



# Property Inspection Report

LOCATED AT:  
12 Quintana Dr  
Galveston, Texas 77554

Marsha Krohn

INSPECTED ON:  
Tuesday, June 20, 2023



Inspector, Terry May TREC#23696  
May Home Inspection



Tuesday, June 20, 2023  
Marsha Krohn  
12 Quintana Dr  
Galveston, Texas 77554

We have enclosed the report for the property inspection we conducted for you on Tuesday, June 20, 2023 at:

12 Quintana Dr  
Galveston, Texas 77554

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully and in its entirety. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

 = Potentially serious issue that should be addressed.

We thank you for the opportunity to be of service to you.

Sincerely,

Lead Inspector, Terry May  
May Home Inspection





**RECEIPT**  
 12 Quintana Dr  
 Galveston, Texas 77554  
 (409) 771-6340

Client: Marsha Krohn

Receipt Number: 343635849

Receipt Date: Tuesday, June 20, 2023

Quantity	Description	Unit Price	Amount
1	Base Amount	\$485.00	\$485.00
		<b>Subtotal:</b>	\$485.00
		<b>Check:</b>	(\$485.00)

**Change Due**

\$0.00

**May Home Inspection** • (936) 443-3673 • swccmay@yahoo.com  
 Thank you for your business!  
 Please send payment to:  
 2201 Montgomery park blvd  
 Conroe, TX 77304



# PROPERTY INSPECTION REPORT FORM

Marsha Krohn

*Name of Client*

12 Quintana Dr Galveston, Texas 77554

*Address of Inspected Property*

Terry May TREC#23696

*Name of Inspector*

Tuesday, June 20, 2023

*Date of Inspection*

TREC#23696

*TREC License #*

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission on (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions.

The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

Weather: Sunny 85 degrees . Structure faces east.

I	NI	NP	D
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## I. STRUCTURAL SYSTEMS

**A. Foundation Igbo**

*Comments:*

FOUNDATION: Slab-on-grade

At the time of inspection, All the visible, accessible structural elements appear to be in generally good condition and are performing as would be expected for a building of this age and type of construction.

There are trees in close proximity to the foundation. This can pose risks to the foundation, walls and roof. If any foundation issues are suspected, consult a qualified foundation expert.



Tree in close proximity of structure



Tree in close proximity of structure

**B. Grading and Drainage**

*Comments:*

**WARN** Grading is sloped toward the structure in some areas. Low spots and negative grading promote water accumulation near the slab or in the crawl space (if present).



Right: negative grade



Right: negative grade

I	NI	NP	D
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Gutters recommended: gutter system is recommended on the structure to help divert surface runoff water from roof and the way from foundation and structure.



Gutter system recommended

All walkways and driveways were performing as intended at the time of inspection.



Driveway OK



Walkway OK

**C. Roof Covering Materials**

*Comments:*

25-30 year shingles. Condition at time of inspection appeared to be in the middle to bottom 3rd of the material life.

Roof inspected from: Roof surface



Looking East (towards front of structure)



Looking north

I	NI	NP	D
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Looking south



Looking west

Portions of the surface granulation are deteriorated and there are minor surface cracks developing.



Minor granular deterioration



Minor granular deterioration

Some of the shingles are damaged and/or deteriorated.



Damaged ridge cap shingle



Damaged ridge cap shingle



Damaged ridge cap shingle



Damaged ridge cap shingle

*Repaired*



I	NI	NP	D
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Some of the flashings, roof jacks and/or vents are damaged and/or corroded. We recommend they be repaired or replaced to prevent leakage.

*repaired*



Rusted/damaged rain cap on exhaust flue



Rusted/damaged rain cap on exhaust flue



Rusted flashing



Rusted flashing

The satellite dish mount is on top of the roofing surface. While not necessarily improper, it is a poor location. Monitor the mounting bolt sealant and replace sealant as needed to maintain watertightness. If the satellite dish is not going to be used in the future, **DO NOT REMOVE THE MOUNT PLATE**. Seal around it and monitor the sealant. The roof is much more prone to leak if the existing plate is removed.



Satellite dish on roof

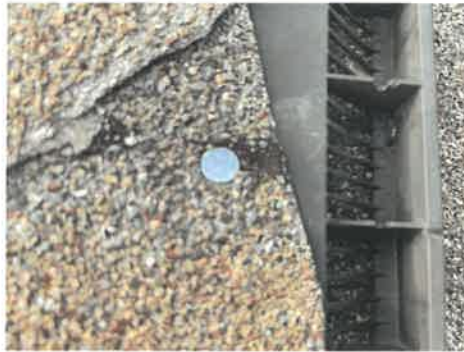


Satellite dish on roof

I	NI	NP	D
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repaired

Exposed nail heads: exposed nail heads on top of the roof structure should be caulked and sealed to help alleviate water intrusion.



Exposed nailhead



Exposed nailhead

**D. Roof Structures and Attics**

Comments:

LOCATION: Master bedroom closet

Insulation depth: 4 - 6 inches

The attic is adequately vented. Good ventilation helps reduce attic moisture levels and prevents condensation on the underside of the roof. In addition, it reduces heat build-up in the attic, making the house more comfortable. Soffit and ridge vents were observed on the structure.

Openings were observed along the soffit areas of the structure. This can allow for water intrusion as well as unwanted pests such as bees and spiders to make entry inside of the structure. Recommend properly sealing all openings found in the soffit areas.



Opening in soffit/ secure soffit vent in place



Opening in soffit/ secure soffit vent in place

I	NI	NP	D
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Damaged soffit material was observed on the left side of the structure. Recommend replacing all soft, rotten, and/or damaged wood.



Left front: damaged soffit



Left front: damaged soffit

Damaged fascia: a fascia board/trim board on the rear side of the structure was observed to be missing. Recommend replacing all soft, rotten, and/or damaged or missing wood.



Right rear: missing trim board/fascia



Right rear: missing trim board/fascia

Insulation/barrier in place: there was a barrier in place at the time of inspection. This hinders the visual inspection of the inspector to be able to inspect the roof sheathing and interior wall structures within the attic. Some deficiencies may be present that could not be observed due to the barrier in place at the time of inspection.



Barrier in place blocks visual inspection of roof sheathing



Barrier in place blocks visual inspection of roof sheathing

*Repaired*

I	NI	NP	D
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There is evidence of past leaks. We cannot determine if active leaks still exist. We recommend monitoring this condition and/or inquiries of the owner.



Moisture stain around chimney



Moisture stain around chimney

**E. Walls (Interior and Exterior)**

Comments:

The interior walls are generally in good shape unless noted below.

Any and all openings in the exterior wall should be caulked and sealed to alleviate water and unwanted pest intrusion into the structure.

*repaired*



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions

I	NI	NP	D
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Caulking improvements are needed around the window frames on the exterior side of the structure to help alleviate water intrusion.

*caulking added*



Caulking improvements needed around window frames on exterior side of the structure.



Caulking improvements needed around window frames on exterior side of the structure.

the veneer has pulled away from the building and/or has become unbonded from the wood frame in areas. We recommend removal and/or repair of the masonry because of the potential for damage or injury should the veneer completely collapse.



Front: loose brick veneer needs repaired



Front: loose brick veneer needs repaired

Crack; repair and monitor: some cracking was observed on the left and right side of the structure. This suggest that typical movement has occurred. This does not suggest a serious structural concern, but should be repaired and monitored for ongoing movement. If ongoing movement is observed, recommend having it further evaluated and repaired by a licensed contractor.



Crack in grout: typical movement, repair and monitor



Crack in grout: typical movement, repair and monitor

I	NI	NP	D
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Crack in grout: typical movement, repair and monitor



Crack in grout: typical movement, repair and monitor

There are unsealed joints in the hardboard siding. We recommend the joints be caulked or sealed. This is a part of routine homeowner maintenance. Monitor yearly.

*caulking added*



Seal all siding joints



Seal all siding joints

**F. Ceiling and Floor**

*Comments:*

The ceiling is generally in good condition unless noted below.

Moisture staining present in the ceiling.

*repaired*



Right rear corner bedroom closet: moisture stain



Right rear corner bedroom closet: moisture stain

I	NI	NP	D
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Patching observed: some patching was observed in locations throughout the structure which is indicative of previous issues. This does not mean that the problem is ongoing, but it is suggested that frequent monitoring of the area should be taken.

*repaired*

*repaired*



Garage: patching observed



Garage: patching observed



2nd floor rear middle bedroom: patching observed



2nd floor rear middle bedroom: patching observed

The floors are in good condition, with exceptions noted below, if any. Home inspection is focused on safety issues only therefore, comments made on flooring will only be made on safety related issues not cosmetic issues.

**G. Doors (Interior and Exterior)**

*Comments:*

Several doors throughout the structure would not properly latch. Recommend adjusting the strike plate so that the doors latch as intended.

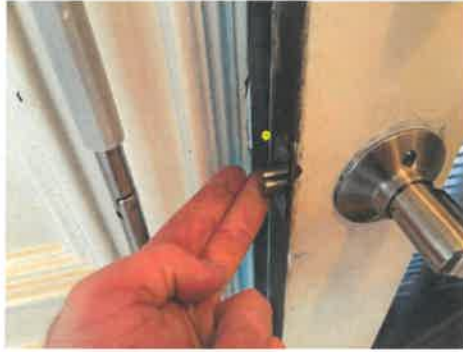


Master bathroom: won't latch



Master bathroom: won't latch

I	NI	NP	D
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Back exterior door: won't latch



Back exterior door: won't latch

Sliding door won't open/close: the sliding door that leads from the kitchen to front entry would not close fully at the time of inspection. Recommend repairs by a licensed contractor so that the door opens and closes as intended.



Kitchen: door doesn't close all the way



Kitchen: door doesn't close all the way

Garage man door: Not a proper fire rated door.



Garage door: not fire rated



Garage door: not fire rated



I	NI	NP	D
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Wood decay at door jam: Wood decay was observed to the door jam on the right side of the structure. Recommend replacing all soft, rotten and or damaged wood.

*repaired*



Right: wood decay



Right: wood decay

Screen door: damage/corrosion : the screen doors to the upstairs bedrooms that lead out to the rear balcony were observed to have minor damage and corrosion to the frame of the door screen. Although the doors operated as intended, Recommend repair/replacement.

*repaired*



Upstairs bedrooms: screen door corrosion/damage



Upstairs bedrooms: screen door corrosion/damage

Sliding door won't lock: the sliding door that leads to the right side, exterior would not latch at the time of inspection. Recommend repair/replacement.

*repaired*



Right: sliding glass door won't lock



Right: sliding glass door won't lock

**H. Windows**

*Comments:*

Unless noted below, all windows in the structure (including all windows required for emergency egress) were in operable condition at the time of inspection.

I	NI	NP	D
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Some damaged or poor fitting window screens.



Living room: Window screen damage



Living room: Window screen damage

*repaired*

**I. Stairways (Interior and Exterior)**

Comments:

The stairs at the pictured areas are damaged.



Damaged steps/raised nails



Damaged steps/raised nails

Wood to ground contact: exterior stairs were observed to have wood to ground contact on the front and rear side of the structure. Wood to ground contact is a conducive condition for wood destroying insects and should be avoided whenever possible.

**J. Fireplaces and Chimneys**

Comments:

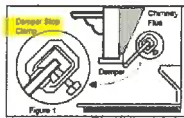
GENERAL: The fireplace appeared properly installed and undamaged at the time of inspection.



I	NI	NP	D
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Damper lacks a mechanical stop to keep it from completely shutting. This allows any gas that might leak into the fireplace to be vented to the exterior. This is required now because of the gas log starter.

- PREPARATION:**
1. The Gas Log set must be INSTALLED IN A FULLY VENTED METAL OR MASONRY FIREPLACE WITH A WORKING FLUE THAT IS SAFE FOR BURNING A WOOD FIRE. THE FLUE MUST BE FREE OF ANY OBSTRUCTIONS.
  2. Turn off gas supply to fireplace.
  3. Clean fireplace floor of any ashes.
  4. Attach damper clamp over edge of fireplace damper block as shown in Figure 1. When installed properly, damper clamp prevents accidental full closure of damper.



The chimney appears to be in good condition. No major problems were observed that would affect the satisfactory operation of the fireplace.



Chimney OK



Chimney OK

Chimney cap flashing rusted. The chimney cap had excessive corrosion at the time of inspection. Recommend corrosion control or replacement to alleviate the potential for water intrusion.

*replaced*



Chimney cap is rusted



Chimney cap is rusted

I	NI	NP	D
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**K. Porches, Balconies, Decks, and Carports**

*Comments:*

There are deteriorated deck boards at the pictured area(s). We recommend replacement of all damaged material.



Deck has some deterioration: recommend replacement



Deck has some deterioration: recommend replacement



Deck has some deterioration: recommend replacement

*all repaired*

Some of the decking board nails have backed out and are protruding. We recommend the nails be reset.



Raised decking needs secured in place



Raised decking needs secured in place

I	NI	NP	D
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Wood to ground contact/obstructs view: wood to ground contact was observed on the rear deck where it joints to the main structure. Wood to ground contact is a conducive condition for wood destroying insects and should be eliminated. Recommend removing the conducive condition or getting a treatment performed by a licensed pest company for wood destroying insects for preventative measures. Note that the rear deck obstructs most of the foundation slab face on the rear side of the structure, which hinders the view of the inspector. Deficiencies may have been present that could not be viewed because of this obstruction.



Wood to ground contact/ deck obstructs view of foundation face



Wood to ground contact/ deck obstructs view of foundation face



Wood to ground contact/ deck obstructs view of foundation face



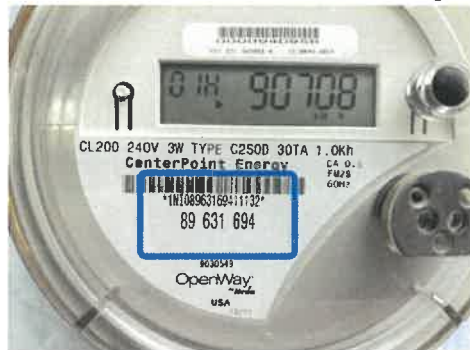
Wood to ground contact/ deck obstructs view of foundation face

## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Comments:*

The electric meter is outside on the right side of the building.



Service meter #



Right: service meter

I	NI	NP	D
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The main electrical service panel on the rear exterior of the garage. It had a Square-D manufactured panel rated for 100 amps. The main service disconnect was also rated for 100 amps.



Garage: service panel



Garage: service panel Eaton manufacturer 225 amp rating



Garage: service panel appears properly labeled



Garage: service panel with 200 amp disconnect



Garage: service panel with dead front off



Garage: service panel with 2/0 copper service entrance wires

I	NI	NP	D
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Grounding wire/rod - OK



Ground wire/rod OK



Ground wire/rod OK

**B. Branch Circuits, Connected Devices, and Fixtures**

*Open junction boxes located in the attic need a cover plate secured into place.*

*Comments:*

Bathroom outlets are GFCI protected where required.

Kitchen receptacles are not all GFCI protected. All countertop receptacles should be protected.

*replaced & repaired*

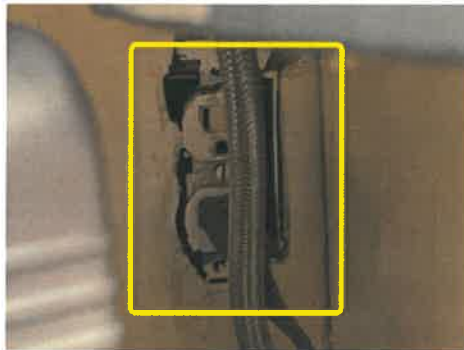


Kitchen: not all GFCI protected



Kitchen: not all GFCI protected

Some cover plates missing in the interior. Recommend cover plates to be installed over all electrical receptacles to help alleviate accidental shock.



Kitchen: missing cover plate



Kitchen: missing cover plate

I	NI	NP	D
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Junction boxes within the attic space need to cover plates installed for safety purposes.

Repaired



Attic: open junction box



Attic: open junction box

Master bathroom: splice should be in junction box with a cover plate



Master bathroom: open splice



Master bathroom: open splice

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

Comments:

LOCATION: Furnace location: Hall closet

LOCATION: Furnace location: Attic

ENERGY SOURCE: Energy source: Electricity

ENERGY SOURCE: Energy source: gas

Type of system: Forced Hot Air

WIRING: All accessible wiring appears in good condition.

The equipment local disconnect acts as a shut off switch for use in an emergency or while servicing.

The local disconnect appears properly installed and in good condition.



I	NI	NP	D
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The air filter for the heating unit is a conventional, disposable filter.



Air filter size 2nd floor



Air filter size 2nd floor



Air filter size 1st floor



Air filter size 1st floor

Heated air supply temperature:



1st floor: hot air temperature



1st floor: hot air temperature



2nd floor: hot air temperature



2nd floor: hot air temperature

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Air handler manufacturers tag and general image(s):



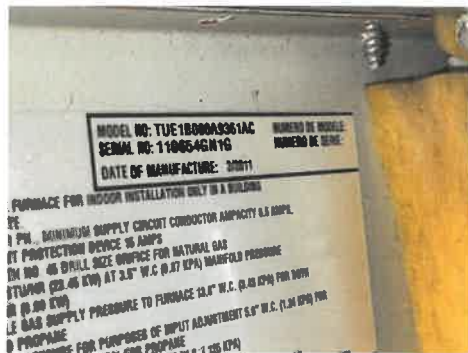
Unit 1 attic: Trane manufacturer



2011 model



Unit 2: office closet



Unit 2: office closet

Fire stop missing: no fire stopping was observed where the HVAC duct protrudes through the attic area. The fire stop is recommended so that in case of fire, it will not penetrate through the attic to the rest of the house. Recommend installation by qualified professional.



Fire stop missing



Fire stop missing

**B. Cooling Equipment**

Comments:  
Central Split System

WIRING: All accessible wiring appears in good condition.

The equipment local disconnect acts as a shut off switch for use in an emergency or while servicing.

I	NI	NP	D
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The local disconnect appears in operable condition.



Service disconnects OK



Service disconnects OK

The condenser contains all the equipment necessary to reclaim the refrigerant gas and convert it back to a liquid. It consists of a compressor, condenser, hot gas discharge line, condenser fan, electrical panel box, and some accessory components.

CONDENSING UNIT: The condensing unit appears to be properly installed and in satisfactory condition.

The indoor air containing unit is leaking condensate (water) from the unit when the ac is run.



Condensation buildup on outside of unit



Condensation buildup on outside of unit



Condensation buildup on outside of unit



Condensation buildup on outside of unit

I NI NP D

Cooling function air temperatures: 1st floor Delta T test = 17 degree differential  
2nd floor Delta T test = 20 degree differential



1st floor unit: Rheem manufacturer



1st floor unit: 2018 model 3 ton unit



2nd floor unit: Trane manufacturer



2nd floor unit: 2011 model 3 ton unit



1st floor return air temperature 75 degrees



1st floor supply cool-air temperature 58 degrees



2nd floor return air temperature 74 degrees



2nd floor supply cool-air temperature 54 degrees

I	NI	NP	D
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**C. Duct Systems, Chases, and Vents**

*Comments:*

The ducts accessible and viewable from the decked area in the attic appear to be properly installed and are in serviceable condition.

**IV. PLUMBING SYSTEMS**

**A. Plumbing Supply, Distribution Systems and Fixtures**

*Comments:*

front of structure



Front: water meter



Front: water meter

EXTERIOR: The domestic water supply main shut-off valve is outside at the right side of the building.



Right: water shut off valve



Right: water shut off valve

Water pressure: 50-60 psi



Water pressure 50 psi



Water pressure 50 psi

I	NI	NP	D
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A back flow preventer is recommended to help alleviate the potential for siphoning of dirty water into the clean potable water.



A backflow preventer is recommended



A backflow preventer is recommended

Hall bathroom sink drain stopper inoperative.



Hall bathroom: inoperable stopper



Hall bathroom: inoperable stopper

*Repaired & replaced*

Hall bathroom: leaks at faucet/control handles: repairs or replacement should be carried out by a licensed plumber.

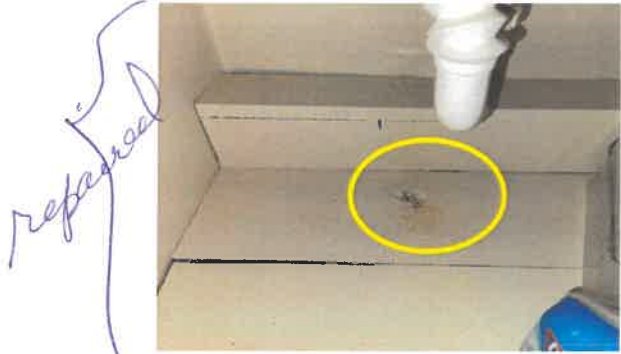


Hall bathroom: leaks at faucet on both sinks



Hall bathroom: leaks at faucet on both sinks

I	NI	NP	D
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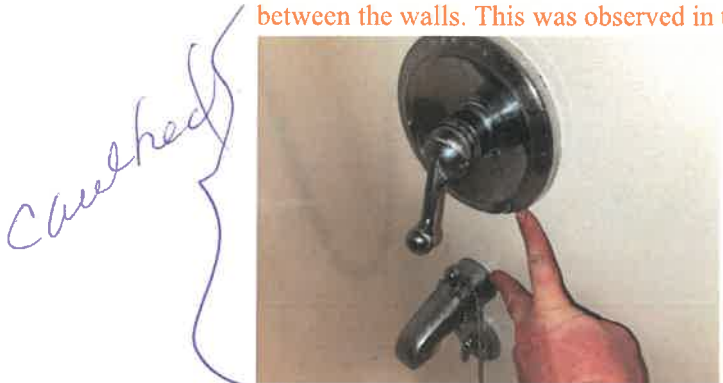


Hall bathroom: leaks at faucet on both sinks



Hall bathroom: leaks at faucet on both sinks

Shower and tub wall protrusions should be caulked and sealed to alleviate water intrusion in between the walls. This was observed in the master and Jack and Jill bathrooms.



Caulk/seal all shower and tub wall protrusions



Caulk/seal all shower and tub wall protrusions

**B. Drains, Wastes, and Vents**

*Comments:*

The visible drain piping appears to be properly installed and in serviceable condition unless noted below. Please note that many drain lines will leak when you first move in. This is caused my lack of use and should stop after use.

Improper piping was installed in one or more bathroom(s). The accordion sides can trap water and are prone to leaks and clogs.



Corrugated drain line present



Corrugated drain line present

I	NI	NP	D
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Slow drain 2nd floor: a slow drain was observed in the hall bathroom. This is probably due to a normal clog within the drain but may need to be evaluated and repaired by a licensed plumber.



2nd floor hall bathroom: slow drain



2nd floor hall bathroom: slow drain

**C. Water Heating Equipment**

Comments:

LOCATION: Location: In the garage

ENERGY SOURCE: Electricity

DISCHARGE PIPING: The discharge pipe is smaller than the discharge fitting on the temperature and pressure relief valve. This is potentially hazardous. We recommend it be replaced with an approved and properly sized pipe as well as having the discharge pipe terminated to outside of the structure.



TPR discharge not proper



TPR discharge not proper

INLET/OUTLET: The cold water inlet and hot water outlet connections appear properly installed and in serviceable condition.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Present standards require that the water heater be elevated to provide a minimum of eighteen inches of clearance between any point of ignition and the garage floor. This configuration helps prevent ignition of fumes from spilled flammable liquids.



Improper elevation



Improper elevation

Water temperature at kitchen sink. Please note if the temperature is above 120 degrees Fahrenheit: Excessive temperature can be dangerous and inefficient. We recommend the temperature setting be set at 120\* or lower to provide safer, more efficient operation.



Hot water temperature



Hot water temperature

Water heater general image and manufacturers tag:



GE model



2009 model 40 gallon capacity

**D. Hydro-Massage Therapy Equipment**

Comments:

Not Inspected & Not Present

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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**E. Gas Distribution Systems and Gas Appliances**

*Location of Gas Meter:* The gas meter is outside on the right side of the building. The main gas supply shutoff valve is located on the riser pipe between the ground and the meter. This valve should be turned 90 degrees (either way) in order to shut off the gas.

*Type of Gas Distribution Piping Material:* Galvanized steel

*Comments:*

Gas location:



Right: gas meter



Right: gas meter

**V. APPLIANCES**

**A. Dishwashers**

*Comments:*

Dishwasher functioned properly.



Dishwasher OK



Dishwasher OK

Manufacturers tag:



Bosch manufacturer



Bosch manufacturer

I	NI	NP	D
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**B. Food Waste Disposers**

*Comments:*

The disposal was turned on with normal user controls and observed to be in satisfactory working condition.



Disposal OK



Disposal OK

**C. Range Hood Exhaust Systems**

*Comments:*

Kitchen ventilation is provided by a range hood over the burners. Fan operated properly at the time of inspection.



Vent hood OK



Vent hood OK

Manufacturers tag:



Jenn Air manufacturer



Jenn Air manufacturer

I	NI	NP	D
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**D. Ranges, Cooktops, and Ovens**

Comments:

GENERAL: The stove was turned on with the normal operating controls and found to be in satisfactory working condition.



All gas burners on



All gas burners on

Manufacturers tag:



Jenn Air manufacturer



Jenn Air manufacturer

The oven was turned on with the normal operating controls and found to be in working condition. The standard test is to set the oven on 350°F and read the temperature inside. If it varies by more than 25° then it is considered deficient.



Oven when set to 350 degrees



Oven when set to 350 degrees

I	NI	NP	D
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Manufacturers tag:



Kitchen aid manufacturer



Kitchen aid manufacturer

**E. Microwave Ovens**

Comments:

Functioned properly. Orange light seen inside is a microwave tester which indicated functionality.



Microwave OK



Microwave OK

General image and manufacturers tag:



Kitchen aid manufacturer



Kitchen aid manufacturer

**F. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:

Proper ventilation was provided in all bathrooms through functional exhaust fans or operable windows.

I	NI	NP	D
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**G. Garage Door Operators**

*Comments:*

The garage door opener(s) operated to raise and lower the doors.



Liftmaster garage door opener OK



Liftmaster garage door opener OK

AUTOREVERSE: The autoreverse feature functioned properly.

**H. Dryer Exhaust Systems**

*Comments:*

Dryer vents should be cleaned regularly for best performance.

The accessible portions of the dryer vent appears to be in serviceable condition.

Washing machine connections are considered shut off valves and testing is outside the scope of the inspection. It should be expected that these valves could leak when you move in due to lack of use. Monitor the valves for any signs of leakage after move in.

**I. Additional Appliances**

*Comments:*

Inspection of the refrigerator is not required. Any comments made here are for your information and based on the appliance that was in place at the time of inspection.

General images:



Refrigerator



Refrigerator kenmore manufacturer

I	NI	NP	D
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Refrigerator temperature



Freezer temperature



Ice maker/water dispenser NOT working

← disclosed

# Inspection Summary

Your inspector has chosen to provide a summary of all the deficiencies noted on the property, to ease in the amendment process. The pictures included are a representative sample and are possibly not the only instances of the deficiencies. All repairs or corrections recommended in the report should be performed by qualified professionals. Some repairs may require licensed professionals or securing permits from local authorities. Have Seller submit invoices with paid receipts and information on warranties where appropriate. While some corrections may be minor homeowner maintenance items, DIY or handman level fixes, others are not. Asking specifically, in writing, for the level of action and personnel desired to perform work during the negotiation process can prevent miscommunication and disappointment later on. Your agent is the best resource for properly wording your request. Please read over the entire report, not just the summary, so you may gain a better idea of the overall condition of the property.

## I. STRUCTURAL SYSTEMS - A. Foundation Igbo

### GENERAL COMMENT

**1:** There are trees in close proximity to the foundation. This can pose risks to the foundation, walls and roof. If any foundation issues are suspected, consult a qualified foundation expert.



Tree in close proximity of structure



Tree in close proximity of structure

## I. STRUCTURAL SYSTEMS - B. Grading and Drainage

### GRADING

**WARN 2:** Grading is sloped toward the structure in some areas. Low spots and negative grading promote water accumulation near the slab or in the crawl space (if present).



Right: negative grade

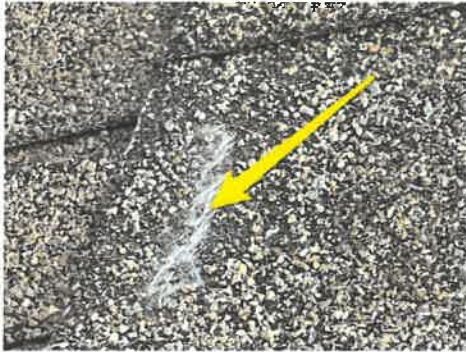


Right: negative grade



# I. STRUCTURAL SYSTEMS - C. Roof Covering Materials SURFACE

3: Portions of the surface granulation are deteriorated and there are minor surface cracks developing.



Minor granular deterioration



Minor granular deterioration

4: Some of the shingles are damaged and/or deteriorated.



Damaged ridge cap shingle



Damaged ridge cap shingle



Damaged ridge cap shingle



Damaged ridge cap shingle

*repaired*

**FLASHINGS: OVERALL**

**5:** Some of the flashings, roof jacks and/or vents are damaged and/or corroded. We recommend they be repaired or replaced to prevent leakage.



Rusted/damaged rain cap on exhaust flue



Rusted/damaged rain cap on exhaust flue



Rusted flashing



Rusted flashing

*repaired - replaced*

**GENERAL COMMENT**

**6:** Exposed nail heads: exposed nail heads on top of the roof structure should be caulked and sealed to help alleviate water intrusion.



Exposed nailhead



Exposed nailhead

# I. STRUCTURAL SYSTEMS - D. Roof Structures and Attics

## GENERAL COMMENTS

7: Openings were observed along the soffit areas of the structure. This can allow for water intrusion as well as unwanted pests such as bees and spiders to make entry inside of the structure. Recommend properly sealing all openings found in the soffit areas.



Opening in soffit/ secure soffit vent in place



Opening in soffit/ secure soffit vent in place

8: Damaged soffit material was observed on the left side of the structure. Recommend replacing all soft, rotten, and/or damaged wood.



Left front: damaged soffit



Left front: damaged soffit

9: Damaged fascia: a fascia board/trim board on the rear side of the structure was observed to be missing. Recommend replacing all soft, rotten, and/or damaged or missing wood.



Right rear: missing trim board/fascia



Right rear: missing trim board/fascia

*Repaired*

# I. STRUCTURAL SYSTEMS - E. Walls (Interior and Exterior)

## EXTERIOR WALLS GENERAL

10: Any and all openings in the exterior wall should be caulked and sealed to alleviate water and unwanted pest intrusion into the structure.



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions



Caulk/seal all exterior wall protrusions

*caulking repaired*

11: Caulking improvements are needed around the window frames on the exterior side of the structure to help alleviate water intrusion.



Caulking improvements needed around window frames on exterior side of the structure.



Caulking improvements needed around window frames on exterior side of the structure.

**MASONRY WALLS**

12: the veneer has pulled away from the building and/or has become unbonded from the wood frame in areas. We recommend removal and/or repair of the masonry because of the potential for damage or injury should the veneer completely collapse.



Front: loose brick veneer needs repaired



Front: loose brick veneer needs repaired

**HARDBOARD SIDING**

13: There are unsealed joints in the hardboard siding. We recommend the joints be caulked or sealed. This is a part of routine homeowner maintenance. Monitor yearly.



Seal all siding joints



Seal all siding joints

*repaired*

**I. STRUCTURAL SYSTEMS - F. Ceiling and Floor**

**CEILING**

14: Moisture staining present in the ceiling.



Right rear corner bedroom closet: moisture stain



Right rear corner bedroom closet: moisture stain

**15: Patching observed:** some patching was observed in locations throughout the structure which is indicative of previous issues. This does not mean that the problem is ongoing, but it is suggested that frequent monitoring of the area should be taken.



Garage: patching observed



Garage: patching observed



2nd floor rear middle bedroom: patching observed



2nd floor rear middle bedroom: patching observed

*repaired*

## **I. STRUCTURAL SYSTEMS - G. Doors (Interior and Exterior)**

### **INTERIOR DOORS**

**16:** Several doors throughout the structure would not properly latch. Recommend adjusting the strike plate so that the doors latch as intended.



Master bathroom: won't latch



Master bathroom: won't latch



Back exterior door: won't latch



Back exterior door: won't latch

**17: Sliding door won't open/close:** the sliding door that leads from the kitchen to front entry would not close fully at the time of inspection. Recommend repairs by a licensed contractor so that the door opens and closes as intended.



Kitchen: door doesn't close all the way



Kitchen: door doesn't close all the way

### EXTERIOR DOORS

**18: Garage man door:** Not a proper fire rated door.



Garage door: not fire rated



Garage door: not fire rated

**19: Wood decay at door jam:** Wood decay was observed to the door jam on the right side of the structure. Recommend replacing all soft, rotten and or damaged wood.



Right: wood decay



Right: wood decay

*repaired*

**20: Screen door: damage/corrosion :** the screen doors to the upstairs bedrooms that lead out to the rear balcony were observed to have minor damage and corrosion to the frame of the door screen. Although the doors operated as intended, Recommend repair/replacement.



Upstairs bedrooms: screen door corrosion/damage



Upstairs bedrooms: screen door corrosion/damage

**21: Sliding door won't lock:** the sliding door that leads to the right side, exterior would not latch at the time of inspection. Recommend repair/replacement.



Right: sliding glass door won't lock



Right: sliding glass door won't lock



# I. STRUCTURAL SYSTEMS - H. Windows SCREENS

22: Some damaged or poor fitting window screens.



Living room: Window screen damage



Living room: Window screen damage

*repaired*

# I. STRUCTURAL SYSTEMS - I. Stairways (Interior and Exterior) EXTERIOR STAIRS

23: The stairs at the pictured areas are damaged.



Damaged steps/raised nails



Damaged steps/raised nails

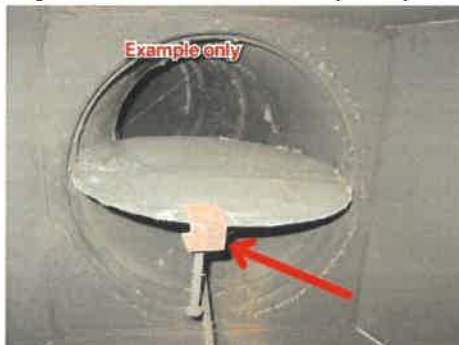
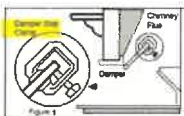
24: Wood to ground contact: exterior stairs were observed to have wood to ground contact on the front and rear side of the structure. Wood to ground contact is a conducive condition for wood destroying insects and should be avoided whenever possible.

# I. STRUCTURAL SYSTEMS - J. Fireplaces and Chimneys FIREPLACE

25: Damper lacks a mechanical stop to keep it from completely shutting. This allows any gas that might leak into the fireplace to be vented to the exterior. This is required now because of the gas log starter.

**PREPARATION:**

1. The Gas Log set must be INSTALLED IN A FULLY VENTED METAL OR MASONRY FIREPLACE WITH A WORKING FLUE THAT IS SAFE FOR BURNING A WOOD FIRE. The Flue MUST BE FREE OF ANY OBSTRUCTIONS.
2. Turn off gas supply to fireplace.
3. Clean fireplace floor of any ashes.
4. Attach damper clamp over logs at fireplace control valve as shown in Figure 1. When installed properly, damper clamp prevents accidental full closure of damper.



**CHIMNEY**

**26:** Chimney cap flashing rusted. The chimney cap had excessive corrosion at the time of inspection. Recommend corrosion control or replacement to alleviate the potential for water intrusion.



Chimney cap is rusted



Chimney cap is rusted

*replaced*

**I. STRUCTURAL SYSTEMS - K. Porches, Balconies, Decks, and Carports**

**DECK**

**27:** There are deteriorated deck boards at the pictured area(s). We recommend replacement of all damaged material.



Deck has some deterioration: recommend replacement



Deck has some deterioration: recommend replacement



Deck has some deterioration: recommend replacement

*repaired*

**28:** Some of the decking board nails have backed out and are protruding. We recommend the nails be reset.



Raised decking needs secured in place



Raised decking needs secured in place

*repaired*

**29:** Wood to ground contact/obstructs view: wood to ground contact was observed on the rear deck where it joints to the main structure. Wood to ground contact is a conducive condition for wood destroying insects and should be eliminated. Recommend removing the conducive condition or getting a treatment performed by a licensed pest company for wood destroying insects for preventative measures. Note that the rear deck obstructs most of the foundation slab face on the rear side of the structure, which hinders the view of the inspector. Deficiencies may have been present that could not be viewed because of this obstruction.



Wood to ground contact/ deck obstructs view of foundation face



Wood to ground contact/ deck obstructs view of foundation face



Wood to ground contact/ deck obstructs view of foundation face



Wood to ground contact/ deck obstructs view of foundation face

## II. ELECTRICAL SYSTEMS - B. Branch Circuits, Connected Devices, and Fixtures

### KITCHEN RECEPTACLES

30: Kitchen receptacles are not all GFCI protected. All countertop receptacles should be protected.



Kitchen: not all GFCI protected



Kitchen: not all GFCI protected

### RECEPTACLES

31: Some cover plates missing in the interior. Recommend cover plates to be installed over all electrical receptacles to help alleviate accidental shock.



Kitchen: missing cover plate



Kitchen: missing cover plate

32: Junction boxes within the attic space need to cover plates installed for safety purposes.



Attic: open junction box



Attic: open junction box

*repaired  
or  
replaced*

**WIRING**

**33: Master bathroom: splice should be in junction box with a cover plate**



Master bathroom: open splice



Master bathroom: open splice

*repaired*

**III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS -**

**A. Heating Equipment**

**GENERAL COMMENT**

**34: Fire stop missing:** no fire stopping was observed where the HVAC duct protrudes through the attic area. The fire stop is recommended so that in case of fire, it will not penetrate through the attic to the rest of the house.

Recommend installation by qualified professional.



Fire stop missing



Fire stop missing

**III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS -**

**B. Cooling Equipment**

**EVAP COIL AND COND LINES**

**35: The indoor air containing unit is leaking condensate (water) from the unit when the ac is run.**



Condensation buildup on outside of unit



Condensation buildup on outside of unit



Condensation buildup on outside of unit



Condensation buildup on outside of unit

## IV. PLUMBING SYSTEMS - A. Plumbing Supply, Distribution Systems and Fixtures

### SINKS

36: Hall bathroom: leaks at faucet/control handles: repairs or replacement should be carried out by a licensed plumber.



Hall bathroom: leaks at faucet on both sinks



Hall bathroom: leaks at faucet on both sinks



Hall bathroom: leaks at faucet on both sinks



Hall bathroom: leaks at faucet on both sinks

*Faucets replaced  
leaks repaired*

## SHOWER/TUB

37: Shower and tub wall protrusions should be caulked and sealed to alleviate water intrusion in between the walls. This was observed in the master and Jack and Jill bathrooms.



Caulk/seal all shower and tub wall protrusions



Caulk/seal all shower and tub wall protrusions

*Caulking added*

## IV. PLUMBING SYSTEMS - B. Drains, Wastes, and Vents PLUMBER

38: Slow drain 2nd floor: a slow drain was observed in the hall bathroom. This is probably due to a normal clog within the drain but may need to be evaluated and repaired by a licensed plumber.



2nd floor hall bathroom: slow drain



2nd floor hall bathroom: slow drain

## IV. PLUMBING SYSTEMS - C. Water Heating Equipment T/P RELEASE VALVE

39: DISCHARGE PIPING: The discharge pipe is smaller than the discharge fitting on the temperature and pressure relief valve. This is potentially hazardous. We recommend it be replaced with an approved and properly sized pipe as well as having the discharge pipe terminated to outside of the structure.



TPR discharge not proper



TPR discharge not proper

**ELEVATION/LOCATION/PAN**

**40:** Present standards require that the water heater be elevated to provide a minimum of eighteen inches of clearance between any point of ignition and the garage floor. This configuration helps prevent ignition of fumes from spilled flammable liquids.



Improper elevation



Improper elevation