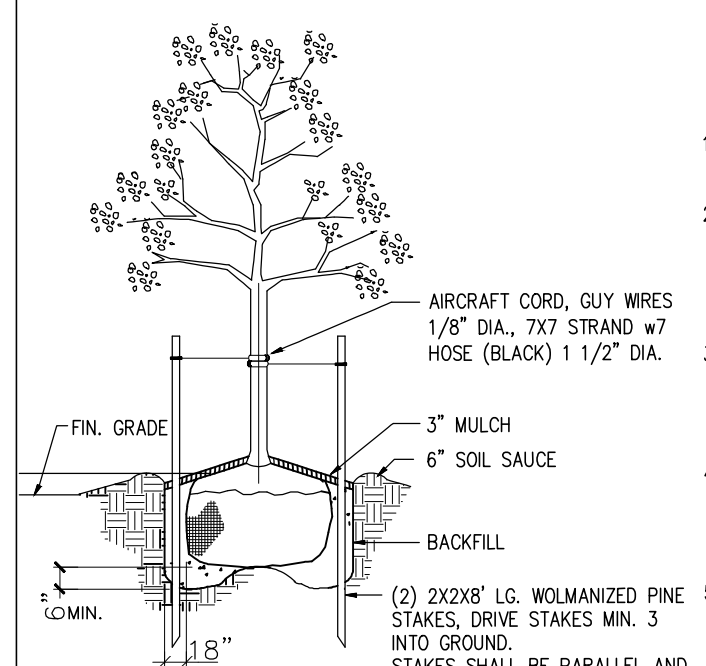


# SITE PLAN

LOTS 1 & 2

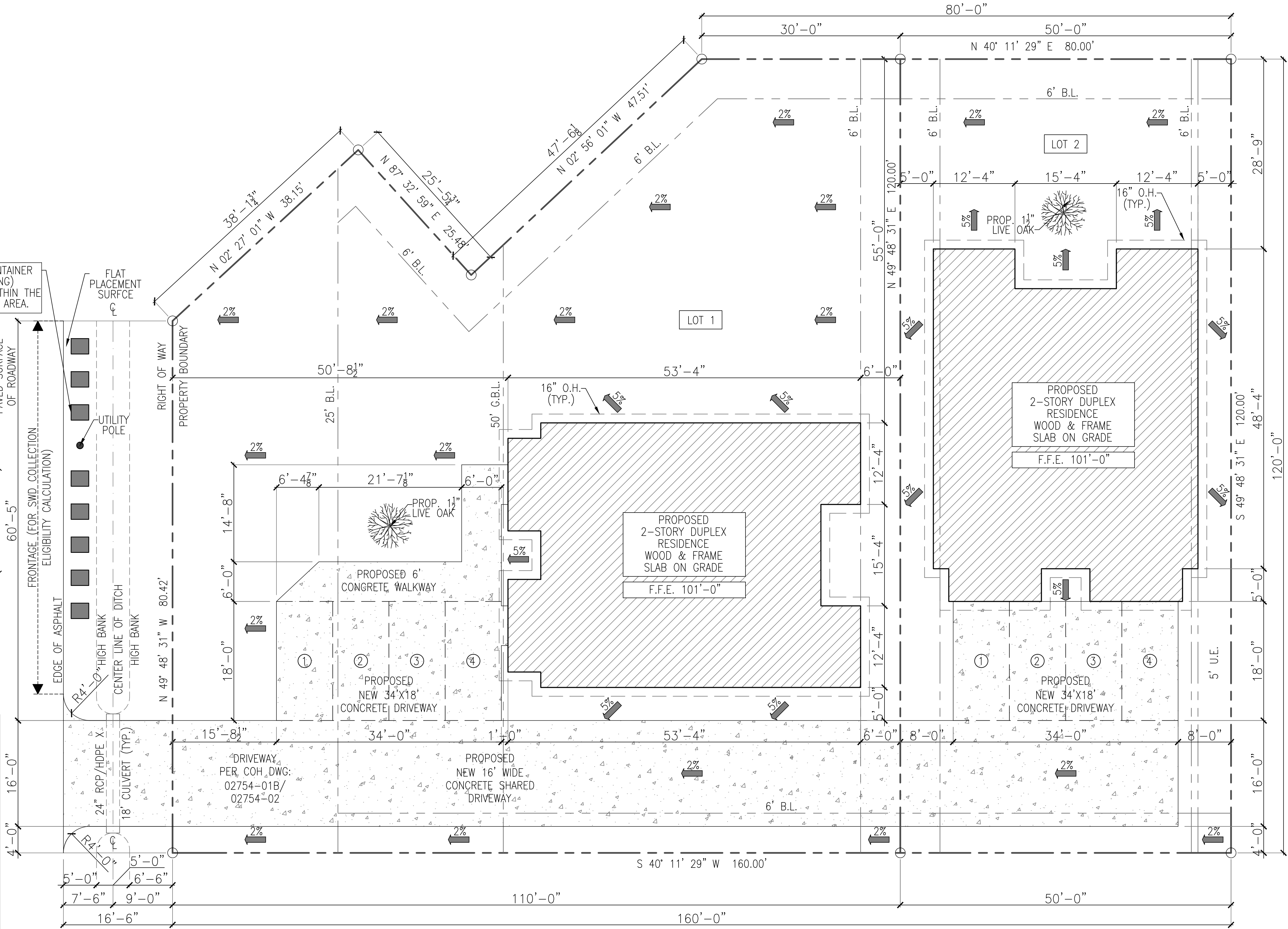
SCALE: 1/8" = 1'-0"



TYPICAL TREE PLANTING DETAIL

1. ALL PLANTS SHALL BE FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
2. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
3. GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURE AND TO PREVENT ENTIRE AREA PRIOR TO SOODING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SOODING.
4. ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
5. LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.

0 FOUNTAINE ST.  
(60' ROW)



## GENERAL NOTES

1. Type M copper tubing and pipe shall not be used.
2. Water riser must be metal above ground schedule 40 PVC may only be used on the exterior of the building below grade.
3. Entire project shall be constructed in accordance with 2012 I.R.C. and the 2020 NEC.
4. Refer to structural for compliance with wind load design criteria.
5. Aluminum wiring shall not be used and copper 12/2 with ground is the smallest conductor size allowed.
6. All drainage and runoff shall be collected on-site or directed on surface to street. Drainage and runoff is not allowed to be directed on to adjacent properties.
7. All mechanical equipment exhaust must terminate on the exterior of the structure.
8. Fences require a separate permit.
9. General contractor Must verify all dimensions for set backs, utility easements, and building lines.

## DRAINAGE NOTES

DRAINAGE (LOTS) R401.3 2012 IRC (EFFECTIVE JUNE 6, 2012) LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM THE FOUNDATION. THE FALL SHALL BE A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET (5% SLOPES). THE SITE PLAN SHALL DEPICT THE SLOPES.

DRAINAGE (LOTS) R401.3 EXCEPTION 2012 IRC AMENDMENTS (EFFECTIVE JUNE 6, 2012) IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.

CONTRACTOR TO VERIFY WITH APPLICABLE CODE REQUIREMENTS FOR FIN. FLOOR ELEVATION

NOTE:  
F.F. ELEV. NOT LESS THAN 12" ABOVE NEAREST SANITARY SEWER MANHOLE RIM, OR 4" ABOVE THE CROWN OF STREET, EXCEPT ON FLOOD ZONE TO BE VERIFIED WITH APPLICABLE CODE REQUIREMENTS FOR FINISH FLOOR ELEVATION.

NOTE:  
F.F. ELEV. ARE FOR REFERENCE USE ONLY.

LOTS 1 & 2 BLOCK 1  
PELHAM PLACE, THIRD SECTION

## IMPERVIOUS AREA PERCENTAGE CALCULATION

LOT 1	ADDITION SQ. FT.	FINAL SQ. FT.
1. BUILDINGS	2,265 SF	2,265 SF
2. PAVING	2,635 SF	2,635 SF
<b>TOTALS</b>	<b>4,900 SF</b>	<b>4,900 SF</b>
<b>TOTAL AREA OF LOT 1: 11,487 SF</b>		
<b>( 4,900 SF / 11,487 SF ) X 100= 42.65%</b>		
LOT 2	ADDITION SQ. FT.	FINAL SQ. FT.
1. BUILDINGS	2,265 SF	2,265 SF
2. PAVING	1,245 SF	1,245 SF
<b>TOTALS</b>	<b>3,510 SF</b>	<b>3,510 SF</b>
<b>TOTAL AREA OF LOT 2: 6,000 SF</b>		
<b>( 3,510 SF / 6,000 SF ) X 100= 58.50%</b>		
ROW PAVEMENT SUMMARY		
1. DRIVEWAY	271 SF	271 SF
<b>TOTAL</b>	<b>271 SF</b>	<b>271 SF</b>

PROJECT NAME:

TTK PROPERTIES

PROPOSED  
2 - TWO STORY  
DUPLEX

PROJECT ADDRESS:

0 FOUNTAINE ST.  
HOUSTON, TX  
77028

PLAN NUMBER:

**P1**