



B.E./C.S.T.
sgibbs@olshanfoundation.com
CELL | 281-824-9061

Olshan

Since 1933

1-877-4-OLSHAN
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DRAWING SCALE:

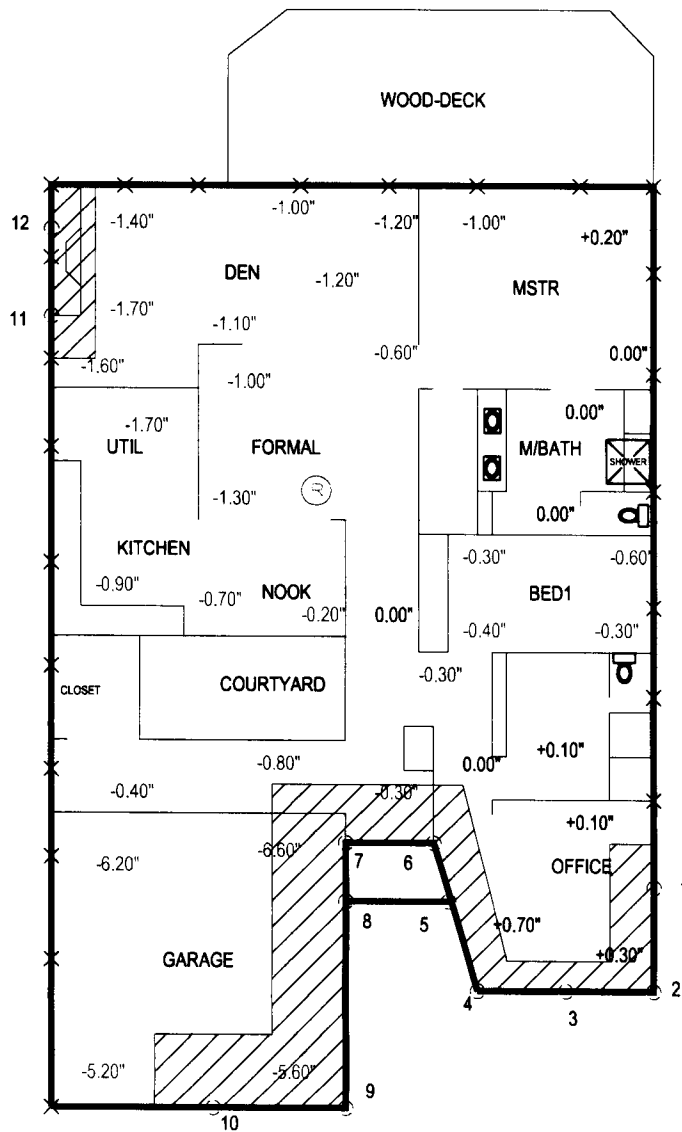
LONNIE HARTMAN
14114 JUPITER HILLS
HOUSTON TX 77069
281-682-0599

11/2/18 KEY MAP

- × PREVIOUS WORK NOT UNDER WARRANTY
- PREVIOUS WORK WILL BE UNDER NEW LIFETIME SERVICE AGREEMENT

Lonnie Lee Hartman Jr
Lonnie Lee Hartman Jr (Nov 7, 2018)

Nov 7, 2018



ADDENDUM "A"



5902 W 34th St
Houston, TX 77092
713-223-1900 Direct Dial
713-895-8160 Fax

Agreement / Contract

OLSHAN FOUNDATION REPAIR CO of HOUSTON, LLC (dba 'Olshan Foundation Solutions'), hereinafter called CONTRACTOR, enters into this agreement on this 7th day of November 2018, with:
LONNIE HARTMAN, hereinafter called OWNER to provide labor, equipment, and materials for the work described herein upon the structure located at:
14114 JUPITER HILLS, HOUSTON, Texas 77069.

Owner's Contact Number: 281-682-0599

Alternate Number: 000-000-0000

Foundation Underpinning (Scope of Work)

X	REPAIR PLAN: at Total Cost of \$250.00	<i>Owner has requested to MODIFY the Repair Plan- OWNER INITIAL HERE:</i>
	<small>Service or Product Warranty</small>	MODIFIED REPAIR PLAN: at Total Cost of n/a
		<small>Service or Product Warranty</small>
	REPAIR PLAN SPECIAL PROVISIONS:	MODIFICATIONS TO REPAIR PLAN SPECIAL PROVISIONS:
	<> <> <> Owner to receive a Lifetime Service Agreement Warranty on previously installed repairs as per the CAD attachment (Addendum "A"), subject to the terms and conditions of this contract and the sample warranty provided to the Owner.	<> <> <>
	<i>Note: Possible Additional Charges (if needed, during initial job):</i>	<i>Tunnel per ft \$225 ; Cut Builder Piers \$375 each; Remove Previous Work / Concrete \$125 per Hour Steel Support / Angle Iron \$40 per piling Generator Rental \$75 per day</i>
	Owner has selected the REPAIR PLAN with a TOTAL COST to the OWNER of:	\$ 250.00

Other Special Provisions

Other Cost Adjustments - brief description>>>	\$ -
TOTAL AGREEMENT COST >>	\$ 250.00
Deposit	\$ -
Sales Tax	8.25%
Net Amount Due from Customer per payment terms below	\$ 250.00

Payment Terms:
Payment for services to be paid (1/2) \$125.00 Due before work starts (1/2) \$125.00 Due upon completion

Agreement Subject to Chapter 27 of the Texas Property Code

This agreement is subject to Chapter 27 of the Texas Property Code. The provisions of that chapter may affect your right to recover damages from the performance of this contract. If you have a complaint concerning a construction defect arising from the performance of this contract and that defect has not been corrected through existing warranty service, you must provide notice regarding the defect to the contractor by certified mail, not later than the 60th day before the date you file suit in a court of law. If requested by Contractor, you must provide an opportunity to inspect & cure the defect pursuant to Section 27.004, Texas Property Code.

LIMITED WARRANTY: UNLESS A LONGER WARRANTY PERIOD IS SPECIFIED, CONTRACTOR WARRANTS THE WORKMANSHIP OF THE INSTALLATION FOR ONE YEAR FROM ITS COMPLETION DATE. DURING THE WARRANTY PERIOD, CONTRACTOR WILL REPAIR AT NO CHARGE TO YOU, ANY DEFECTS DUE TO FAULTY WORKMANSHIP. CONTRACTOR'S WARRANTY EXCLUDES INDIRECT OR CONSEQUENTIAL DAMAGES, DAMAGE CAUSED BY ABUSE, MISUSE, NEGLIGENCE, WORK PERFORMED BY OTHERS, OR IMPROPER CARE/CLEANING. YOU MAY HAVE OTHER RIGHTS UNDER APPLICABLE LAW. MECHANICAL AND ELECTRICAL PARTS ARE COVERED BY AND LIMITED TO MANUFACTURER'S WARRANTY AND ARE NOT WARRANTED BY CONTRACTOR.

This signed AGREEMENT, the attached TERMS and CONDITIONS, Warranties provided and drawings (Addendum A) collectively shall represent the Contract/Agreement for repairs with the OWNER. To the extent there is a conflict between documents, the AGREEMENT shall control.

This Agreement must be signed, returned to the office and signed by Contractor within 30 days to be binding upon both parties. I have read and initialed confirming my understanding of the terms of this Agreement. By signing below, I agree with and will abide by the terms and conditions set forth in this Agreement, and authorize Contractor to perform the work specified.

Signatures:

Owner(s): Lonnie Lee Hartman Jr Date: Nov 7, 2018
Lonnie Lee Hartman Jr, Nov 7 2018

 LONNIE HARTMAN

Prepared By: Shamon Gibbs 281-824-9061 Date: _____

 General Manager (Contractor) Date: _____