

**\*CITY ORDINANCES**  
**\*\*RESTRICTIVE COVENANTS**  
**\*\*\*BUILDER GUIDELINES**  
 ( ) RECORD INFORMATION

IR = IRON ROD  
 IP = IRON PIPE  
 PL = PROPERTY LINE  
 UE = UTILITY EASEMENT

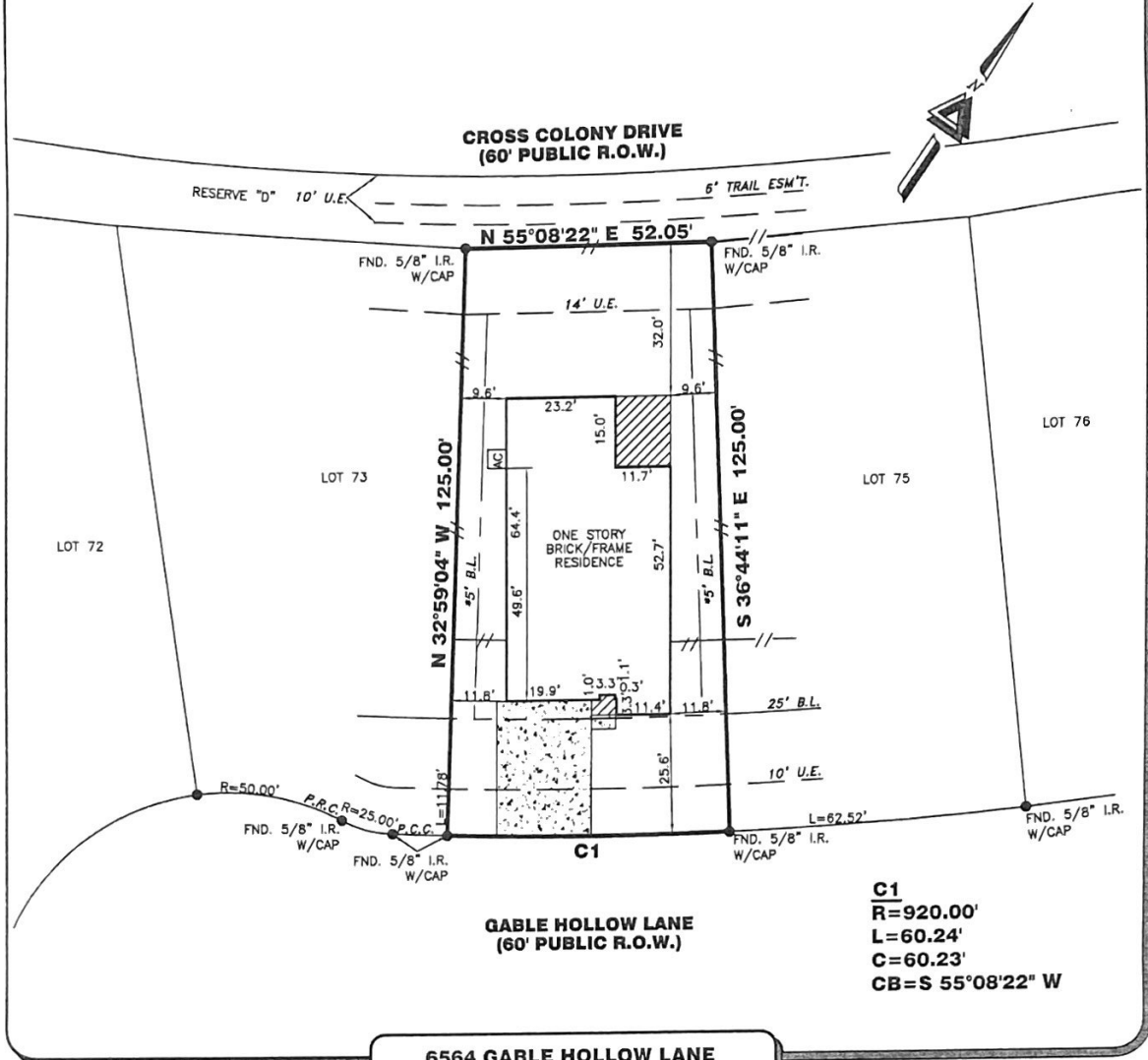
FND = FOUND  
 FNC = FENCE  
 PUE = PUBLIC UTILITY ESMT  
 PAE = PERMANENT ACCESS ESMT

M.U.E. = MUNICIPAL UTILITY ESMT  
 S.S.E. = SANITARY SEWER ESMT  
 W.L.E. = WATERLINE EASEMENT  
 R.O.W. = RIGHT-OF-WAY

CONCRETE  
 COVERED  
 SOD  
 BRICK  
 A/C PAD  
 ELEC BOX  
 DILIT PED  
 (MH) MANHOLE  
 WATER METER

IRON FENCE  
 WIRE FENCE  
 WOOD FENCE  
 CHAIN LINK FENCE  
 BUILDING LINE (B.L.)  
 EASEMENT LINE  
 AERIAL EASEMENT (A.E.)

SCALE 1"=30'



**6564 GABLE HOLLOW LANE**

**PROPERTY INFORMATION**  
 LOT 74 BLOCK 1  
 SUBDIVISION:  
 LAKES OF BAY COLONY SEC. 8  
 RECORDING INFO:  
 PLAT NO. 2018044330, MAP RECORDS,  
 GALVESTON COUNTY, TEXAS  
 BORROWER:  
 PETER W. JONES AND JENNIFER M. JONES  
 TITLE CO.  
 PLATINUM TITLE PARTNERS, L.P.  
 G.F.# 20-69540-18 G.F. DATE: 07-15-20  
 SURVEYED FOR:  
 GREENECO BUILDERS, L.L.C.

**DRAWING INFORMATION**  
 TRI-TECH JOB NO: GH997-19  
 CLIENT JOB NO:  
 DRAWN BY: NK  
 BEARING BASE: REFERRED TO PLAT NORTH  
 FIELD DATE: SEE REVISIONS

**FLOOD INFORMATION**  
 F.I.R.M. NO: 48167C PANEL: 0228G  
 REVISED DATE: 08-15-19 ZONE: "X-SHADED"  
 FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY. FLOOD INFORMATION IS SUBJECT TO THE F.I.R.M.'S MAP CHANGES.

**NOTES:**  
 ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.  
 RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER P.L.A.T. NO. 2018044330, MAP RECORDS, GALVESTON COUNTY, TEXAS, FILED NOV 25 2018 AT 10:58 AM BY THE CLERK OF COURTS, GALVESTON COUNTY, TEXAS, BOOK 2000032144, PAGE 00088395, 2011064851, 2011065100, 2013007987, 2013077508, 2018044602, 2018069548  
 C.O.H. ORDINANCE 85-1679 PER H.C.C.F. # N 25388 AND C.O.H. ORDINANCE 88-1312 PER H.C.C.F. # N 33753 AND AMENDED BY C.O.H. ORDINANCE 1988-262  
 PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.  
 ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY, ARE BASED ON THE RECORDED MAP, PLAT AND/OR DEEDS IN CONJUNCTION WITH TITLE INFORMATION OBTAINED FROM THE TITLE REPORT LISTED HEREON.  
 ALL BUILDING LINES, RECORDED EASEMENTS, UNRECORDED EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES (INCLUDING CITY OF LEAGUE CITY) IF ANY, THAT AFFECT SUBJECT PROPERTY SHOULD BE VERIFIED.  
 THIS SURVEY DOES NOT ADDRESS ANY EAVES, GUTTERS OR OTHER OVERHANGING STRUCTURE FEATURES, WHICH MAY PROTRUDE OVER BOUNDARY, EASEMENT AND/OR BUILDING LINES UNLESS OTHERWISE SHOWN HEREON.

**REVISIONS**

DATE	REASON	BY
01-08-20	FORM	NK
03-16-20	FINAL	SK
08-05-20	ADD BUYER	TDA

**TRI-TECH**  
 SURVEYING COMPANY, L.P.  
 10401 WESTOFFICE DR.  
 HOUSTON, TEXAS 77042  
 PH: 713-667-0800  
 www.tritechtx.com TBPLS #10115900

**CERTIFICATION**  
 I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my supervision of the tract or parcel of land, according to the map or plat thereof, indicated hereon.  
 THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY  
 © 2020 TRI-TECH SURVEYING COMPANY, L.P.

STATE OF TEXAS  
 REGISTERED  
 WALTERS BROWN  
 5553  
 PROFESSIONAL  
 LAND SURVEYOR  
 08/05/2020  
 SURVEYOR REGISTRATION