DRAINAGE AREA (100 YR) = 110 sq ft.
 YEAR SETTING = 12 years
 PLAIN AREA = 1,560 sq ft.
 MIN. GUTTER DEPTH = 3 in.
 MIN. GUTTER DEPTH = 3 in.
 RECOMMENDED PRODUCT = ALUMINUM
 RECOMMENDED PRODUCT = ALUMINUM
 RECOMMENDED PRODUCT = ALUMINUM

GUTTER & DOWNSPOUTS PROVIDED
 GUTTER LENGTH = 197 ft.
 NUMBER OF DS = 8
 GUTTER DEPTH = 3 in.
 DS SIZE = 3"x3" in.

ROOF PLAN W/GUTTERS & DOWNSPOUTS CALCULATIONS



KNOX ST.
 (40' ROW) ASPHALT PAV.



SITE DRAINAGE PLAN

CALCULATION OF IMPERVIOUS PERCENTAGE

IMPROVEMENT TYPE	EXISTING SQ. FT.	ADDITION SQ. FT.	TOTAL SQ. FT.
BUILDINGS (E.G. HOUSE, GARAGE, STORAGE)		1,312	1,312
PARKING LOT		468	468
DRIVEWAY/SIDEWALK/PATIO/CARPORTS		468	468
SWIMMING POOL/RETENTION POND			
OTHERS		1,760	1,760
A= TOTALS		1,760	1,760

BE TOTAL AREA OF LOT: 3,000
 PERCENTAGE IMPERVIOUS AREA CALCULATION: (1,760 / 3,000) x 100 = 58.33 %

SITE GRADING (AT FOUNDATION)
 THE GROUND SURFACE SHALL BE ADJUSTED TO THE PROPOSED FINISH GRADE. THE FINISH GRADE SHALL BE ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5 PERCENT SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE FOUNDATION. THE FINISH GRADE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DRAINAGE WATER AWAY FROM THE FOUNDATION. THE FINISH GRADE SHALL BE PROVIDED WITHIN A MINIMUM OF 2 FEET WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.

SITE SURFACE DRAINAGE
 SURFACE DRAINAGE SHALL BE DIRECTED TO A STORM SEWER CONDUITANCE OR OTHER APPROVED POINT OF COLLECTION SO AS TO NOT CREATE A PONDING LOT. SURFACE DRAINAGE SHALL BE PROVIDED WITHIN 10 FEET OF THE FOUNDATION. THE FINISH GRADE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DRAINAGE WATER AWAY FROM THE FOUNDATION. THE FINISH GRADE SHALL BE PROVIDED WITHIN A MINIMUM OF 2 FEET WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION.

SITE PLAN NOTES:
 -DO NOT DRINK TO ADJACENT PROPERTY.
 -IT IS THE BUILDER'S/CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL SLAB HEIGHTS, SLAB CONCRETE REINFORCEMENTS AND DIMENSIONS, UTILITY REVISIONS, KERFL REVISIONS, BUILDING DIMENSIONS AND SUCH FOR ALL BUILDINGS ACCORDING TO CODES.
 -BUILDER'S/CONTRACTOR TO VERIFY ALL DIMENSIONS ON THIS SITE PLAN & BE RESPONSIBLE FOR THE REVISIONS.



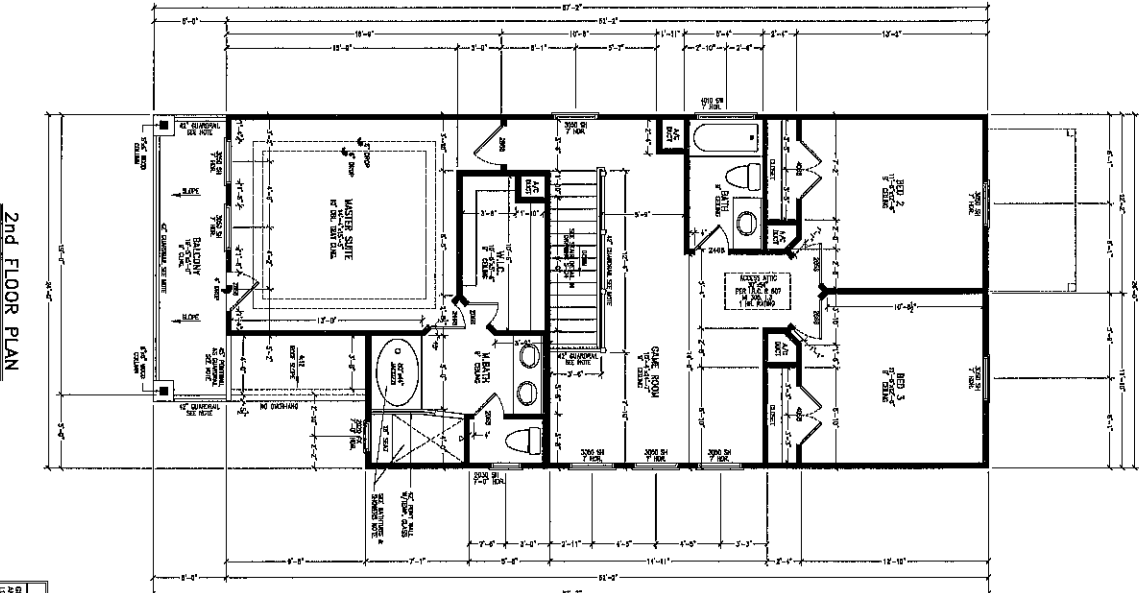
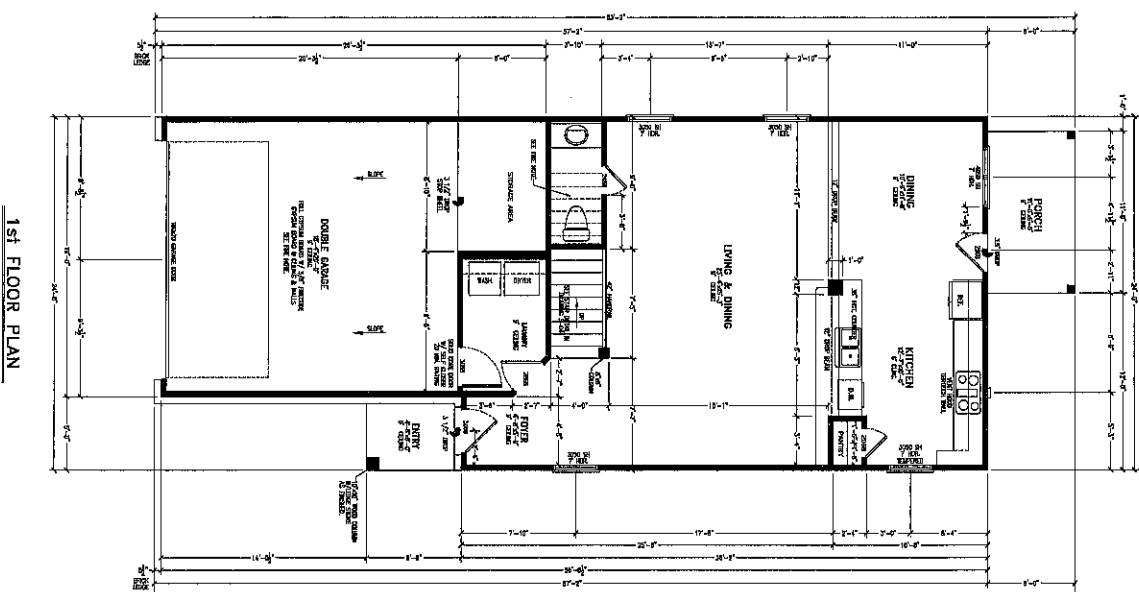
PROPOSED SINGLE RESIDENCE AT
 6623 KNOX ST.
 HOUSTON TX 77031

ABC DESIGN STUDIO
 ARCHITECTURAL DESIGN
 11000 W. 34th St., Suite 100
 Houston, TX 77042
 Tel: 281-412-1111
 www.abcdesignstudio.com

DATE: JANUARY 08, 2012
OWNER: FENCE & REMEDIATION EMPLOYMENT GROUP
LEGAL DESIG: LOT 40 BLOCK 23
MUNICIPALITY: HOUSTON, TEXAS
HEAD OFFICE: 511221001000008

DESIGN BY: ABC
SCALE: 1/8"=1'-0"
PROJECT NO.: ABC20-54
FLUOROPLAN NO.: 3
FEIN AND PANEL: 4802 COORD W
DATE: MAY 2012

TITLE: SITE DRAINAGE PLAN
SHEET: A-02
REVISIONS: 3



GENERAL SPECIAL NOTE
 ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE NOTED.
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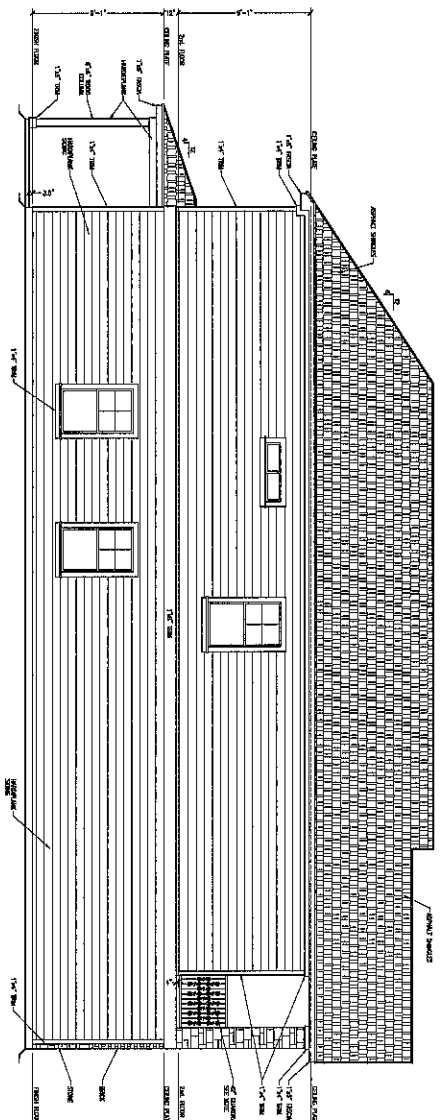
TITLE
FLOOR PLAN

PROPOSED SINGLE RESIDENCE AT
 6825 KNOX ST.
 HOUSTON TX 77031

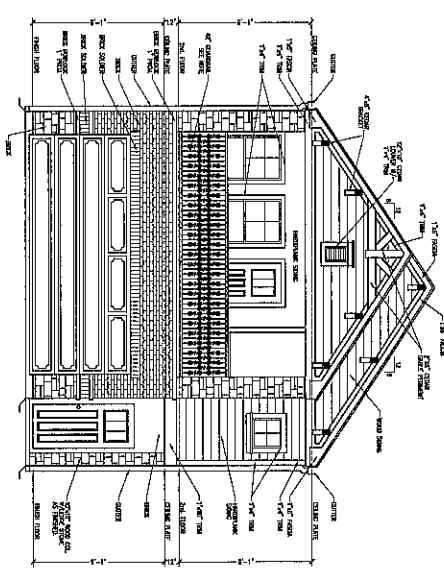
DESIGNER ABC DESIGN STUDIO
DATE 08/01/13
SCALE 1/8" = 1'-0"
PROJECT NO. ABC-13-01
FLOORPLAN ZONE X
TEAM LEAD ABC DESIGN STUDIO
KEY MAP 1127

- ATTC ACCESS NOTE**
- FIRE NOTES**
- WINDOWS & DOORS LEGEND**
- WINDOWS SCHEDULE**
- TOTAL SQUARE FOOTAGE**

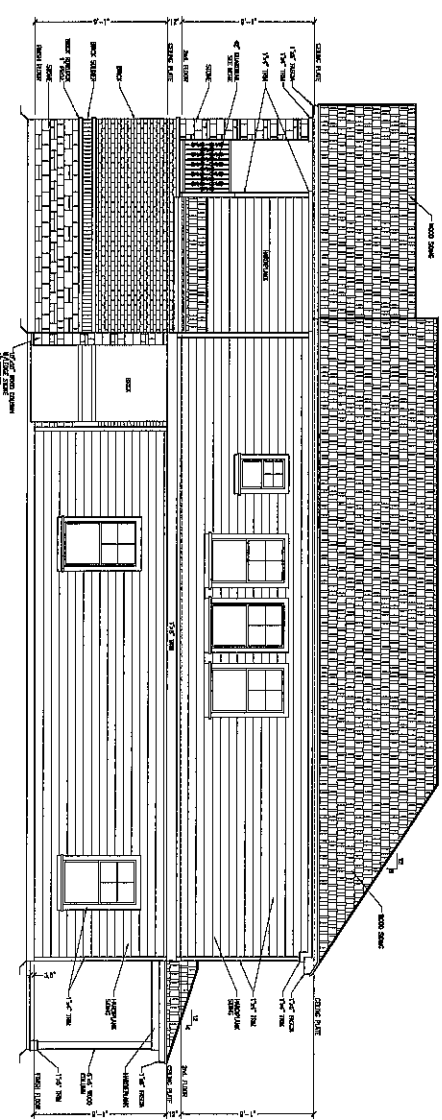




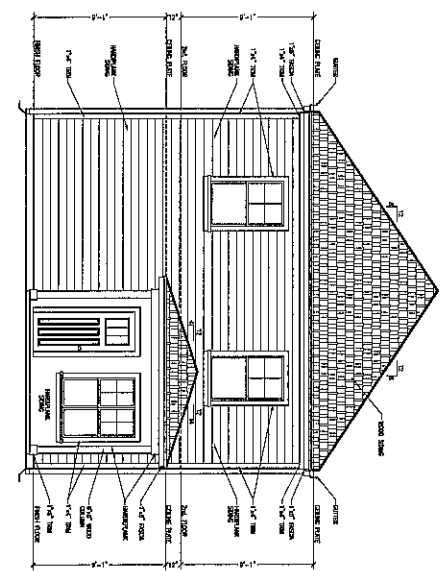
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

EXTERIOR MATERIAL NOTES:

1- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

2- STONE 18" X 18" - NATURAL FINISH, SEE PLAN FOR LOCATION AND QUANTITY.

3- BRICK 4" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

4- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

5- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

6- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

7- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

8- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

9- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

10- BRICK 8" X 8" - STANDARD BRICK WITH 1/4" - 1/4" MORTAR BEDDED TO THE COURSE.

GLAZING SPECIAL NOTE:

1- ALL WINDOWS AND DOORS TO BE GLAZED WITH 1/2" CLEAR GLASS.

2- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

3- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

4- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

5- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

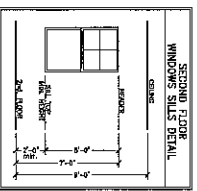
6- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

7- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

8- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

9- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.

10- ALL WINDOWS AND DOORS TO BE OPERATED WITH 1/2" CLEAR GLASS.



SECOND FLOOR WINDOW SILL DETAIL

PROPOSED SINGLE RESIDENCE AT 6622 KNOW ST. HOUSTON TX 77061		Copyright © 2020 ABC DESIGN STUDIO. All Rights Reserved. The information contained herein is the property of ABC DESIGN STUDIO and is not to be used, reproduced, or distributed in any form or by any means without the prior written permission of ABC DESIGN STUDIO.	
DATE:	OCTOBER 26, 2020	DESIGN BY:	ABC DESIGN STUDIO
DRAWN BY:	ABC DESIGN STUDIO	SCALE:	AS SHOWN
LEGAL DESC:	LOT 45 BLOCK 22	ARC PROJ. NO.:	ARC20-04
	HIGHLAND HEIGHTS ADDITION	FLOODPLAIN ZONE:	X
	HARRIS COUNTY, TEXAS	FEMA MAP PANEL:	4820100000 M
HOAP ACC. NO.:	0162702000030	FET MAP:	4127

TITLE: EXTERIOR ELEVATIONS
 SHEET: A-04



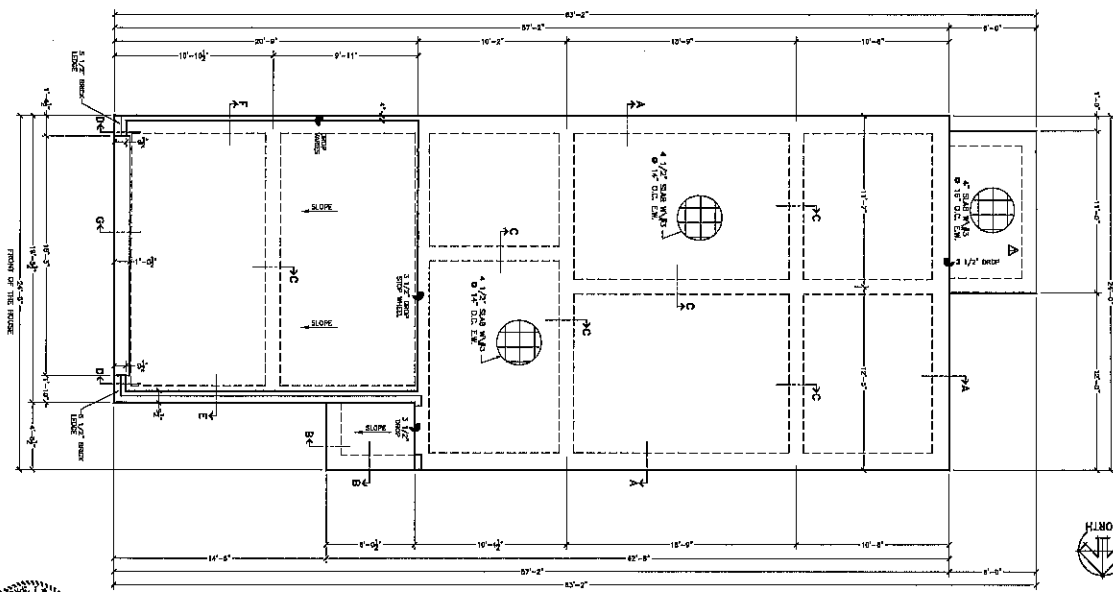
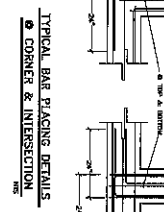
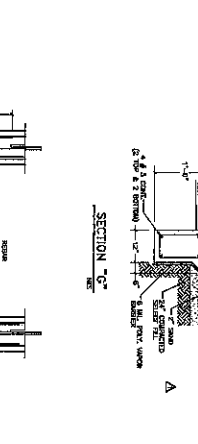
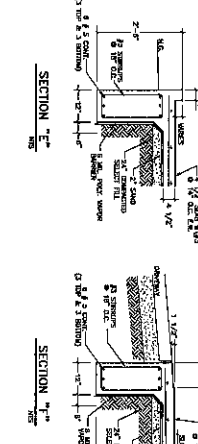
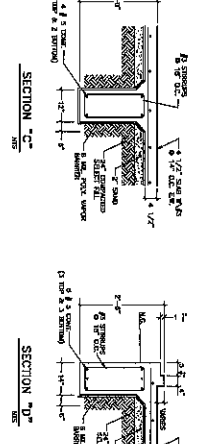
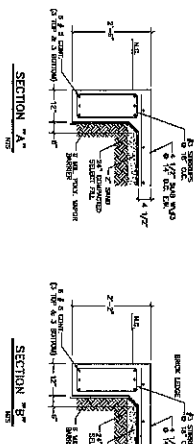
FOUNDATION NOTES:

1. FOUNDATION SHALL BE CONSTRUCTED WITH THE FOLLOWING:
 - A. CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% MINIMUM CHLORIDE FREE AIR ENTRAINMENT.
 - B. REINFORCING BARS SHALL BE EPOXY COATED WITH CORROSION RESISTANT POLYMER BONDING AGENT.
 - C. CONCRETE SHALL BE PLACED IN 4" MAXIMUM THICKNESS LIFTS.
 - D. CONCRETE SHALL BE CURED WITH WET BURLAP OR EQUIVALENT FOR A MINIMUM OF 7 DAYS.
 - E. CONCRETE SHALL BE PROTECTED FROM WEATHER AND DAMAGE UNTIL IT HAS GAINED SUFFICIENT STRENGTH.
2. FOUNDATION SHALL BE CONSTRUCTED WITH THE FOLLOWING:
 - A. FOUNDATION SHALL BE CONSTRUCTED WITH 18" MINIMUM THICKNESS.
 - B. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - C. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - D. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - E. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - F. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - G. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - H. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - I. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - J. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - K. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - L. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - M. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - N. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - O. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - P. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - Q. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - R. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - S. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - T. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - U. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - V. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - W. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - X. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - Y. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
 - Z. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.

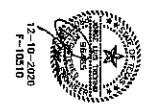
COMPACTED SELECT FILL NOTE:
 THE COMPACTED SELECT FILL SHALL BE 3" MAXIMUM SIZE AND 95% COMPACTED TO THE PROPOSED GRADE.

WIND STORM NOTE:
 THE WIND STORM DESIGN SPEED IS 140 MPH (30 SECONDS RETURN PERIOD) AS DETERMINED BY THE TEXAS DEPARTMENT OF TRANSPORTATION (TxDOT) WIND SPEED MAP.

GEOTECHNICAL EVALUATION NOTE:
 THE GEOTECHNICAL EVALUATION SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE BASED ON THE RESULTS OF SOIL BORINGS AND LABORATORY TESTS.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



7-10-2020
 F-10210

PROPOSED SINGLE RESIDENCE AT
 8623 KNICK ST.
 HOUSTON TX 77091

DATE: DECEMBER 18, 2020
 DESIGN BY: JCT
 CHECKED BY: JCT
 LEGAL REVISION: LIST 40 BLOCK 22
 HIGHLAND HEIGHTS ADDITION
 HARRIS COUNTY, TEXAS
 HOAD A.C. NO. C183762300309

ABC DESIGN STUDIO
 11111 WILLOW CREEK DRIVE
 HOUSTON, TEXAS 77036
 TEL: 281-291-1111
 WWW.ABCDESIGNSTUDIO.COM

POSITIVE DRAINAGE GRADE NOTE:
 ALL POSITIVE DRAINAGE GRADES SHALL BE CONFORMED TO THE CITY OF HOUSTON'S DRAINAGE CODES AND THE TEXAS DEPARTMENT OF TRANSPORTATION'S (TxDOT) DRAINAGE MANUAL.

CHEMICAL TREATMENT TREATMENT:
 ALL REINFORCING BARS SHALL BE TREATED WITH AN EPOXY COATING TO PROTECT AGAINST CORROSION.

STRAPS TO HOLD DOWN:
 STRAPS SHALL BE USED TO HOLD DOWN THE FOUNDATION WALLS TO THE FOUNDATION SLAB.

FOUNDATION NOTES:
 FOUNDATION SHALL BE CONSTRUCTED WITH THE FOLLOWING:

1. FOUNDATION SHALL BE CONSTRUCTED WITH 18" MINIMUM THICKNESS.
2. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
3. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
4. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
5. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
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11. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
12. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
13. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
14. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
15. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
16. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
17. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
18. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
19. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.
20. FOUNDATION SHALL BE CONSTRUCTED WITH 12" MINIMUM THICKNESS.

TITLE: FOUNDATION PLAN AND DETAILS
 SHEET: S-01

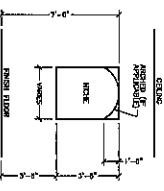
STEEL LINTEL TABLE:

WIND SPEED (MPH)	WIND SPEED (KPH)	WIND PRESSURE (PSF)	WIND PRESSURE (KPA)
70	112	10	0.47
80	128	15	0.70
90	144	20	0.93
100	160	25	1.16
110	176	30	1.39
120	192	35	1.62
130	208	40	1.85
140	224	45	2.08
150	240	50	2.31
160	256	55	2.54
170	272	60	2.77
180	288	65	3.00
190	304	70	3.23
200	320	75	3.46

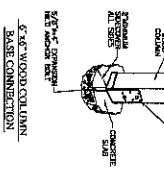
WALL DECKING NOTE:

THE WALL DECKING SHALL BE 2" X 4" X 8" JOIST SPACING 16" O.C. WITH 1/2" X 3/4" DECKING BOARDING. THE WALL DECKING SHALL BE INSTALLED OVER THE CONCRETE FOUNDATION AND SHALL BE FINISHED WITH 1/2" X 3/4" DECKING BOARDING. THE WALL DECKING SHALL BE INSTALLED OVER THE CONCRETE FOUNDATION AND SHALL BE FINISHED WITH 1/2" X 3/4" DECKING BOARDING. THE WALL DECKING SHALL BE INSTALLED OVER THE CONCRETE FOUNDATION AND SHALL BE FINISHED WITH 1/2" X 3/4" DECKING BOARDING.

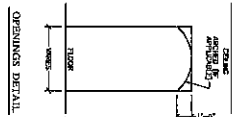
ROOF DECKING NOTE:
ROOF DECKING SHALL BE 2" X 4" X 8" JOIST SPACING 16" O.C. WITH 1/2" X 3/4" DECKING BOARDING. THE ROOF DECKING SHALL BE INSTALLED OVER THE CONCRETE FOUNDATION AND SHALL BE FINISHED WITH 1/2" X 3/4" DECKING BOARDING.



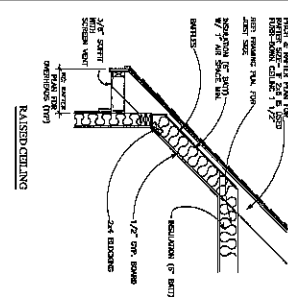
NICHE DETAIL



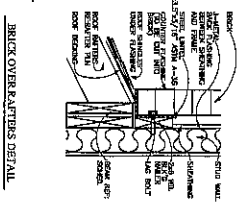
5'-6" WINDOW LARKIN CASE CONNECTION



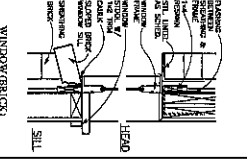
OPENINGS DETAIL



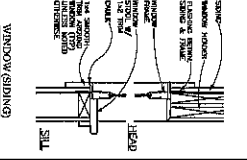
RAISED CEILING



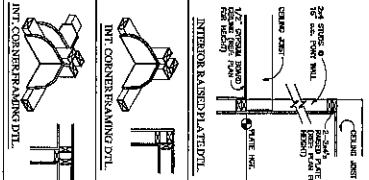
BECK OVER RAFTERS DETAIL



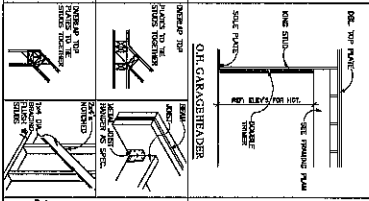
WINDOW BRICES



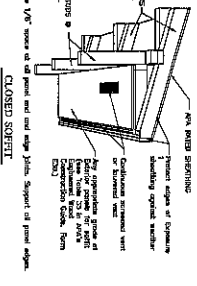
WINDOW/SIDING



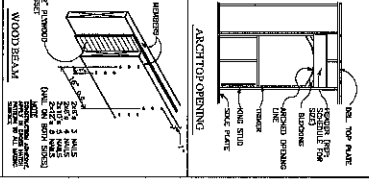
INTERIOR RAISED FLOOR DETAIL



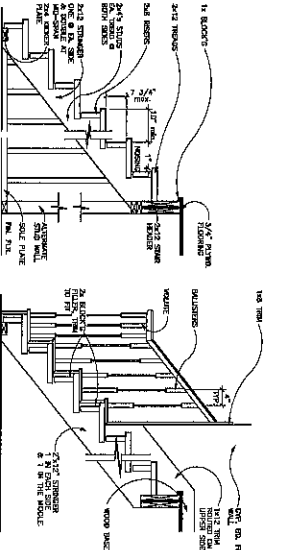
WOOD BEAM



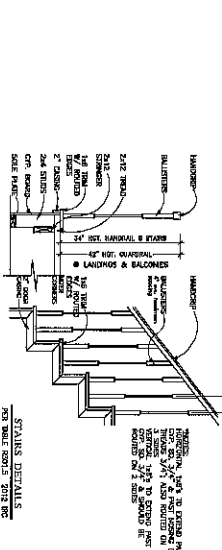
CLOSED SHEET



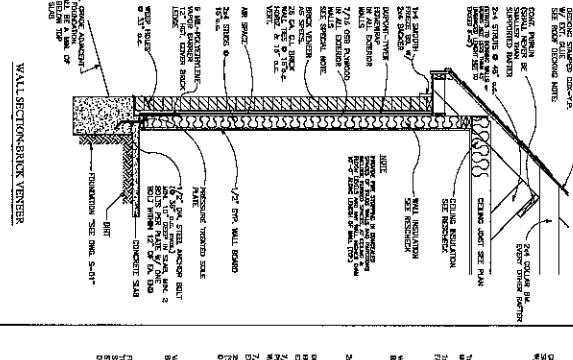
ARCHITOP OPENING



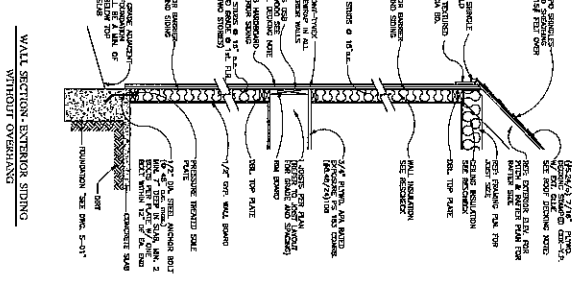
ENCLAVE LUBBERING OF ALL... PER WALKWAYS, 2000 PC



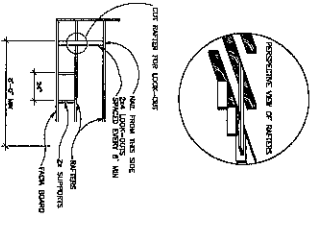
STATUS DETAILS PER WALKWAYS, 2000 PC



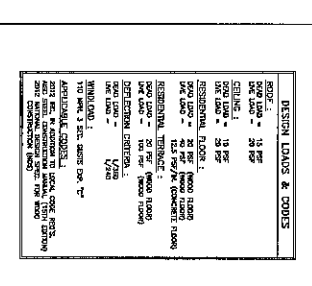
WALL SECTION-BRICK VENEER



WALL SECTION-EXTERIOR SINGING



RESPECTIVE VIEW OF BRICES



GARBLE FINISHING DETAIL

DESIGN LOADS & CONDITIONS

ROOF:	20 PSF
FLOOR:	40 PSF
CEILING:	10 PSF
WIND:	130 MPH
SEISMIC:	0.25
TEMPERATURE:	120°F
MOISTURE:	100% RH
SOIL:	CLAY
FOUNDATION:	CONCRETE
FINISH:	1/2\"/>

PROPOSED SINGLE RESIDENCE AT 6525 KNOX ST. HOUSTON TX 77091

DATE:	OCTOBER 17, 2020
DRAWN BY:	RENEZ & HERNADEZ ARCHITECTURE GROUP
LEGAL DESC:	LOT 40 BLOCK 53
SECTION:	100' X 100' SUBDIVISION
HEAD ACC. NO.:	0182750100009

ABC DESIGN STUDIO

10-28-2120
1-710-1010

REGISTERED ARCHITECT
STATE OF TEXAS
NO. 27608

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