



Residential • Multi-Family • Condos • Townhouses

GC Home Inspection

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8106 Rhobell St
Houston, TX 77078





PROPERTY INSPECTION REPORT FORM

Elijah Adeniyi <i>Name of Client</i>	09/06/2023 <i>Date of Inspection</i>
8106 Rhobell St, Houston, TX 77078 <i>Address of Inspected Property</i>	
Chad Gregory Langston Jr. <i>Name of Inspector</i>	25839 <i>TREC License #</i>
Chad Langston <i>Name of Sponsor (if applicable)</i>	7946 <i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Summary

Repair Items

FOUNDATIONS

- ◆ Door frames were found to be out-of-square within house. This implies that some structural movement of the building has occurred, as is typical of most houses.
- ◆ Common minor cracks were observed in the foundation walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.

ROOF COVERING MATERIALS

- ◆ Minor repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.
- ◆ Lifted flashing should be re-secured.
- ◆ It is recommended that exposed nail heads be caulked or sealed appropriately.

WALLS (INTERIOR AND EXTERIOR)

- ◆ The joints in the Hardie plank should be better sealed. More information can be obtained at: http://www.jameshardie.com/builder/products_siding_hardieplankLapSiding.py?openTab=jsnavLink4
- ◆ Mortar joints should be tuck pointed as necessary.
- ◆ Minor cracks were noted on interior walls at the exterior of the home. This condition is mainly cosmetic in nature and should be patched.
- ◆ Unit A -
- ◆ Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.
- ◆ Damage to the interior finish in various locations was observed and should be repaired.
- ◆ A thermal anomaly was observed in the wall of the north bedroom indicating missing insulation. Improvements may be desirable.
- ◆ A thermal anomaly was observed in the south bedroom wall adjacent to the tub indicating moisture likely from spillage at the tub/shower. Improvements should be made as necessary.
- ◆ Unit B -
- ◆ Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.
- ◆ Damage to the interior finish at the stairway was observed and should be repaired.
- ◆ Evidence of patching was detected on interior walls in the second floor bathroom on the southside.

CEILINGS AND FLOORS

- ◆ Unit A-
- ◆ Thermal anomalies were observed in the ceiling of the master bedroom and kitchen/breakfast room indicating moisture. Improvements should be made as necessary.
- ◆ Unit B-
- ◆ Thermal anomalies were observed in the ceiling of the master bedroom and adjacent to the return air register on the second floor indicating moisture. Further investigation and repair should be made as necessary.

- ◆ Thermal anomalies were observed in the ceiling of the second floor indicating missing or compressed insulation. Improvements should be made as necessary.

DOORS (INTERIOR AND EXTERIOR)

- ◆ Unit A -
- ◆ Doors in various locations should be trimmed or adjusted as necessary to work properly.
- ◆ The exterior doors should be better sealed to promote energy efficiency.
- ◆ Unit B -
- ◆ The striker plate in the master bedroom is off center and should be adjusted to allow the door to latch properly.
- ◆ Damaged or non-functional doors in the south second floor bathroom should be repaired.
- ◆ Doors in various locations should be trimmed or adjusted as necessary to work properly.

WINDOWS

- ◆ It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.
- ◆ The windows should be examined and sealed at the exterior to prevent water infiltration and to improve efficiency.
- ◆ Unit A -
- ◆ The window(s) have lost their seal in various locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.
- ◆ Unit B -
- ◆ The window(s) have lost their seal in various locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.

STAIRWAYS (INTERIOR AND EXTERIOR)

- ◆ Unit A -
- ◆ Missing balusters should be replaced.

SERVICE ENTRANCE AND PANELS

- ◆ White wires that are “hot” should be properly identified.
- ◆ The breaker box should be properly labeled.

BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

- ◆ An outlet is loose at the rear exterior of unit A and Unit B and should be re-secured.
- ◆ The weather cap on the exterior outlet is damaged and should be replaced.
- ◆ A ground fault circuit interrupter (GFCI) outlet at the exterior of the home did not respond correctly to testing during the inspection. This receptacle should be replaced.
- ◆ Unit A -
- ◆ Improper electrical connections should be improved. All electrical connections should be made inside junction boxes fitted with cover plates.

- ◆ The installation of a ground fault circuit interrupter (GFCI) is recommended in the kitchen at all counter top level outlets. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.
- ◆ Missing smoke detectors should be replaced.
- ◆ The damaged light switch in the second floor hallway should be repaired.
- ◆ Rendering the bathroom outlets inoperable. This circuit should be investigated and/or replaced.

COOLING EQUIPMENT

- ◆ Unit A -
- ◆ Damaged insulation on refrigerant lines should be repaired.
- ◆ The outdoor unit of the air conditioning system is out of level. This should be improved.
- ◆ The coil cabinet/furnace/plenum should be better sealed. Condensation is forming on the outside of the unit and dripping into the pan and decking below. Further investigation and repairs should be made as necessary.
- ◆ Unit B -
- ◆ The outdoor unit of the air conditioning system is out of level. This should be improved.

PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

- ◆ It is recommended that an anti-siphon device be added to the hose bib(s).
- ◆ Unit A -
- ◆ The handle for the water supply valve for unit A is damaged and in need of repair.
- ◆ The drain stop for the sink in the master bathroom is inoperative and should be repaired.
- ◆ Unit B -
- ◆ The toilet in the master bathroom is loose and should be re-secured.
- ◆ The sink in the second floor bathroom on the southside was observed to drain slowly, suggesting that an obstruction may exist.
- ◆ The drain stop for the sink in the half bathroom and second floor bathroom on the south side is missing and should be repaired.
- ◆ The toilet in the second floor bathroom on the south side is loose and should be re-secured.
- ◆ The drain stop for the tub in the second floor bathroom on the south side is missing and should be repaired.
- ◆ The hot and cold faucets for the bathtub in the second floor bathroom on the south side are reversed and should be repaired.
- ◆ Water hammer in the supply piping was observed when operating plumbing fixtures. Over time, this condition can influence the integrity of pipe connections. Closing valves and faucets slowly is one approach to avoiding water hammer. Better securing pipes (where possible) and installing air chambers (shock absorbers) at the risers to fixtures would be another solution. (Shower in second floor bathroom on the north side)
- ◆ The drain stop for the sink in the second floor bathroom on the north side is inoperative and should be repaired.
- ◆ The sink in the second floor bathroom on the north side was observed to drain slowly, suggesting that an obstruction may exist.
- ◆ The cabinet bottom under the sink shows signs of water damage in the second floor bathroom on the north side. Further investigation and/or repair may be necessary.

DRAINS, WASTES, AND VENTS

- ◆ Exposed PVC waste vent pipes should be painted or covered with lead roof jacks to prevent damage from UV light.

RANGE HOOD AND EXHAUST SYSTEMS

- ◆ Unit A -
- ◆ The range hood fan should be repaired so as to discharge to the building exterior.

RANGES, COOKTOPS, AND OVENS

- ◆ Unit A -
- ◆ The range was inoperable at the time of inspection. Further investigation and repairs should be made as necessary.
- ◆ A burner on the electric range is inoperative and should be repaired.

MECHANICAL EXHAUST VENTS AND BATHROOM HEATERS

- ◆ The exhaust fan in the second floor bathroom on the north side is noisy and should be repaired.

DRYER EXHAUST SYSTEMS

- ◆ The dryer vent should be further inspected and cleaned as necessary.

Items To Monitor

FOUNDATIONS

- ◆ Slightly greater than typical foundation cracking was observed. The amount of movement does not suggest a serious structural problem. This area should, of course, be monitored. The rate of movement cannot be predicted during a one-time inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

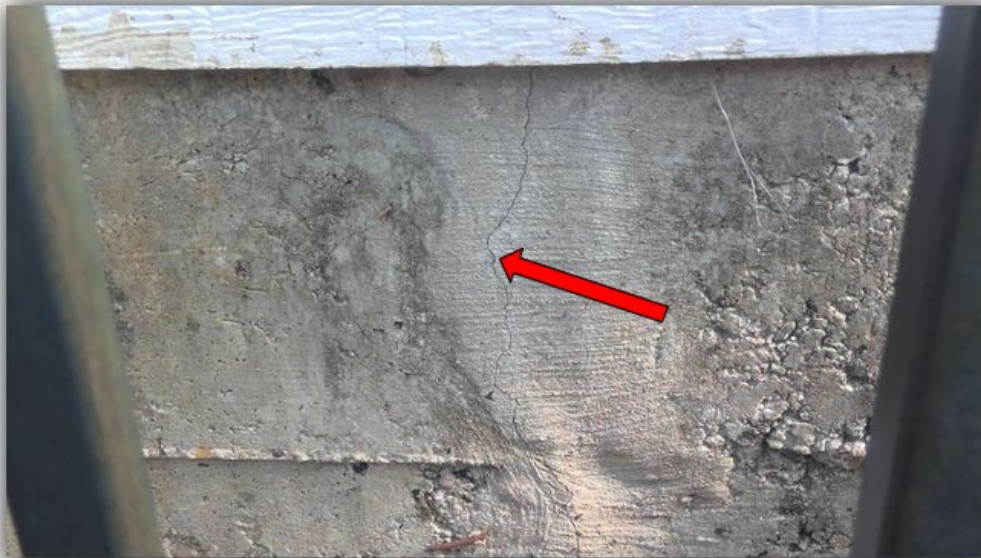
A. Foundations

Type of Foundation(s): Slab on grade

Comments:

It is the opinion of the inspector that the foundation was performing as intended at the time of inspection. Slight foundation settlement was noted. It is the opinion of the inspector that there is no foundation repair needed at the time of the inspection. It is important to note that the rate of foundation settlement is difficult to predict in a one time inspection and future performance is not guaranteed.

Slightly greater than typical foundation cracking was observed. The amount of movement does not suggest a serious structural problem. This area should, of course, be monitored. The rate of movement cannot be predicted during a one-time inspection.



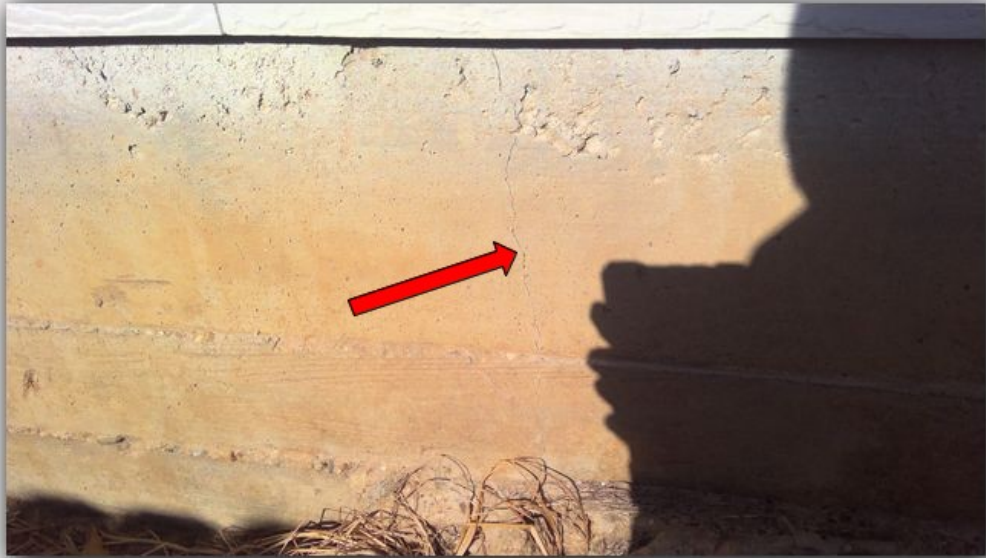
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Door frames were found to be out-of-square within house. This implies that some structural movement of the building has occurred, as is typical of most houses.

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Common minor cracks were observed in the foundation walls of the house. This implies that some structural movement of the building has occurred, as is typical of most houses.



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B. Grading and Drainage

Comments:

This system was performing as intended at the time of inspection.

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I	NI	NP	D
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C. Roof Covering Materials

Types of Roof Covering: Asphalt Shingles

Viewed From: Walked on roof

Comments:

Minor repairs to the roofing are recommended. Damaged or missing roofing material should be repaired. All roof penetrations should be examined and sealed as necessary.



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NI=Not Inspected

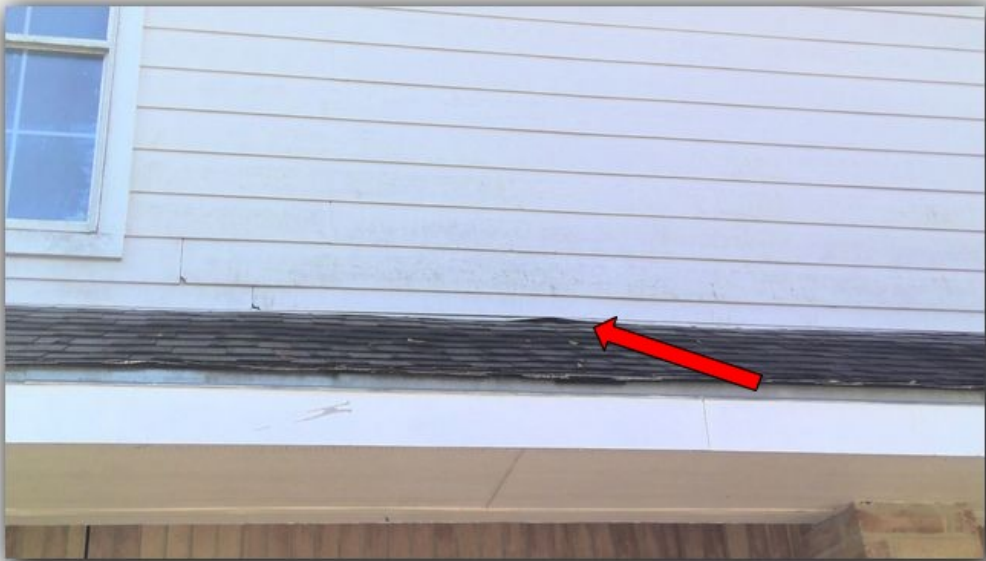
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Lifted flashing should be re-secured.



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Older roof, approximately 1/2 of serviceable life expectancy. Observed one or more of the following conditions: brittle, cracked, curled ends, and/or excessive granular loss of shingles.

It is recommended that exposed nail heads be caulked or sealed appropriately.



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D. Roof Structures and Attics

Viewed From: Entered attic and performed visual inspection

Approximate Average Depth of Insulation: 10 inches

Comments:

This system was performing as intended at the time of inspection.

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E. Walls (Interior and Exterior)

Comments:

The joints in the Hardie plank should be better sealed. More information can be obtained at:

http://www.jameshardie.com/builder/products_siding_hardieplankLapSiding.py?openTab=jsnavLink4



Mortar joints should be tuck pointed as necessary.

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I	NI	NP	D
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Minor cracks were noted on interior walls at the exterior of the home. This condition is mainly cosmetic in nature and should be patched.

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Unit A -

Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.

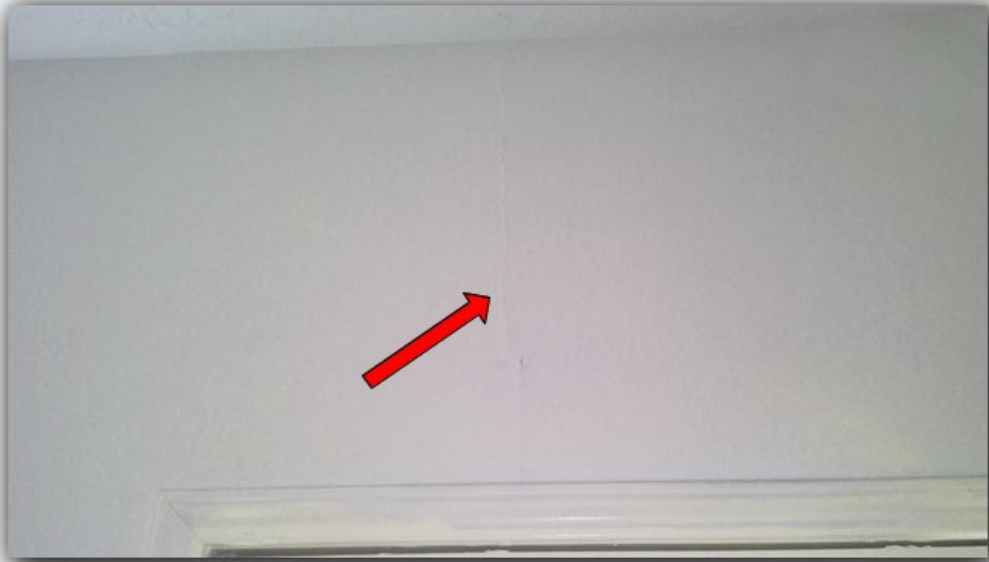
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Damage to the interior finish in various locations was observed and should be repaired.



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I=Inspected

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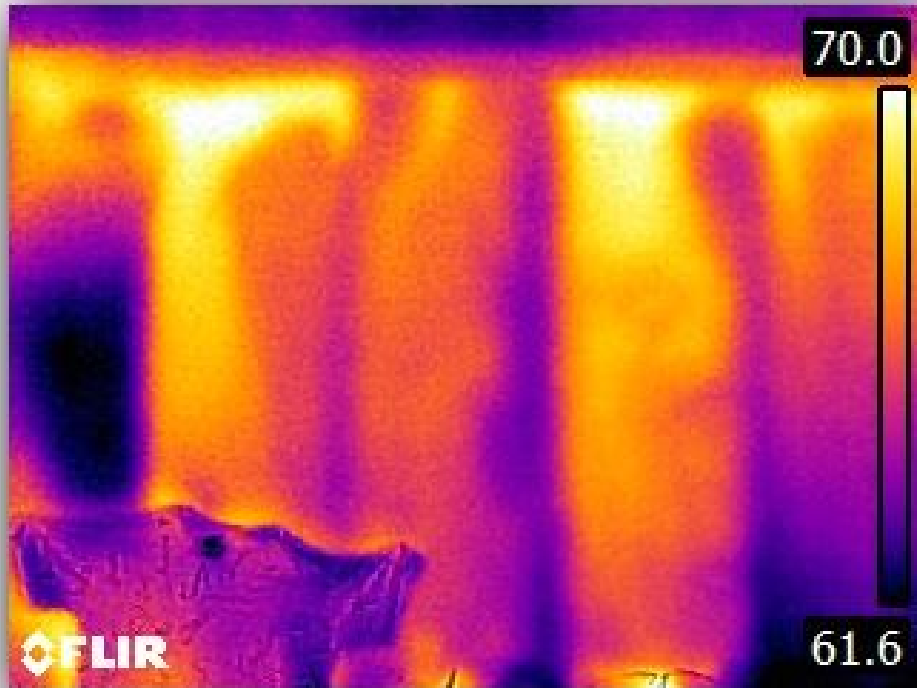
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A thermal anomaly was observed in the wall of the north bedroom indicating missing insulation. Improvements may be desirable.



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I	NI	NP	D
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A thermal anomaly was observed in the south bedroom wall adjacent to the tub indicating moisture likely from spillage at the tub/shower. Improvements should be made as necessary.

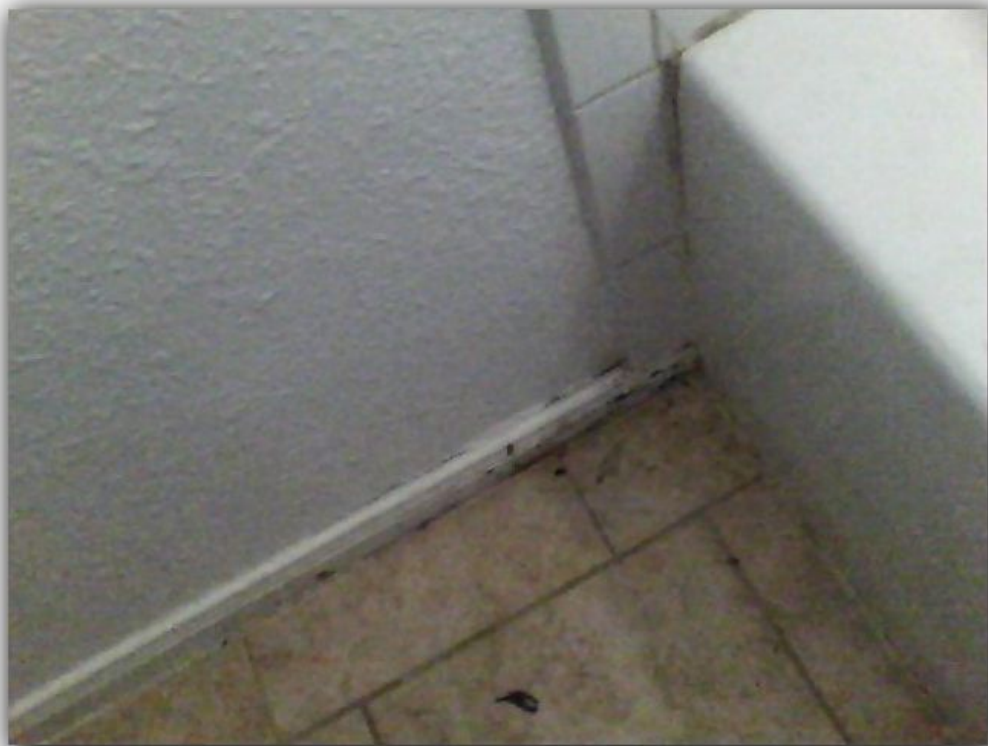
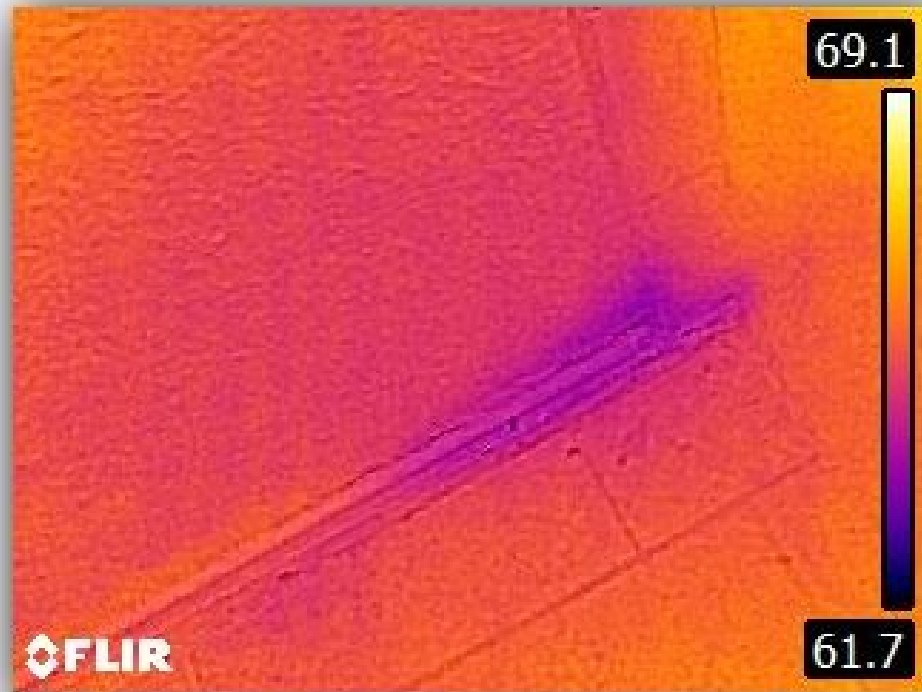
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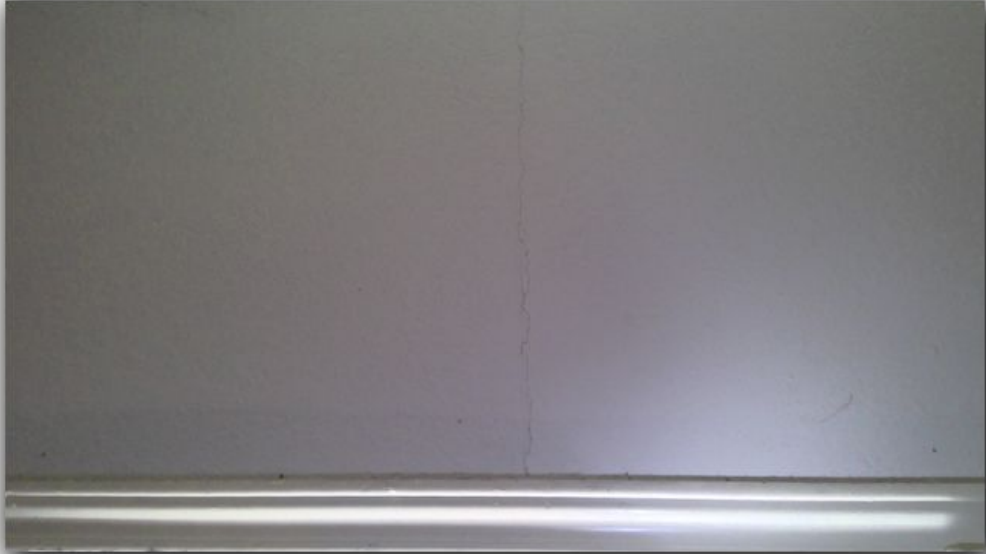
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D=Deficient

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Unit B -

Minor cracks were noted on interior walls in the living room. This condition is mainly cosmetic in nature and should be patched.



Damage to the interior finish at the stairway was observed and should be repaired.



Evidence of patching was detected on interior walls in the second floor bathroom on the southside.

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NP=Not Present

D=Deficient

I	NI	NP	D
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F. Ceilings and Floors

Comments:

Unit A-

Thermal anomalies were observed in the ceiling of the master bedroom and kitchen/breakfast room indicating moisture. Improvements should be made as necessary.

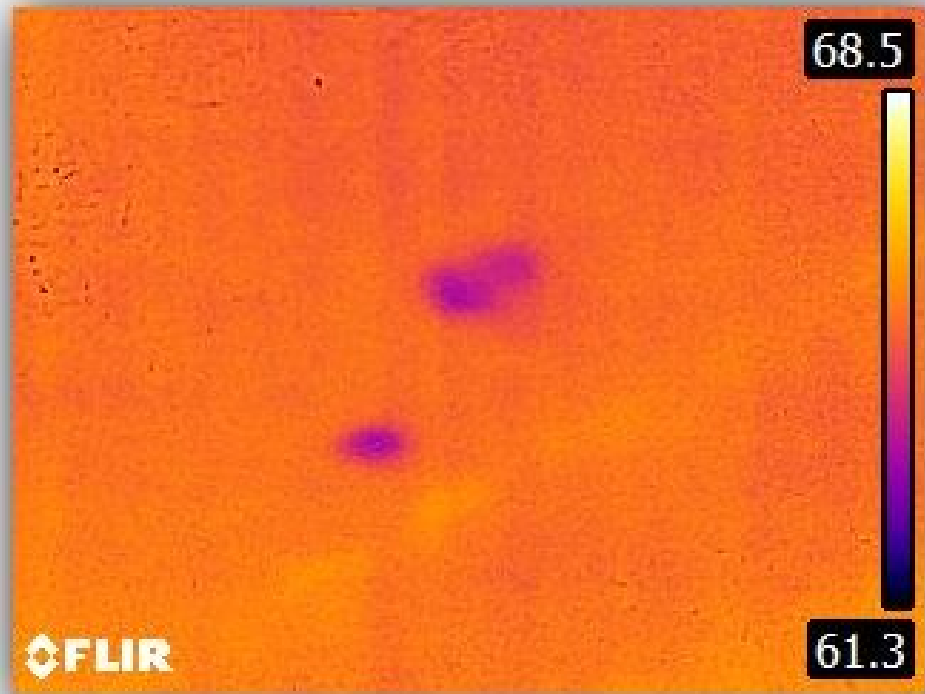
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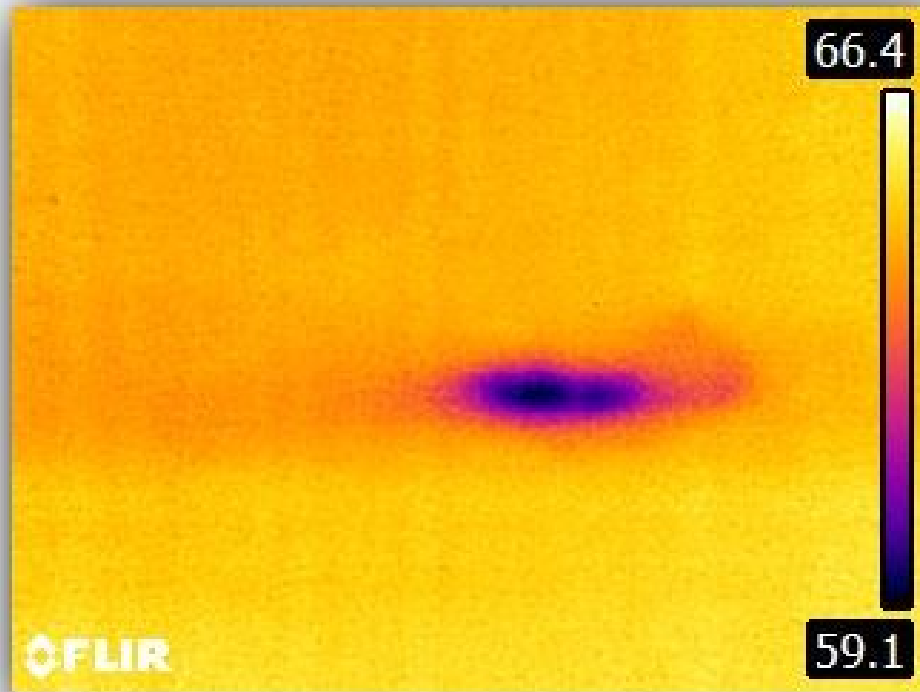
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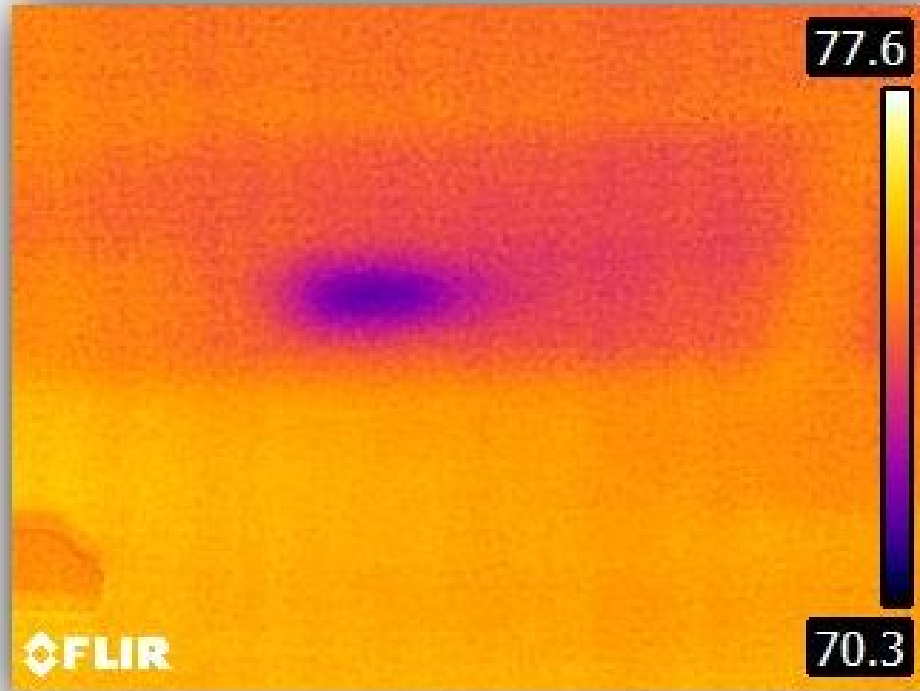
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Unit B-

Thermal anomalies were observed in the ceiling of the master bedroom and adjacent to the return air register on the second floor indicating moisture. Further investigation and repair should be made as necessary.



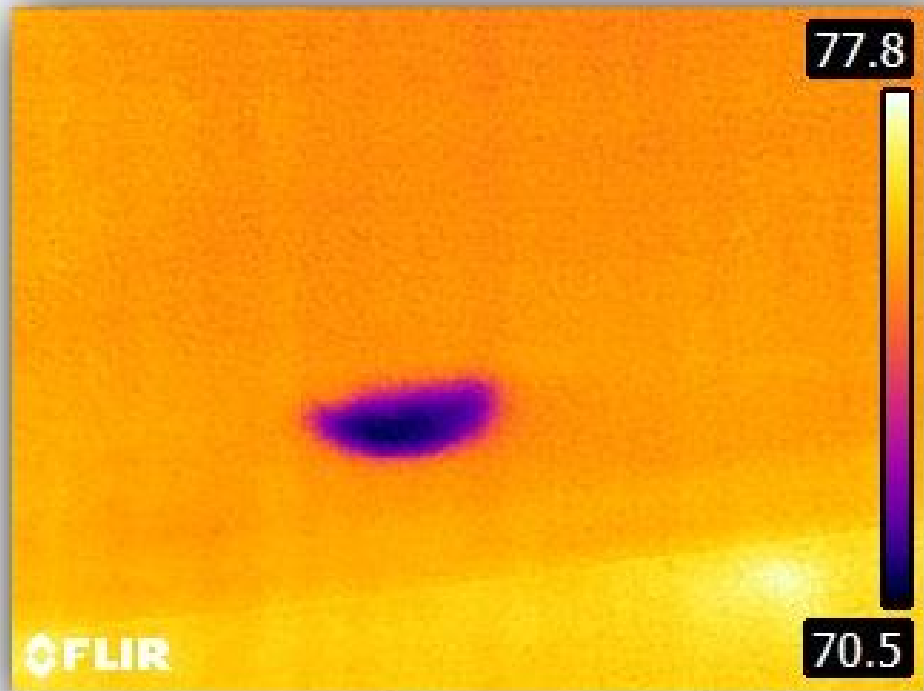
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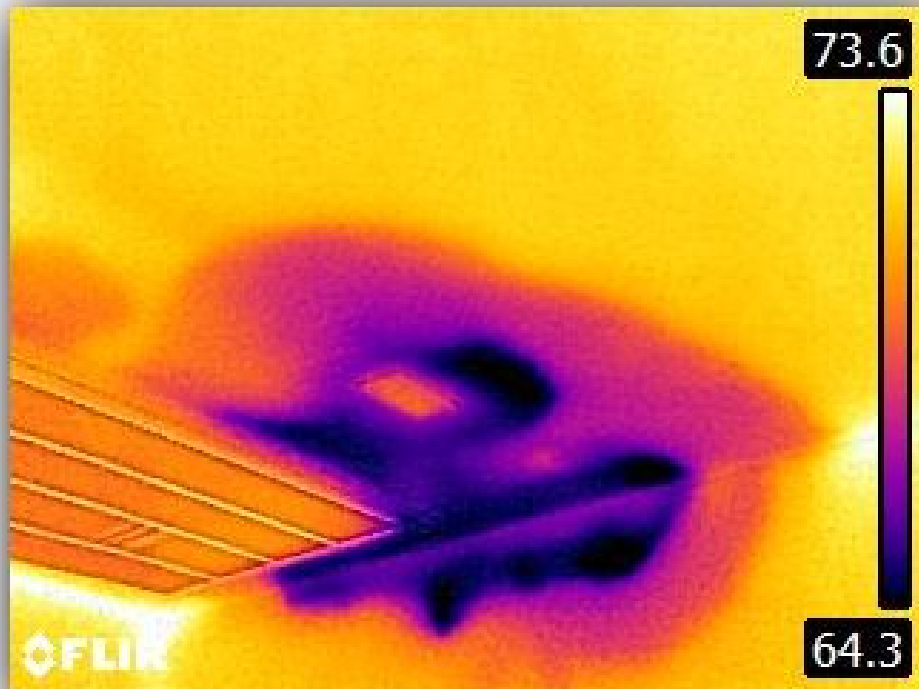
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I	NI	NP	D
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I=Inspected

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NP=Not Present

D=Deficient

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Thermal anomalies were observed in the ceiling of the second floor indicating missing or compressed insulation. Improvements should be made as necessary.

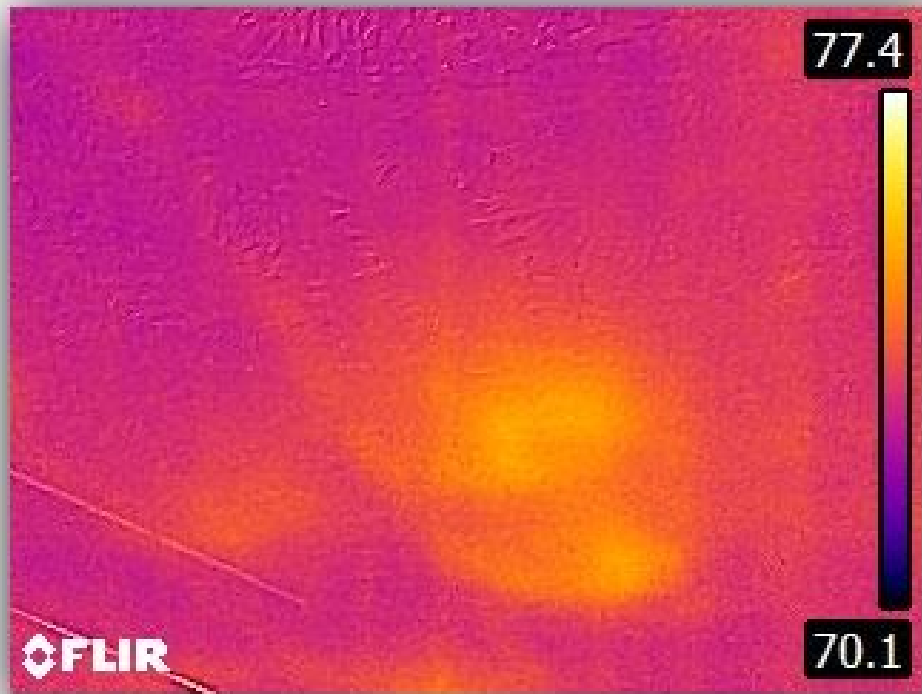
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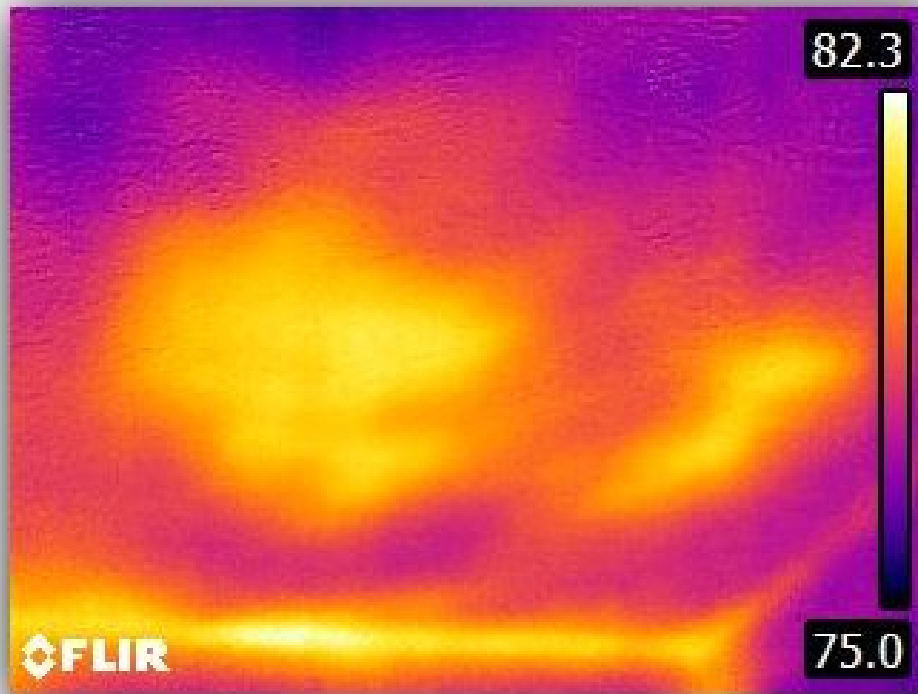
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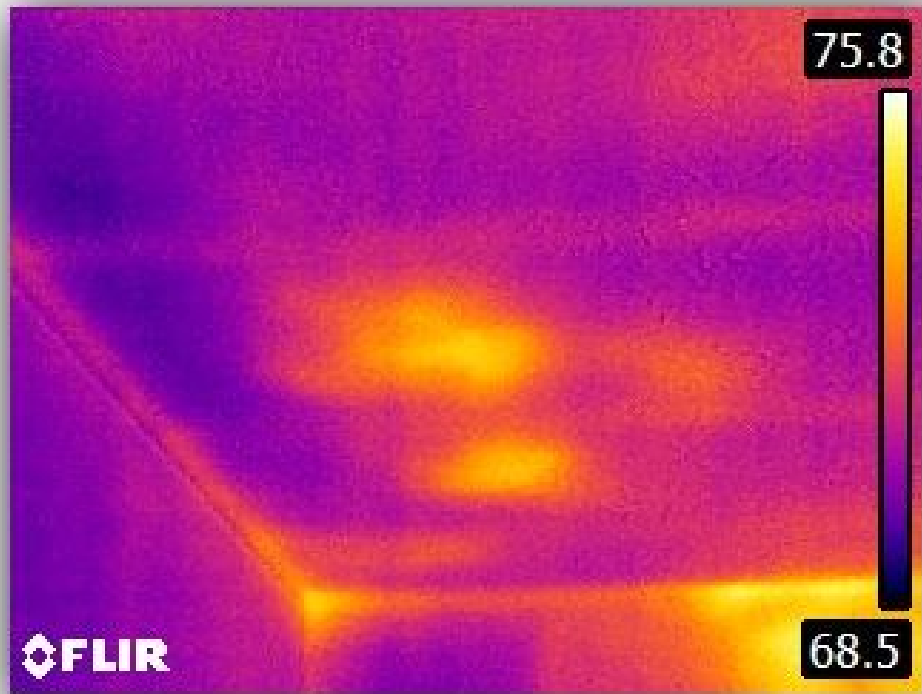
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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G. Doors (Interior and Exterior)

Comments:

Unit A -

Doors in various locations should be trimmed or adjusted as necessary to work properly.

The exterior doors should be better sealed to promote energy efficiency.



I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Unit B -

The striker plate in the master bedroom is off center and should be adjusted to allow the door to latch properly.

Damaged or non-functional doors in the south second floor bathroom should be repaired.



Doors in various locations should be trimmed or adjusted as necessary to work properly.

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H. Windows

Comments:

It may be desirable to replace window screens where missing. The owner should be consulted regarding any screens that may be in storage.

The windows should be examined and sealed at the exterior to prevent water infiltration and to improve efficiency.

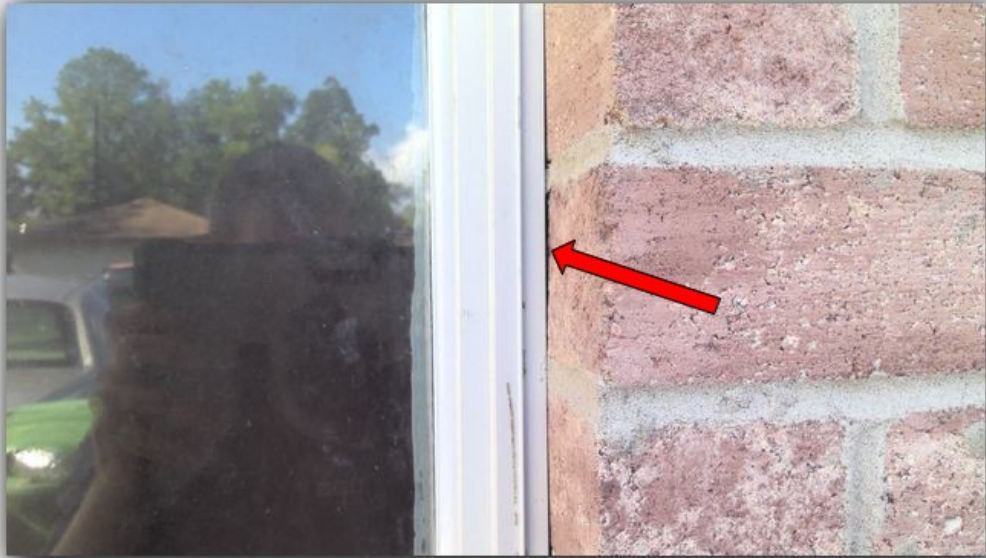
I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Unit A -

The window(s) have lost their seal in various locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.



I=Inspected

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I	NI	NP	D
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Unit B -

The window(s) have lost their seal in various locations. This has resulted in condensation developing between the panes of glass and can cause the glass to lose its insulating properties. The glass should be repaired or replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. Stairways (Interior and Exterior)

Comments:

Unit A -

Missing balusters should be replaced.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

This system was performing as intended at the time of inspection.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

In accordance with the Texas Real Estate Commission, Chapter 535 §535.229 (a)(17), states that “the lack of arc-fault circuit interrupting devices serving family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas; and failure of operation of installed arc-fault circuit interrupter devices” shall be reported as Deficient.

Unit A -

White wires that are “hot” should be properly identified.

Unit B -

The breaker box should be properly labeled.

White wires that are “hot” should be properly identified.

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

An outlet is loose at the rear exterior of unit A and Unit B and should be re-secured.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The weather cap on the exterior outlet is damaged and should be replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A ground fault circuit interrupter (GFCI) outlet at the exterior of the home did not respond correctly to testing during the inspection. This receptacle should be replaced.



Unit A -

Improper electrical connections should be improved. All electrical connections should be made inside junction boxes fitted with cover plates.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The installation of a ground fault circuit interrupter (GFCI) is recommended in the kitchen at all counter top level outlets. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.



Missing smoke detectors should be replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The damaged light switch in the second floor hallway should be repaired.



A ground fault circuit interrupter (GFCI) outlet is inoperative in the master bedroom. Rendering the bathroom outlets inoperable. This circuit should be investigated and/or replaced.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

A. Heating Equipment

Type of Systems: Central
Energy Sources: Electric
Comments:

This system was performing as intended at the time of inspection.

B. Cooling Equipment

Type of Systems: Central
Comments:

Unit A -

2017 3.5 ton



Damaged insulation on refrigerant lines should be repaired.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



The outdoor unit of the air conditioning system is out of level. This should be improved.



The coil cabinet/furnace/plenum should be better sealed. Condensation is forming on the outside of the unit and dripping into the pan and decking below. Further investigation and repairs should be made as necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit B -
2022 3.5 ton

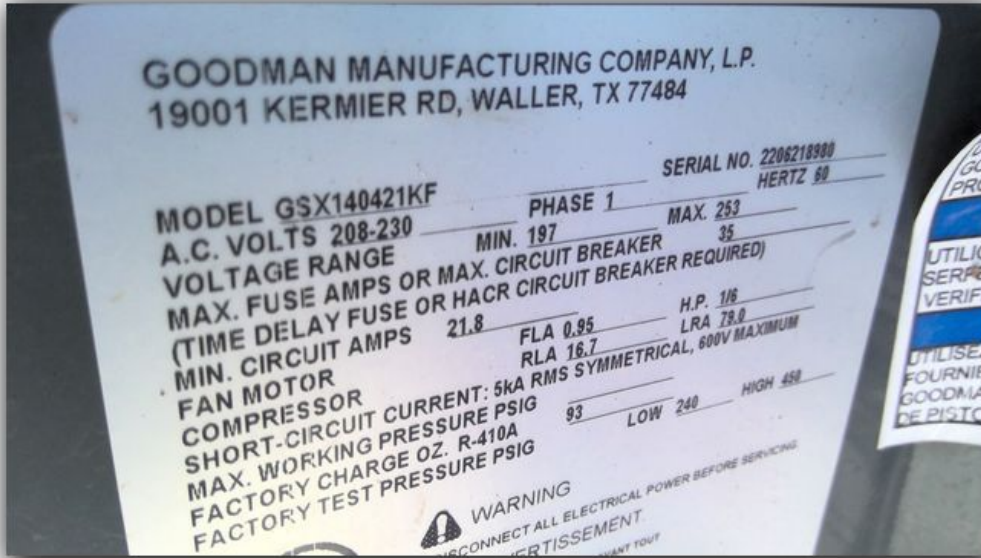
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



The outdoor unit of the air conditioning system is out of level. This should be improved.



-
-
-
-

C. Duct Systems, Chases, and Vents

Comments:

This system was performing as intended at the time of inspection.

IV. PLUMBING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: North side of the home

Location of main water supply valve: Northeast and northwest corner of the home

Static water pressure reading: 60 psi

Type of supply piping material: CPVC

Comments:

It is recommended that an anti-siphon device be added to the hose bib(s).

Unit A -

The handle for the water supply valve for unit A is damaged and in need of repair.



The drain stop for the sink in the master bathroom is inoperative and should be repaired.

Unit B -

The toilet in the master bathroom is loose and should be re-secured.

The sink in the second floor bathroom on the southside was observed to drain slowly, suggesting that an obstruction may exist.

The drain stop for the sink in the half bathroom and second floor bathroom on the south side is missing and should be repaired.

The toilet in the second floor bathroom on the south side is loose and should be re-secured.

The drain stop for the tub in the second floor bathroom on the south side is missing and

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

should be repaired.

The hot and cold faucets for the bathtub in the second floor bathroom on the south side are reversed and should be repaired.

Water hammer in the supply piping was observed when operating plumbing fixtures. Over time, this condition can influence the integrity of pipe connections. Closing valves and faucets slowly is one approach to avoiding water hammer. Better securing pipes (where possible) and installing air chambers (shock absorbers) at the risers to fixtures would be another solution. (Shower in second floor bathroom on the north side)

The drain stop for the sink in the second floor bathroom on the north side is inoperative and should be repaired.

The sink in the second floor bathroom on the north side was observed to drain slowly, suggesting that an obstruction may exist.

The cabinet bottom under the sink shows signs of water damage in the second floor bathroom on the north side. Further investigation and/or repair may be necessary.

B. Drains, Wastes, and Vents

Type of drain piping material: PVC

Comments:

Exposed PVC waste vent pipes should be painted or covered with lead roof jacks to prevent damage from UV light.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



-
-
-
-

C. Water Heating Equipment

Energy Sources: Electric

Capacity: 50 Gallon

Comments:

Unit A -

I=Inspected

NI=Not Inspected

NP=Not Present

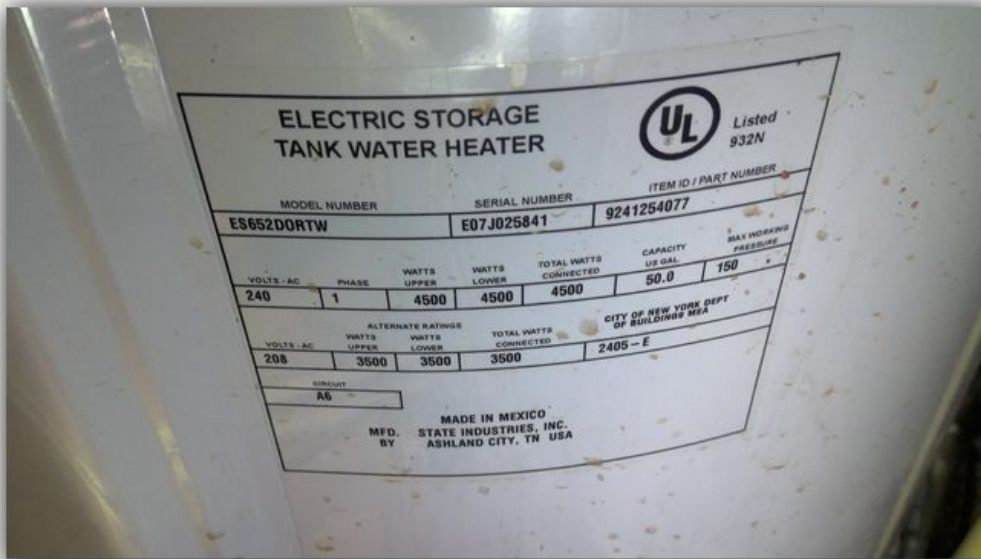
D=Deficient

I NI NP D



This system was performing as intended at the time of inspection.

Unit B -



This system was performing as intended at the time of inspection.

D. Hydro-Massage Therapy Equipment

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

E. Gas Distribution Systems and Gas Appliances

Location of gas meter:

Type of gas distribution piping material:

Comments:

V. APPLIANCES

A. Dishwashers

Comments:

Unit A -

This system was performing as intended at the time of inspection.

Unit B -

The dishwasher was full of debris so it was not operated at the time of inspection.

B. Food Waste Disposers

Comments:

Unit A -

This system was performing as intended at the time of inspection.

Unit B -

This system was performing as intended at the time of inspection.

C. Range Hood and Exhaust Systems

Comments:

Unit A -

The range hood fan should be repaired so as to discharge to the building exterior.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Unit B -

This system was performing as intended at the time of inspection.

-

D. Ranges, Cooktops, and Ovens

Comments:

Unit A -

The range was inoperable at the time of inspection. Further investigation and repairs should be made as necessary.

Unit B -

A burner on the electric range is inoperative and should be repaired.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



E. Microwave Ovens

Comments:

Unit A -

N/A

Unit B -

N/A

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

The exhaust fan in the second floor bathroom on the north side is noisy and should be repaired.

G. Garage Door Operators

Comments:

H. Dryer Exhaust Systems

Comments:

The dryer vent should be further inspected and cleaned as necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.

8106 Rhobell St

Inspected Address

Houston

City

77078

Zip Code

SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

8106 Rhobell St Houston 77078
Inspected Address City Zip Code

1A. GC Home Inspection 1B. 0777379
Name of Inspection Company SPCS Business License Number

1C. 1212 Chesterwood Pearland TX 77581
Address of Inspection Company City State Zip Telephone No.

1D. Chad Langston 1E. Certified Applicator [X] (check one)
Name of Inspector (Please Print) Technician []

1F. Wednesday, September 6, 2023
Inspection Date

2. Elijah Adeniyi Seller [] Agent [] Buyer [X] Management Co. [] Other []
Name of Person Purchasing Inspection

3. Adeniyi, Elijah
Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee [] Purchaser of Service [X] Seller [] Agent [X] Buyer [X]
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. House only
List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:
Foundation: Slab [X] Pier and Beam [] Pier Type: _____ Basement [] Other: _____
Siding: Wood [] Fiber Cement Board [X] Brick [X] Stone [] Stucco [] Other: _____
Roof: Composition [X] Wood Shingle [] Metal [] Tile [] Other _____

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A
If treating for subterranean termites, the treatment was: Partial [] Spot [] Bait [] Other []
If treating for drywood termites or related insets, the treatment was: Full [] Limited []

6B. N/A N/A N/A
Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method

This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes [] No [X] List Insects: N/A

If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase of sale of this property. I do further state that neither I nor the company for which I am acting is associate in any way with any party to this real estate transaction.

7A. [Signature] 0907598
Inspector (Technician or Certified Applicator Name and License Number)

Others Present:
7B. N/A
Apprentices, Technicians, or Certified Applicators (Names) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:
8A. Electric Breaker Box [] 8B. Date Posted: 9/6/23
Water Heater Closet []
Beneath the Kitchen Sink [X]

9A. Were any areas of the property obstructed or inaccessible? Yes [X] No []
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.

9B. The obstructed or inaccessible areas include but are not limited to the following:
Attic [] Insulated area of attic [X] Plumbing Areas [X] Planter box abutting structure []
Deck [] Sub Floors [X] Slab Joints [] Crawl Space []
Soil Grade Too High [] Heavy Foliage [] Eaves [X] Weepholes []
Other [] Specify: N/A

10A. Conditions conducive to wood destroying insect infestation? Yes [] No [X]
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.

10B. Conducive Conditions include but are not limited to:
Wood to Ground Contact (G) [] Formboards left in place (I) [] Excessive Moisture (J) []
Debris under or around structure (K) [] Footing too low or soil line too high (L) [] Wood Rot (M) [] Heavy Foliage (N) []
Planter box abutting structure (O) [] Wood Pile in Contact with Structure (Q) [] Wooden Fence in Contact with the Structure (R) []
Insufficient ventilation (T) [] Other (C) [] Specify: N/A

8106 Rhobell St

Houston

77078

Inspected Address

City

Zip Code

11. Inspection Reveals Visible Evidence in or on the structure:

11A. Subterranean Termites

Active Infestation
Yes No

Previous Infestation
Yes No

Previous Treatment
Yes No

11B. Drywood Termites

Yes No

Yes No

Yes No

11C. Formosan Termites

Yes No

Yes No

Yes No

11D. Carpenter Ants

Yes No

Yes No

Yes No

11E. Other Wood Destroying Insects

Yes No

Yes No

Yes No

Specify: N/A

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

N/A

11G. Visible evidence of: N/A has been observed in the following areas: N/A

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 11. (Refer to Part G, H and I, Scope of Inspection)

Yes

No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows:

Yes

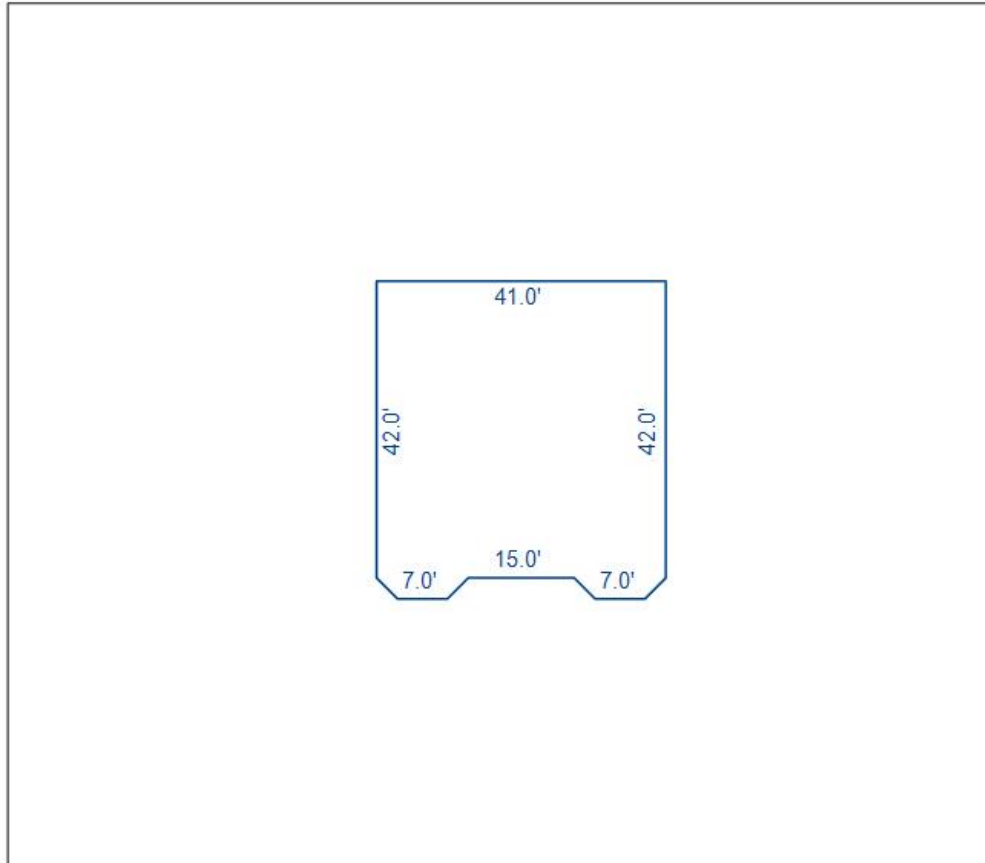
No

Specify reason: N/A

Refer to Scope of Inspection Part J

Diagram of Structure(s) Inspected

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify _____



Additional Comments _____

8106 Rhobell St

Inspected Address

Houston

City

77078

Zip Code

Statement of Purchaser

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: N/A

Signature of Purchaser of Property or their Designee

Date

9/6/23

Customer or Designee not Present

Buyers Initials _____