

We, Silver Circle Homes, LLC, acting by and through, Albert Bryant being officers of Silver Circle Estates at Tate, hereinafter referred to as Owners (whether one or more) of the 0.4648 tract described in the above and foregoing map of Silver Circle Estates at Tate, do hereby make and establish said subdivision and development plan of said property according to all lines, dedications, restrictions, and notations on said maps or plat and hereby dedicate to the use of the public forever, all streets (except those streets designated as private streets, or permanent access easements), alleys, parks, water courses, drains, easements and public places shown thereon for the purposes and considerations therein expressed; and do hereby bind ourselves, our heirs, successors and assigns to warrant and forever defend the title on the land so dedicated.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional eleven feet, six inches (11' 6") for ten feet (10' 0") perimeter ground easements or seven feet, six inches (7' 6") for fourteen feet (14' 0") perimeter ground easements or five feet, six inches (5' 6") for sixteen feet (16' 0") perimeter ground easements, from a plane sixteen feet (16' 0") above the ground level upward, located adjacent to and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals twenty one feet, six inches (21' 6") in width.

FURTHER, Owners have dedicated and by these presents do dedicate to the use of the public for public utility purpose forever unobstructed aerial easements. The aerial easements shall extend horizontally an additional ten feet (10' 0") for ten feet (10' 0") back-to-back ground easements, or eight feet (8' 0") for fourteen feet (14' 0") back-to-back ground easements or seven feet (7' 0") for sixteen feet (16' 0") back-to-back ground easements, from a plane sixteen feet (16' 0") above ground level upward, located adjacent to both sides and adjoining said public utility easements that are designated with aerial easements (U.E. and A.E.) as indicated and depicted hereon, whereby the aerial easement totals thirty feet (30' 0") in width.

FURTHER, Owners do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of single family residential dwelling units thereon (or the placement of mobile home subdivision) and shall be restricted for same under the terms and conditions of such restrictions filed separately.

FURTHER, Owners do hereby dedicate to the public a strip of land fifteen feet (15' 0") wide on each side of the center line of any and all bays, creeks, gullies, ravines, draws, sloughs or other natural drainage courses located in said plat, as easements for drainage purposes, giving the City of Houston, Harris County, or any other governmental agency, the right to enter upon said easement at any and all times for the purpose of construction and maintenance of drainage facilities and structures.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat is hereby restricted to prevent the drainage of any septic tanks into any public or private street, permanent access easement, road or alley, or any drainage ditch, either directly or indirectly.

FURTHER, Owners do hereby covenant and agree that all of the property within the boundaries of this plat and adjacent to any drainage easement, ditch, gully, creek or natural drainage way shall hereby be restricted to keep such drainage ways and easements clear of fences, buildings, planting and other obstructions to the operations and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, Owners hereby certify that this replat does not attempt to alter, amend, or remove any covenants or restrictions; we further certify that no portion of the preceding plat was limited by deed restriction to residential use for not more than two (2) residential units per lot.

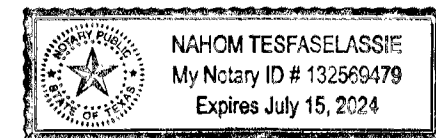
IN TESTIMONY WHEREOF, the Silver Circle Homes LLC, has caused these presents to be signed by Albert Bryant, officer, thereunto authorized this 11th day of January 2021.

By: *Albert Bryant* A.B.
Albert Bryant

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared Albert Bryant, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein and herein stated, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this 21st day of January 2021.



Nelson Testase Lassie
Notary Public in and for the State of Texas
Print Name: *Nelson Testase Lassie*
My Commission expires: *July 15, 2024*

I, Daniel Villa, Jr., am registered under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and accurate; was prepared from an actual survey of the property made under my supervision on the ground; that, except as shown all boundary corners, angle points, points of curvature and other points of reference have been marked with iron (or other objects of a permanent nature) pipes or rods having an outside diameter of not less than five eighths (5/8) inch and a length of not less than three (3) feet; and that the plat boundary corners have been tied to the Texas Coordinate System of 1983, south central zone.



Daniel Villa, Jr.
Daniel Villa, Jr.
Texas Registration No. 6751

This is to certify that the Planning Commission of the City of Houston, Texas, has approved this plat and subdivision of Silver Circle Estates at Tate, in conformance with the laws of the State of Texas and the ordinances of the City of Houston, as shown hereon, and authorized the recording of this plat this 2nd day of FEBRUARY 2021.

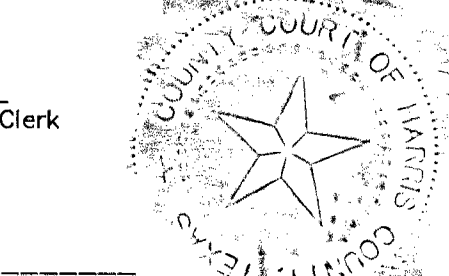
By: *Martha L. Stein* Or *M. Sonny Garza*
Chair Vice-Chairman
By: *JOEL W.*
Margaret Wallace Brown, AICP, CNU
Secretary

I, Tenehia Hudspeth, County Clerk of Harris County, do hereby certify that the within instrument with its certificate of authentication was filed for registration in my office on Feb. 4, 2021, at 11:52 o'clock A.M., and duly recorded on Feb. 5, 2021, at 9:56 o'clock A.M., and at Film Code Number 693980 of the Map Records of Harris County for said county.

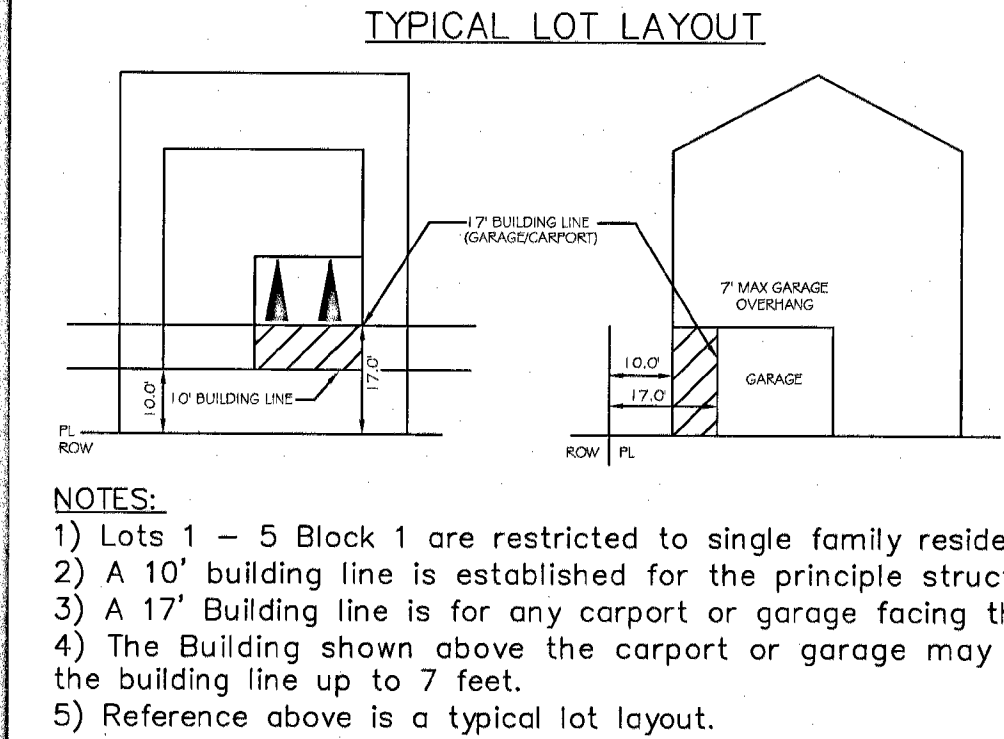
Witness my hand and seal of office, at Houston, the day and date last above written.

TENESHIA HUDSPETH
Tenehia Hudspeth, County Clerk
Of Harris County, Texas

By: *Christian Orna*
Deputy CHRISTIAN ORNA



ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW

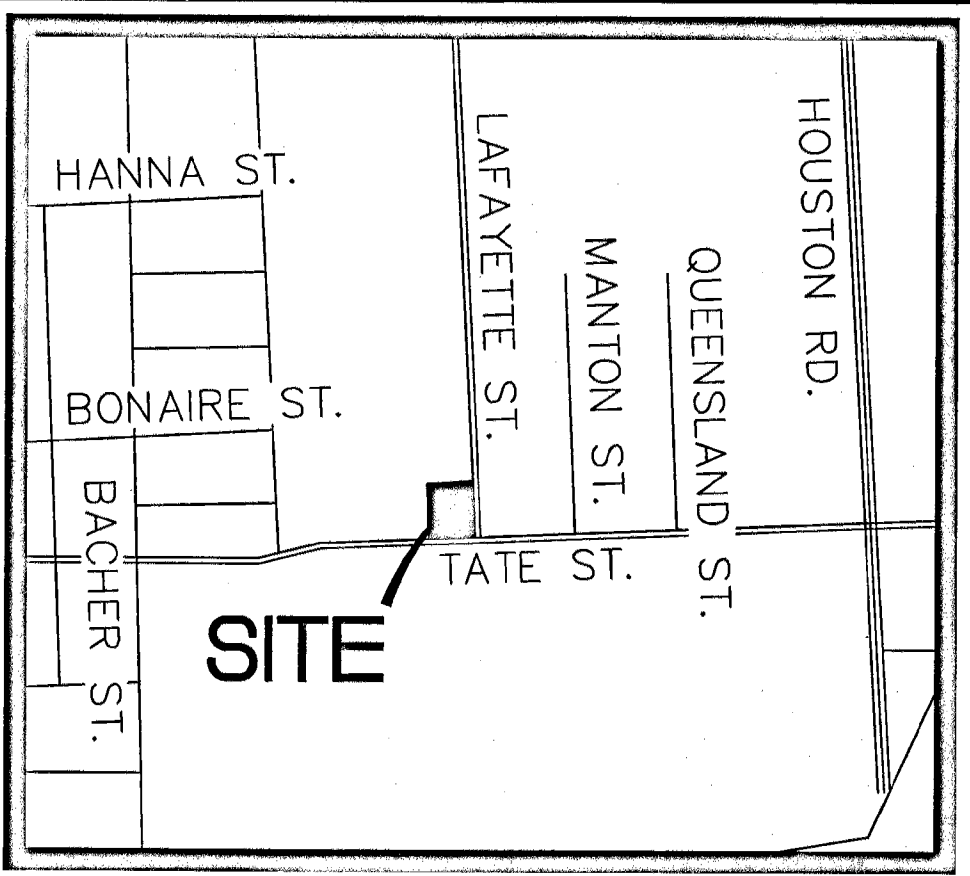


PARKS AND OPEN SPACE TABLE

Number of Existing Dwelling Units	0
Owner hereby certifies that information provided is true	
Number of Proposed Dwelling Units	5
Number of incremental Dwelling Units	5

I HEREBY CERTIFY THAT THE INFORMATION IS TRUE
- No land is being established as Private Park or dedicated to the public for Park purposes.
- No building permit or other permit, except permits for construction of public improvements, will be issued by the City of Houston, Texas, for construction within the subdivision until such time as the funds required under provisions of Section 42-253 of the Code of Ordinances of the City of Houston, Texas has been submitted and accepted by the city.
- This property is located in Park Sector number 4.
- This percentage is (100%) shall be applied to the then-current fee in lieu of dedication
- The then-current fee in lieu of dedication shall be applied to this number (5 units) of dwelling units.

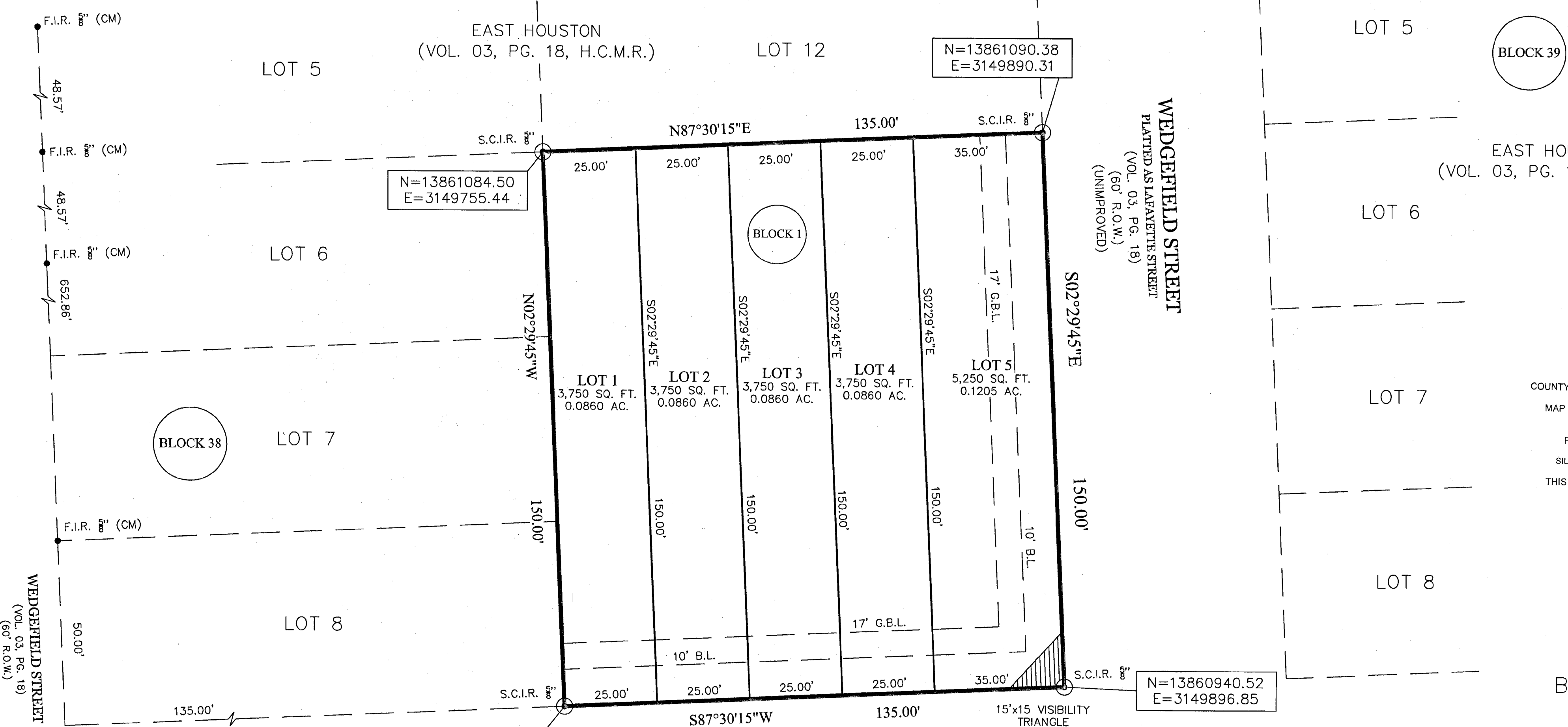
RP-2021-63438
2/4/2021 HCCP1P1 60.00
FILED
2/4/2021 11:52 AM
Tenehia Hudspeth
COUNTY CLERK



Vicinity Map not to scale KEY MAP 455T

- NOTES:
- Single family residential shall mean the use of a lot with one building designed for and containing not more than two separate units with facilities for living, sleeping, cooking, and eating therein. A lot upon which is located free standing building containing one dwelling unit and a detached secondary dwelling unit of not more than 900 square feet also shall be considered single family residential. A building that contains one dwelling unit on one lot that is connected by a party wall to another building containing one dwelling unit on an adjacent lot shall be single family residential.
 - Each lot shall provide a minimum of two off-street parking spaces per dwelling unit on each lot. In those instances where a secondary unit is provided only one additional space shall be provided.
 - Unless otherwise indicated, the building lines, whether one or more, shown on this subdivision plat are established to evidence compliance with the applicable provisions of Chapter 42, code of ordinance, City of Houston, Texas, in effect at the time this plat was approved, which may be amended from time to time.
 - The coordinates shown hereon are Texas South Central Zone No.4204 State Plane grid coordinates (NAD83) and may be brought to surface by applying the following combined scale (0.99990018)
 - Bearings shown hereon are referenced to the Texas Coordinate system of 1983, (NAD83) South Central Zone (FIPS 4204) per GPS observations and are based on Control Monuments Depicted on this survey.
 - Absent written authorization by the affected utilities, all utility and aerial easements must be kept unobstructed from any non-utility improvements or obstructions by the property owner. Any unauthorized improvements or obstructions may be removed by any public utility at the property owner's expense. While wooden posts and paneled wooden fences along the perimeter and back to back easements and alongside rear lots lines are permitted, they too may be removed by public utilities at the property owner's expense should they be an obstruction. Public Utilities may put solid wooden posts and paneled wooden fences back up, but generally will not replace with new fencing.
 - Each lot shall be restricted to single family residential use.
 - All lots shall have an adequate waste water collection service.
 - The building line for property adjacent to two intersecting streets shall not encroach into any visibility triangle. This area shall assure adequate visibility sight lines for vehicular traffic approaching the intersection. The maximum height of the visibility triangle shall be 20 feet as measured vertically from ground.

LEGEND
AC. - Acres
B.L. - Building Line
G.B.L. - Garage Building line
H.C.M.R. - Harris County Map Records
SQ. FT. - Square Feet
R.O.W. - Right of Way
VOL. - Volume
PG. - Page

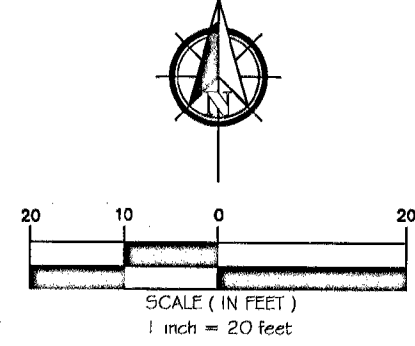


OFFICE OF
TENESHIA HUDSPETH
COUNTY CLERK, HARRIS COUNTY, TEXAS
MAP RECORDS OF COUNTY CLERK
FILM CODE 693980
SILVER CIRCLE ESTATES AT TATE
THIS IS PAGE 1 OF 2 PAGES
SCANNER Context IQ4400
KEY MAP

SILVER CIRCLE ESTATES AT TATE

A SUBDIVISION OF 0.4648 ACRES OF LAND BEING A REPLAT OF LOTS 9, 10 & 11, BLOCK 38 OF REVISED MAP OF EAST HOUSTON ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOL. 03, PG. 18 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS CITY OF HOUSTON

OWNER: SILVER CIRCLE HOMES LLC
REASON FOR REPLAT: TO CREATE 5 LOTS
DATE: JANUARY, 2021 SCALE: 1" = 20'
LOTS: 5 BLOCKS: 1



RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blacklines, additions and changes were present in the time this instrument was filed and recorded.

NEW ERA DEVELOPMENT
CIVIL ENGINEERING & LAND SURVEYING
TBPES FIRM NO. 10194609
19315 HAYS SPRING DRIVE
CYPRESS, TX 77433
832.518.9910