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1.0 INTRODUCTION

Magnolia Creek is being developed as a master planned community. Some of the possible features included are a twenty-seven hole golf course with clubhouse, a potential school site, recreation centers with neighborhood pools, greenbelt trails, landscape reserves, a hierarchy of internal public street rights of way, standard single family detached residences on varied lot sizes, patio homes or zero lot line homes, multifamily, townhouses, cluster homes, commercial/retail centers and office parks.

The master plan illustrates land uses for the intended development. Little, if any, deviation from the general plan is expected. The developer reserves the right to make alterations to the general plan as development progresses

This document is presented as a minimum set of development guidelines and standards for the Magnolia Creek community. The intended use is to provide a framework to illustrate and define design objectives for a unified, harmonious setting for the diverse enterprises and styles inherent in a multi-use land development. When conflicts exist within these guidelines the higher and better standard shall prevail.

These guidelines are supplemental to the Protective Covenants and are to be used in architectural review of builder, developer or owner plans. If a conflict exists between these guidelines and the Protective Covenants, the Protective Covenants shall prevail. Non-compliance with these guidelines is grounds for disapproval of plans. These guidelines are also for use as standards for future compliances to maintain the integrity of the community, as well as the preservation and enhancement of property values.

Location, size, style, color and types of signs, buildings, walls, sidewalks, vegetation, ornaments, grading, parking and other design elements are described in the following pages. Illustrative examples and descriptions are meant to ensure an orderly and well-maintained sense of place and community.

These guidelines are created to enhance the investment in property and to provide an attractive environment for people living, working, shopping and involved in recreational pursuits in the Magnolia Creek community.

2.0 GENERAL LAND USE PLAN

3.0 SITE LAYOUT

3.1 General

The builder/owner is to develop and maintain individual lots in a manner prescribed by the Declaration of Covenants, Conditions and Restrictions and by these builder guidelines and standards. Compliance with building setback lines, lot layouts, driveways, sidewalks, garages, etc. are required of the builder/owner. Connections to utilities are the responsibility of the builder/owner.

The builder/owner shall comply with any and all ordinances that may be in effect from the City of League City, Galveston County and / or any other governmental agency (i.e., MUD, EPA) having applicable jurisdiction.

3.2 Building Setbacks

Production Lots: Building setbacks from front property lines are twenty-five feet (25') unless otherwise shown on the recorded final plat or in these guidelines.

No vertical construction is to be built in any of the setback areas, including, but not limited to, houses, garages, gazebos, trellises, or other above ground structures. Decks and patios are allowed, but are subject to removal by the utility companies at the expense of the homeowner.

The minimum side yard setbacks on interior lots is five feet (5') for 60' - 90' lots, and 0' on one side of patio lots with a 10' building line on the opposite lot line of the patio lot. Side yard setbacks on corner lots shall be ten feet (10') for patio lots and 60' - 70' lots, and fifteen feet (15') for 75' - 90' lots. Corner lots which are entirely adjacent to a landscape reserve will not be required to meet the additional corner lot side yard requirements set forth in this Section 3.2.

The rear building setback lines are equal to the width of the utility easement or ten feet (10') (whichever is greater) for interior lots, and twenty feet (20') for lots on the golf course.

Detached garages shall be set back no closer than three feet (3') from the side property line when allowed by deed restrictions.

Prior to the placement of any forms, builder should review the recorded final plat for the specific lot to verify all setback requirements.

Custom Lots: Front setback lines are varied (25' - 30') for lots of 95' width or greater to provide a more appealing street scene. Check the recorded plat to verify required setbacks.

The minimum side setback lines on interior lots are ten feet (10'), with fifteen feet (15') required at corner lots. Side setback lines for lots

adjoining the golf course are staggered to create view windows of the course from the street and other lots. Side lot setbacks at golf lots vary between seven and one-half feet (7.5') and twelve and one-half feet (12.5') (see plat for required setbacks at specific lots).

The rear building setback lines are equal to the width of the utility easement or ten feet (10') (whichever is greater) for interior lots, and twenty feet (20') for lots on the golf course.

Prior to the placement of any forms, builder should review the recorded final plat for the specific lot to verify all setback requirements.

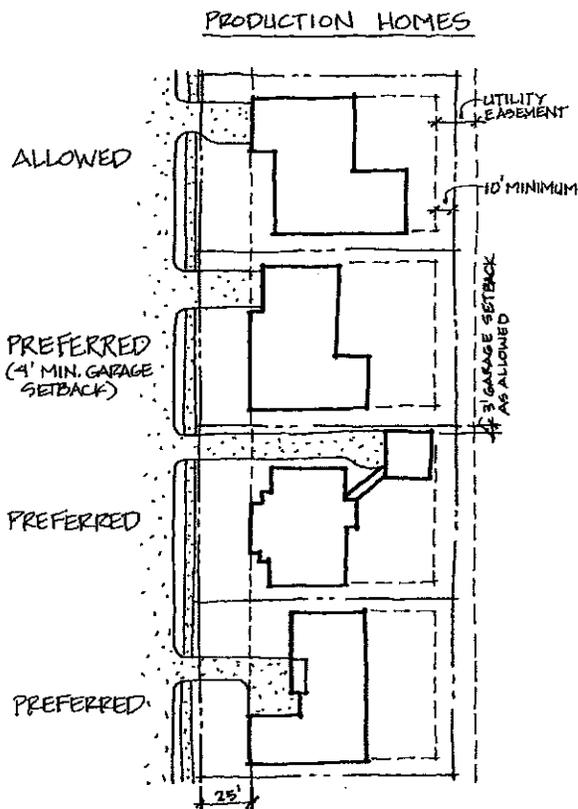
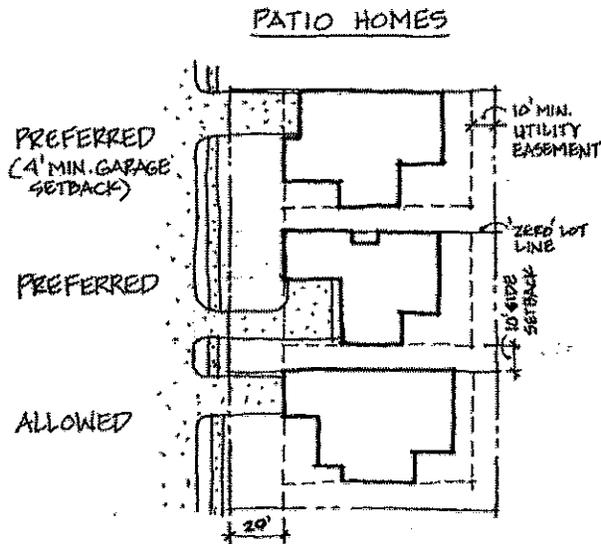
BUILDING SETBACKS				
Lot Width	A Front	B Interior Side	C Corner Side	D Rear (see
Patio	25'*	0' one side	10'	10'
Patio	25'*	0' one side	10'	20'
60' - 70'	25'*	5'	10'	10'
60' - 70'	25'*	5'	10'	20'
75' - 90'	25'*	5'	10'	10'
75' - 90'	25'*	5'	15'	20'
95' +	25'/30'**	10'	15'	10'
95'+	25'/30'**	Varies	15'	20'

* 25' to the living area, and 29' to garage is preferred but not required

** Front building line varies between 25 and 30, see recorded plat for each lot's specification. Garages are required to be set back a minimum of 4' from the front line of the house.

*** The rear setbacks given are a minimum. Anywhere where a Utility Easement encroaches farther onto a lot the edge of the UE will be the rear building line.

3.3 Typical Interior Lots / Site Layout



Minimum building setback lines are established by the City of League City's Subdivision Ordinance and additional requirements are as described in Section 3.2. Builder should check the recorded final plat for all setback requirements. The setback lines may vary as to recorded plat

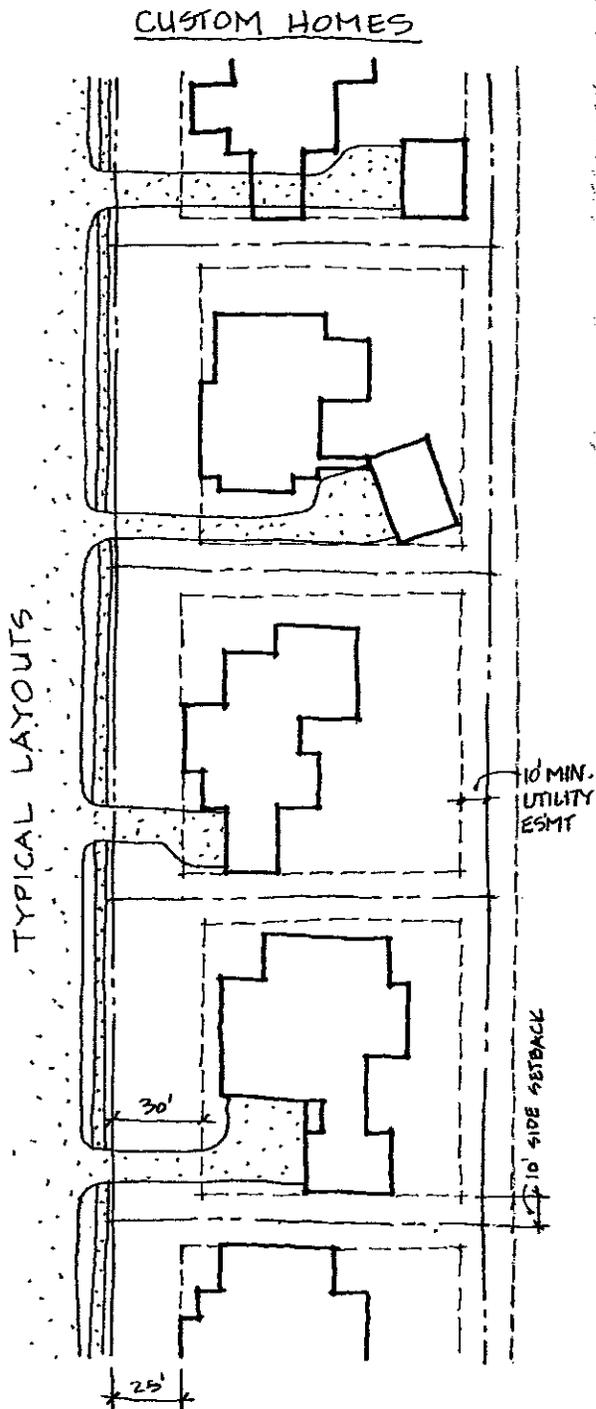
Patio home lots: Patio homes must be built on property line (zero lot line) on one side and ten feet (10') minimum off the opposite property line. The front setback line is typically twenty feet (20'). A minimum setback of twenty-four feet (24') to the face of the garage is encouraged, but not required.

Whenever a "swing-in" or attached side loaded garage occurs, the garage may be set back twenty feet (20') from the street right-of-way. The driveway must be screened from the street with a low evergreen hedge (maximum height 3') and the wall of the garage parallel to the street must have windows, windows with shutters, or some type of architectural articulation other than an unadorned, blank solid wall.

A forty-eight inch (48") access easement for the purpose of roof overhangs and maintenance of the adjoining residence is included in the ten foot (10') patio side building setback.

The rear building setback line is ten feet (10') or equal to the width of the utility easement, whichever is greater.

Detached garages are not permitted on patio home lots.



Production Lots (60' - 90'): Standard single family interior lots typically have a 25' front building setback, and a 5' building setback on each side. A garage setback of four feet (4') from the front building wall is preferred but not required. Where the garage projects beyond the living area, a porch extending a minimum of twenty-four inches (24") beyond the garage is preferred, but not required.

Detached rear garages have a 3' side setback (only where allowed by the deed restrictions) and ten foot (10') rear setback. If the rear utility easement is greater than ten feet (10') the minimum rear setback line is equal to the utility easement. Encroachment with residential structures and garages is prohibited in utility easements.

Enclosed parking for a minimum of two cars, vans or pickup trucks is required for every lot.

Custom Lots (95' +): Custom lots typically have a twenty-five foot (25') front setback, with selected lots having a thirty foot (30') front setback in order to vary the front building lines and create a more pleasing street scene. A garage setback of at least four feet (4') from the front building wall is required. Typical side setbacks on interior lots are ten feet (10').

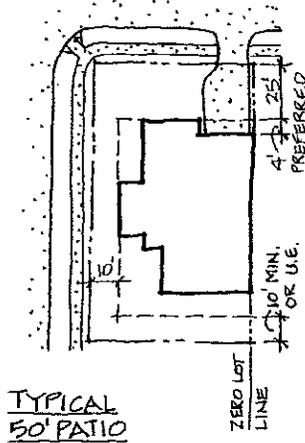
The rear setback is ten feet (10'), except where the rear utility easement is greater than ten feet (10'). In this case the minimum rear setback line is equal to the utility easement. Encroachment with residential structures and garages is prohibited in utility easements.

Enclosed parking for a minimum of two cars, vans or pickup trucks is required for every lot. Detached garages are required to adhere to the same building setbacks as described above, in Section 3.2, and on the recorded plats.

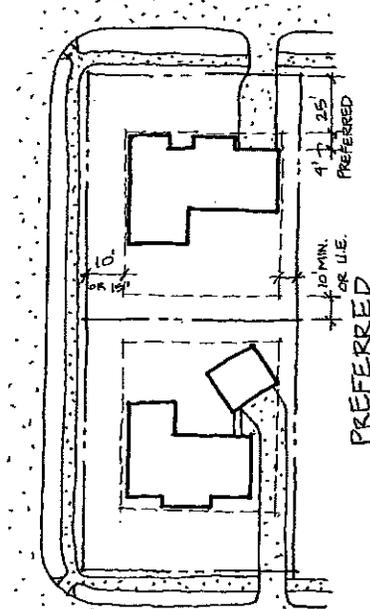
3.4 Site Layout Restrictions/ Corner Lots

Minimum building setback lines are established by the City of League City's Subdivision Ordinance and additional requirements are as described in Section 3.2. Builder should check the recorded final plat for all setback requirements. The setback lines may vary as to recorded plat.

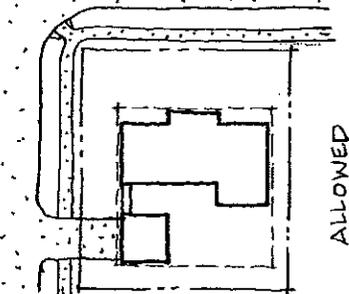
(Note: For restrictions on garages on corner lots see Section 3.11. For restrictions on driveways on corner lots see Section 3.9. For special landscaping requirements at corner lots see Section 5.6.)



TYPICAL
50' PATIO



PREFERRED



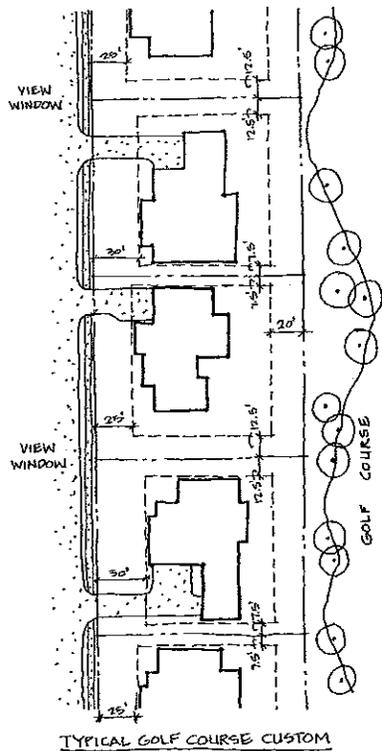
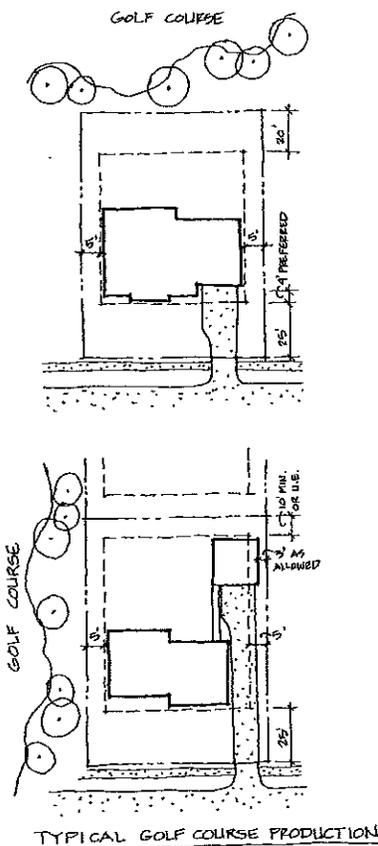
ALLOWED

TYPICAL PRODUCTION
CUSTOM & GOLF COURSE SIMILAR

Patio home lots: The ten foot (10') side setback shall be on the side adjacent to the corner. On some lots, a ten foot (10') side setback may be required on both sides if the side opposite the corner is adjacent to the "zero lot line" of the next lot.

Production Lots (60' - 90': Lots siding on standard interior street corners have a ten foot (10') building line on the side facing the corner and a five foot (5') building line on the interior lot side. Corner lots seventy-five feet (75') or greater shall have a fifteen foot (15') building line on the side facing the corner. Lots that are adjacent to a landscape reserve will be allowed to use a five foot (5') side setback on the side abutting the reserve.

Custom Lots (95' +): Lots siding on standard interior street corners have a fifteen foot (15') building line on the side facing the corner and a ten foot (10') building line on the interior lot side. Lots that are adjacent to a landscape reserve will be allowed to use a ten foot (10') side setback on the side abutting the reserve.



3.5 Site Layout Restrictions/Golf Lots

Lots adjacent to the golf course are to be developed to derive full potential of open space and views of golfing activities. Therefore, the residences and grounds should be equally pleasing when viewed from the golf course.

Design consideration for buildings, site layout and landscape planting should be addressed to protect against the possibility of errant golf balls. Special attention should be given to size and type of glass on rear yards at the edge of the golf course. Strategic siting and tree planting can be accomplished for additional safeguards.

Design consideration should also be given to the placement and screening of mechanical equipment. HVAC units should be placed on the side of the house, and should be screened with shrubs or fencing so they are not visible from the golf course.

In order to establish the character of the neighborhood and preserve the integrity of the open space amenities, certain restrictions must apply.

For all lots where the rear is adjacent to the golf course or a neighborhood park or recreation center, a detached garage is not allowed. However, when the side of a lot is exposed to the golf course or other green space, a detached garage may be allowed provided that the garage is on the side of the lot opposite the amenity.

Custom Lots (95' +): The custom lots adjacent to the golf course contain alternating side lot lines where the setback on either side of lot lines varies from seven and one-half feet (7.5') and twelve and one-half feet (12.5'). This is intended to create 'view windows' from the street and interior lots, helping to develop a more pleasing street scene. All pool and mechanical equipment must be placed on the side of the house containing the smaller side setback (see recorded plat for lot setbacks on specific lots). For more information on the fencing and landscaping requirements at these view windows see Sections 3.14 and 5.5.

3.6 Lot Coverage

Lot coverage is identified by buildings, driveways, patios, and other structures. For the purpose of calculating lot coverage, pools, spas, and decks are not considered structures. A limit on lot coverage is necessary in order to preserve an adequate amount of open space and landscaped areas throughout the development, as well as maintain the desired character of individual neighborhoods. Lot coverage shall not exceed the percentages identified below.

Lot Width	Lot Coverage
Patio Lot	70%
60' - 90' Production Lot	60%
95' Custom Lot	50%

3.7 Sidewalks

Sidewalks are to be constructed by the builder within public street rights-of-way frontage and along both sides of streets. The illustrations show minimum design standards. All sidewalk construction is to meet or exceed City of League City and Galveston County standards. All walks must be constructed in a consistent, workmanlike manner.

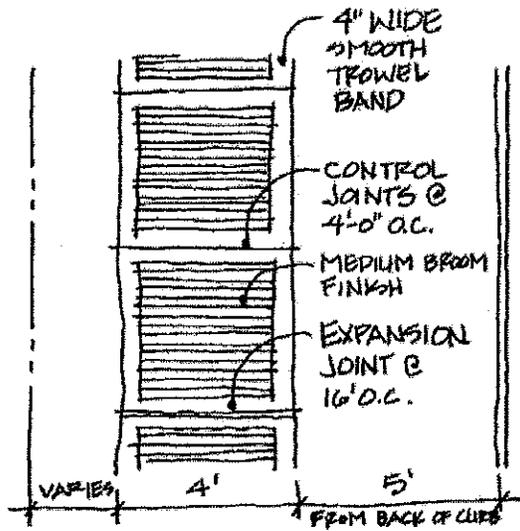
Locations of sidewalks are not to be varied except where required to avoid specimen trees or fire hydrants. Sidewalks should be located five feet (5') from the back of the curb parallel to the walk.

Gentle radii instead of abrupt curves and angles are required for transitions and around existing trees.

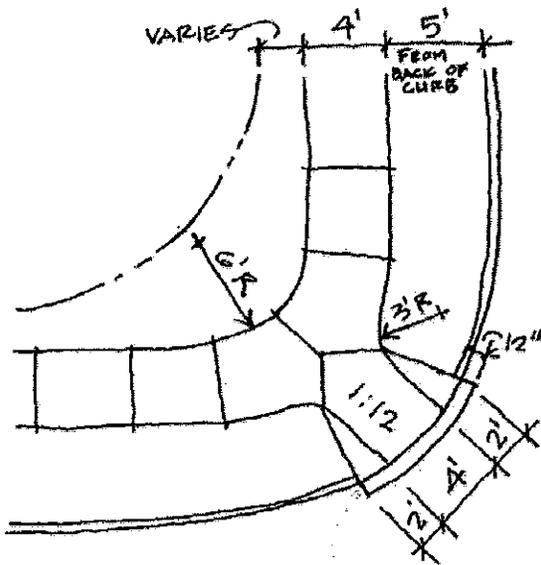
Minimum construction requires sidewalks to be 4" thick over a sand base and meet City of League City standards. No cold joints are permitted.

Where sidewalks cross driveways with decorative paving, the standard sidewalk design does not have to be carried through the driveway.

Best efforts shall be made to match sidewalk elevations with the existing manhole and valve box elevations. If adjustment of the heights are required builder shall notify the developer seventy-two (72) hours prior to sidewalk construction. Builder will be responsible for any or all modifications if required.



SIDEWALK DETAIL



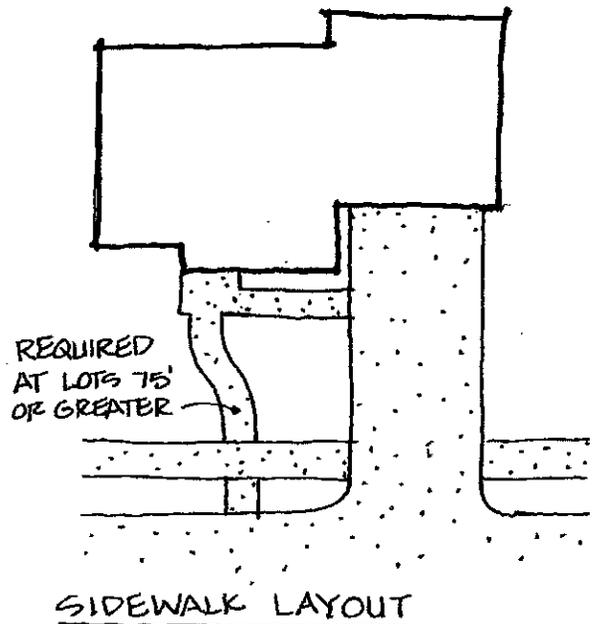
SIDEWALK PLAN

3.8 Walkways

Walkways should be a complementary component of the site architecture and should not compete visually with the house and/or landscape.

- A walkway at least three feet (3') in width and no more than six feet (6') in width shall be provided from the front door of the residence to the street curb or the driveway. In addition, a broad landing, not to exceed the width of the porch, may be allowed at the front door.
- On all lots, a short walk extending from the front entrance to the driveway is preferred.
- On lots 60' to 70' in width, when a walkway extends from the front entrance to the street, a curvilinear walkway with four foot (4') offsets is preferred, but not required. For production lots 75' wide or greater and all Custom lots, curvilinear walkways are required between the front entrance and the sidewalk. The walkway should compliment the architecture.
- A walkway is encouraged to extend beyond the sidewalk to the street.
- For Custom lots 95' or wider, walkways shall be constructed with unit masonry, quarried stone, interlocking paving, stamped concrete or concrete. The use of alternate materials shall require the approval of the ARC. Asphalt walkways are prohibited.
- In those instances where a walkway closely parallels the front elevation of a house, a planting area (minimum four feet (4') in width) must be maintained between the house and walkway. In such cases, the planting area shall be planted per the requirement detailed in Section 5.

- Steps at elevation change are required on walkway slopes exceeding four percent (4%).
- Fountains and statuary within the walk and front yard and meandering walkways require ARC approval.



3.9 Driveways

Builder is required to build the driveway into the street right-of-way. Concrete driveways are to be a minimum of four inches (4") thick over a sand base. A #6 6x6 woven wire mesh shall be installed within the concrete portions of the driveway. Expansion joints between the curb and driveway are required as illustrated. A thickened 'beam' shall be located at the end of driveways adjacent to the curb, and shall extend under the curb a minimum of six inches (6").

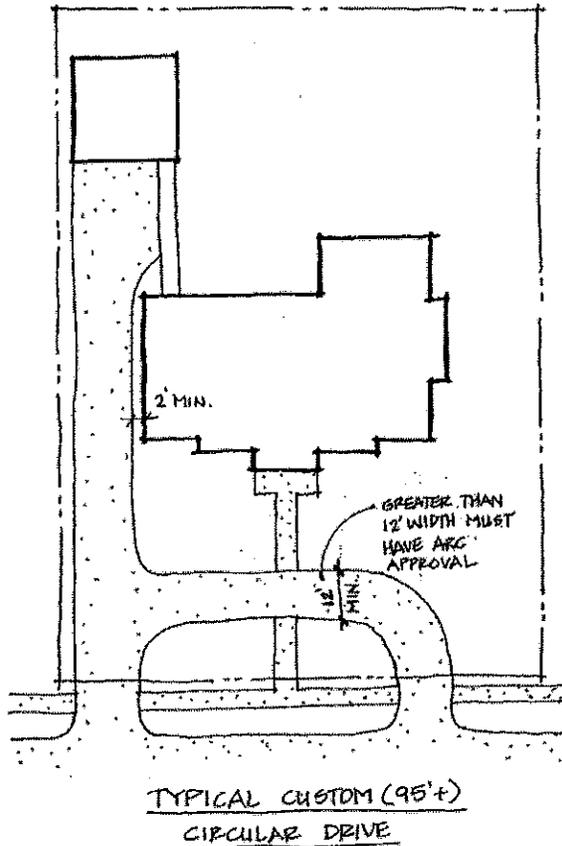
It is intended that all driveway locations will have "drive-over" curbs, but where barrier curbs exist, saw cut into existing street eighteen inches (18") and dowel into existing concrete paving.

Construction of all driveways is to meet or exceed City of League City standards.

Driveways must cross the building setback area in a straight line and perpendicular to the street right-of-way. To the extent possible, driveways are to be de-emphasized, highlighting instead the landscape and pedestrian environment. Driveways should be set back at least two feet (2') from the side property line.

Turnaround or circular drives are not allowed except on lots having widths of 95' or greater. No turnaround or circular driveways will be permitted on corner lots. Turnaround or circular drives are not allowed on adjacent lots. Under no circumstance may an entire front yard be paved as a driveway. The "turnaround" portion may not be wider than twelve feet (12') without ARC approval. Low evergreen hedge or shrubs with a maximum height of three feet (3') are required in order to screen the paved areas from the street.

Driveways and garages must be placed near the property line farthest from the entry street when a lot sides onto a neighborhood entry street or collector/ loop street.



Driveways serving attached two-car garages facing the street shall be no greater in width than twenty-two feet (22') where they cross the street sidewalk.

Driveways serving attached three-car garages facing the street shall be no greater in width than twenty-two feet (22') where they cross the street sidewalk, but may then 'flare' to thirty feet (30') to accommodate the third bay. This 'flare' must occur within eighteen feet (18') of the garage.

Driveways serving attached, side-loaded garages must be a minimum width of ten feet (10') and a maximum width of sixteen feet (16') where they cross the street sidewalk, and may then 'flare' to the width needed at the garage.

Driveways serving residences with detached garages shall be a minimum width of ten feet (10') and a maximum width of sixteen feet (16') where they cross the street sidewalk, and may then 'flare' within within eighteen feet (18') of the garage to accommodate the number of bays in the garage. Driveways may flare to a maximum width of thirty feet (30').

Driveways should not be constructed over inlets or manholes. In instances where this may be unavoidable, compliance with City regulations that may require inlet adjustment and/or upgrade may be necessary.

Use of stamped and/or colored concrete, interlocking pavers, concrete with brick borders, or exposed aggregate concrete paving is required on 95' or larger lots.

3.10 Garage Placement, Interior Lot

The placement and design of garages and driveways has the greatest effect on the overall street scene. To the extent possible, garages are to be de-emphasized, highlighting instead the landscaping and the pedestrian environment.

Detached garages in rear yards are preferred except for golf course lots and lots adjacent to parks and recreation centers. A street scene with the emphasis on residences instead of garage doors and driveways is the design intent.

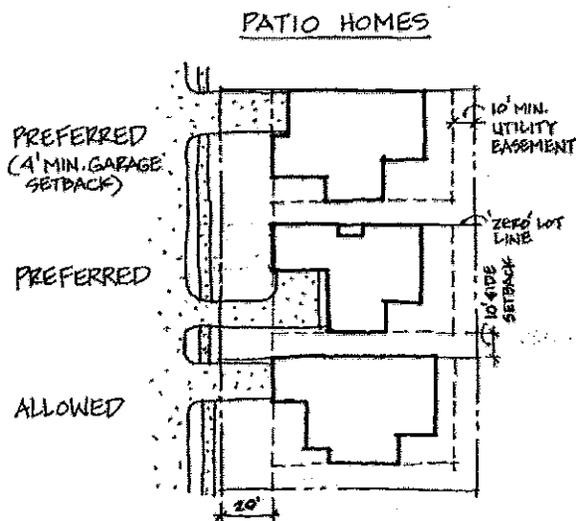
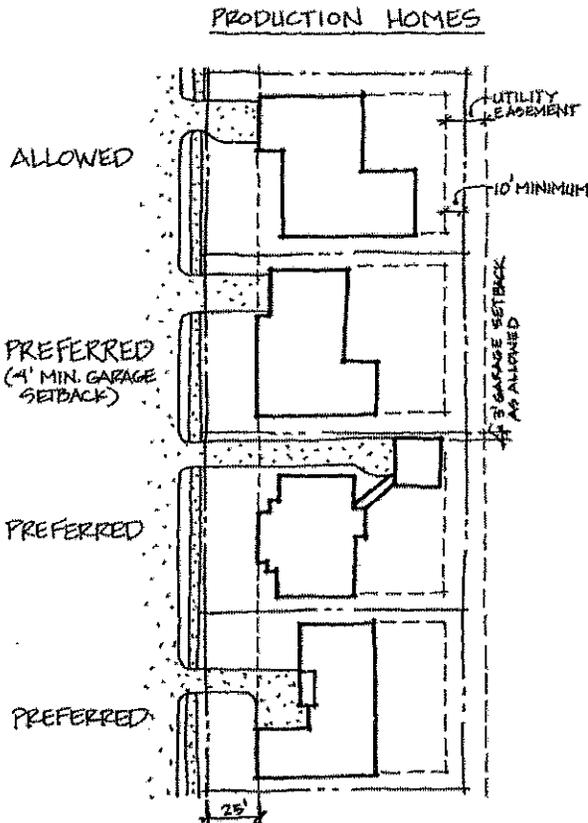
When the side of a lot is exposed to the golf course, a neighborhood park, or a recreation center, and the rear of the lot is not exposed to the green-space amenity, a detached garage may be allowed provided that the garage is on the side of the lot opposite the amenity.

An attached side loaded garage in the front is allowed. Attached side or front loaded garages are acceptable, but care should be taken to keep the design from being too massive in appearance and appropriate setbacks must be obeyed. Side loaded attached garages are acceptable if mixed with other types and are not all loaded from the same side. Windows with blacked out glass, shutters or blinds, or architectural embellishment other than a solid wall, soften the effect of the garage and are required.

Side loaded detached garages protruding from the front elevation of the residence are permitted.

Front loaded attached garages that are recessed from the major front façade of the house diminish the effect of the garage on the street scene. A minimum four foot (4') setback from the major facade of the house provides relief and is required on lots 95' wide and greater. This setback is encouraged, but not required, on other lots.

Carports are not permitted unless approved by the ARC. Porte cochere's are permitted with ARC approval.

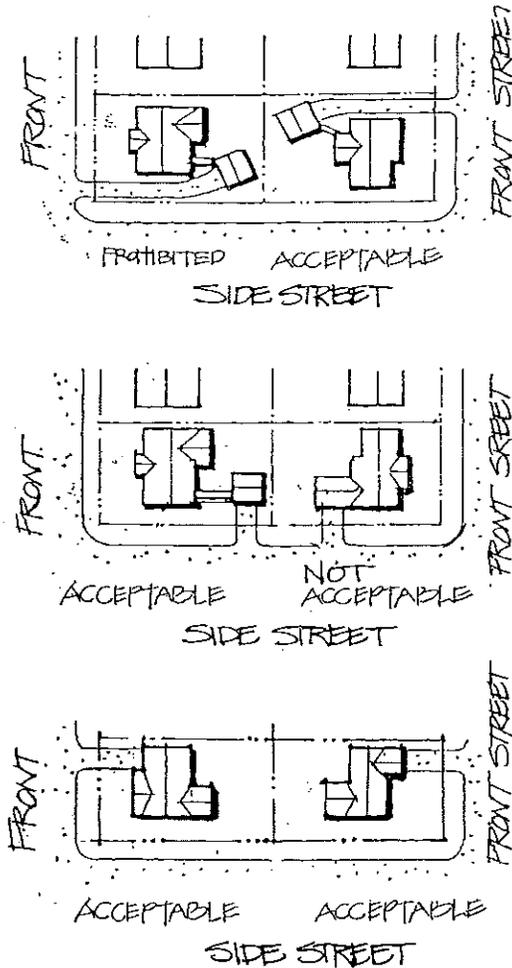


3.11 Garage Placement, Corner Lot

Attached garages located on the side street of corner lots are not permitted. Detached garages located on the side street of corner lots are permitted, but must be set back twenty feet (20') from the property line.

Detached garages on the interior lot side of corner lots are also acceptable.

Detached garages on the corner side with driveways extending from the front street are not permitted.



3.12 Pools, Spas and Decks

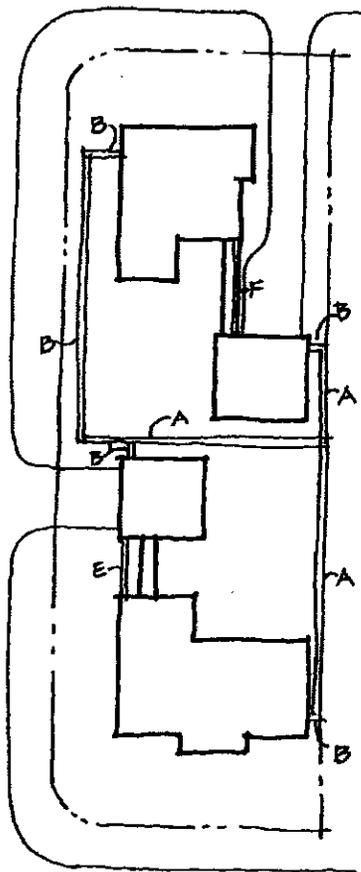
Portable or permanent above ground swimming pools are prohibited. Smaller prefabricated, installed above the ground, spas or hot tubs are acceptable. Above ground spas or hot tubs, visible from public view or from other lots must be skirted, decked, screened or landscaped to hide all plumbing, heaters, pumps, filters, etc.

Privacy screen fencing for pools or spas on golf course lots must be set back a minimum of 30' from rear property lines and must not exceed 40 feet in length parallel to the rear property line. All screen fencing must be landscaped on the side facing the golf course or park with a continuous evergreen hedge selected from the approved plant list. Maximum privacy screen height is not to exceed 6'-0" above existing grade. Screening material must be masonry wall (compatible with the residence), wood fence with finished side out, or other screening material approved by the ARC. (See section 3.14 for more detail on privacy fencing.)

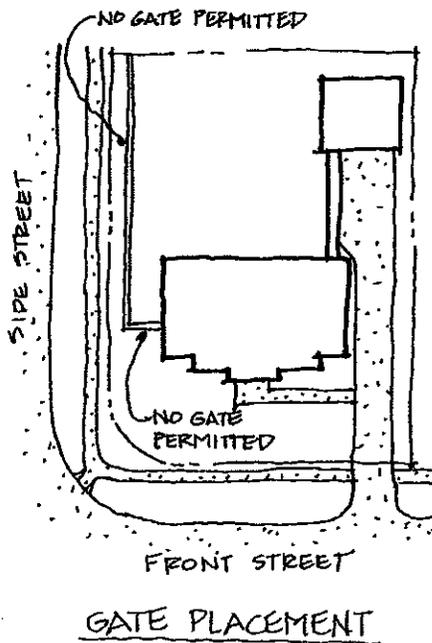
Swimming pool appurtenances such as rock waterfalls and sliding boards must not be over six feet (6') in height. Skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc. must not be visible from public view. On 95'+ lots adjacent to the golf course, pool equipment may not be placed in the 'view window' described in Section 3.2.

Pool walls shall not encroach on utility easements. If pool plumbing is required in utility easements, contact the proper utility coordinating agencies and the City of League City before digging. Wood or concrete pool decks may be placed on utility easements, but are subject to removal by utility companies at the expense of the homeowner.

3.13 Fences, General



TYPICAL FENCE TYPES



Fences are only to be constructed of wood, iron or masonry - material is dependent on location within the community. All bents on wood or steel fences are to be a maximum of eight feet (8') wide, and all bents on masonry fences are to be a maximum of ten feet (10') wide. If there is only one "finished" side, it must be the public side. The fence is to be installed using quality materials and standard construction techniques. Diagonal and horizontal fencing is strictly prohibited. No chain link is permitted. Corner lot fences, and fences between lots paralleling the fronting street, must be installed with the finished side out. To insure compatibility of fence design throughout the community, all wood fences visible from the public street that depart from the provided illustration must be approved by the ARC.

Setbacks: A minimum fence setback of five feet (5') from the front elevation of the house is required, but in no instance shall mechanical equipment such as air conditioner units and heat pumps be allowed to be seen from the street or public view. No front yard fencing is allowed without ARC approval.

Corner Lot Fencing: For side yards of corner lots facing the street, a minimum setback of five feet (5') from the property line to the fence is required so that a planting strip may be installed between the sidewalk and the fence. This helps relieve the visual monotony of lengthy expanses of fences. All trees and shrubbery adjacent to the sidewalk must be maintained. Trees close to the sidewalks must be limbed up to a height of seven feet (7') in order to allow for unobstructed pedestrian movement.

On all fences facing the side street of corner lots, the fence must be a six foot (6') capped rail wood fence (Type B) with the good side towards the street. A gate is not allowed on this side. A gate is not permitted on the front facing fence adjacent to the side street. On a side entry detached garage

on corner lots, a five foot (5') capped rail wood fence (Type B2) is required along the breezeway with the good side facing the street. A five foot (5') high wood gate is permitted along the breezeway fence. A brick breezeway fence (Type E) is also permitted (brick to match the house) between the house and the garage. A five foot (5') high wrought iron gate must be installed on a brick fence. Wood gates on brick fences are not allowed. On corner lots along the golf course and for corner lots in sections other than patio home lots, an upgraded wood fence with cap rail is always required where specified on the lot.

Other Breezeway Fencing: On all lots with detached garages, a breezeway fence is required between the detached garage and the home. This fence must be a minimum of four feet (4') in height and a maximum of six feet (6') and may be constructed of wood (Type B2) or brick (Type E). If constructed of wood, the good side of the fence must face to the outside and the gate must be of the same material. If constructed of brick, the brick color must be the same as the home and the gate must be made of wrought iron.

Patio Home Fencing: All patio homes shall have six foot (6') solid brick fencing down the zero foot (0') side lot line from the house to the rear property line. A brick fence shall extend between houses parallel to the fronting street, and shall be set back a minimum of five feet from the front line of the houses. A steel or iron gate (maximum of 3' wide) may be placed in this fence to allow access between the front and side yards. Brick fencing shall match the brick of the house.

Custom Home (95'+) Fencing: All custom homes shall adhere to the standard fencing guidelines, except where 'view windows' occur at golf course lots. On golf course lots, any side lot setback greater than ten feet (10') is intended to enhance views from the street, and all fencing between the house and this lot line is required to be four foot (4') steel fence (Type D). Wherever an evergreen hedge is planted along the steel fence, the height may not exceed three feet (3').

Major Thoroughfare Fencing: On rear property lines adjoining collector streets or major thoroughfares, a six foot (6') masonry fence (Type G) is required along the entire rear property line. On side property lines adjoining collector streets or major thoroughfares, a six foot (6') masonry fence is required along the side lot line, beginning fifty feet from the front property line. For purposes of this section, Brittany Bay Boulevard and Bay Area Boulevard are considered major thoroughfares, and any other street (or section of street) that does not have lots 'fronting' on it is considered a collector.

Fence Types	
A	6' Standard Wood Fence
B	6' Upgraded Wood Fence w/ Cap Rail
B2	5' Upgraded Wood Fence w/ Cap Rail
C	6' Double Sided Wood Fence
D	4' Steel or Wrought Iron Fence
E	5' Brick Fence / Steel Gate (brick to match house)
G	6' Brick Fence to match Magnolia Creek subdivision standard

3.14 Fences on Golf Course Lots

Golf Course lots shall have a four foot (4') high wrought iron fence (Type D), constructed in strict accordance with the builder guideline specifications, along the rear property line. The wrought iron fence shall continue on common side lot property lines between lots to extend from the corner of the rear property line towards the front property line for 30 feet (30'), then transition to the standard six foot (6') high good neighbor wood fence to the front property line. The transition from the four foot (4') steel fence to the six foot (6') wood fence shall be made by sloping one bent of the wood fence from four to six feet. This bent shall be a full eight feet (8') long, and the top of the boards should be cut after installation to achieve a straight line along the transition.

An exception to the thirty foot (30') wrought iron side lot fence requirement would be if this distance would expose the side of the home causing a lack of privacy. In such case, the wrought iron fence along the side lot line would extend from the rear property line to the rear corner of the home, and then transition to the standard wood fence as described above.

On homes adjacent to a side street or public area, the side lot line on the corner side of the lot will not have a thirty foot (30') iron fence return. Instead, the fence type required along the side lot line (Type B or Type G) will continue to the rear lot corner.

Due to the golf course being a public facility and not the property of the developer, as well as the safety factors involved, gates are prohibited for golf course lots.

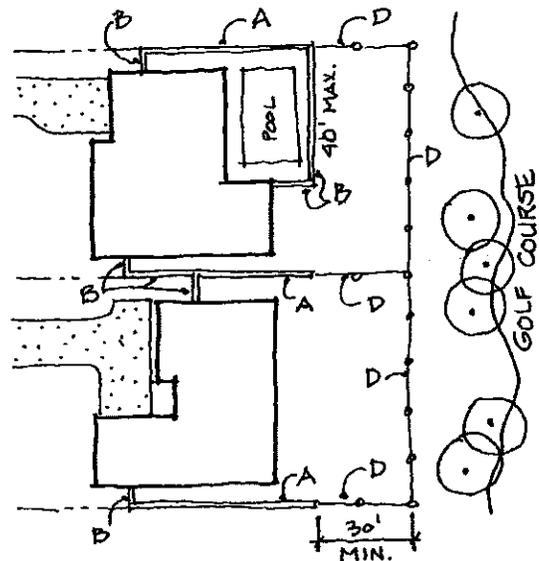
Wherever an evergreen hedge is planted along the wrought iron or tubular steel fences, the height may not exceed three feet (3').

At custom lots (95'+), some lot setbacks exceed ten feet (10') to create view windows. On side lot lines at golf course lots containing a side setback greater than ten feet (10') the four foot (4') steel fence is

required along the back of the lot, along the entire side lot line between houses, and along the front fence line between houses. No pool, HVAC, or other equipment may be placed in this side setback area, and planting in this area may not exceed three feet (3') in height.

If a privacy screen is desired, a six foot (6') wood-fence, or approved masonry wall, will be permitted to extend parallel to the rear lot line at a distance of no less than thirty feet (30') from the rear lot line of the lot. The wood fence must be an upgraded wood fence with cap rail, and can be a maximum of forty feet (40') long. When a privacy screen occurs at custom lots (95'+), the screen may not occur in side setback areas greater than ten feet (10') wide.

When a steel or wrought iron fence meets a wood fence or brick fence, the metal fence may not be attached to the wood or brick fence. The metal fence is to be terminated with a 3" post adjacent to other fence.

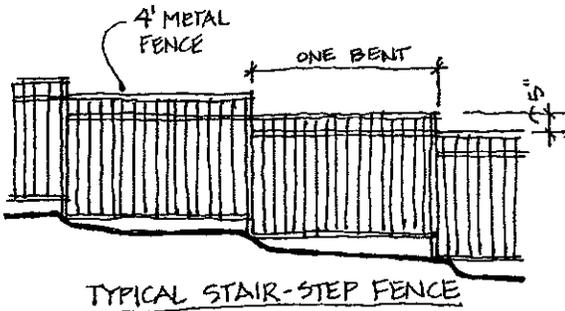


TYPICAL
FENCE AT
GOLF COURSE

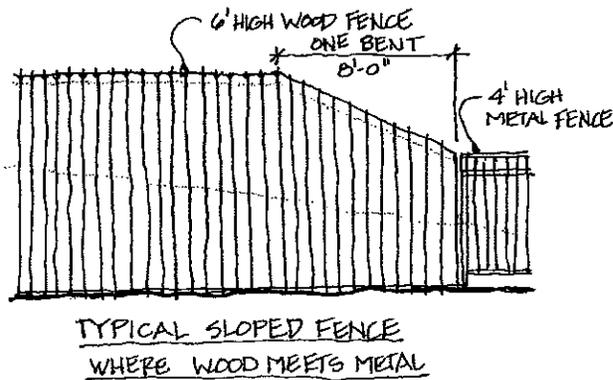
(DO NOT RETURN
METAL FENCE AT
CORNER LOTS)

3.15 Fences on Slopes

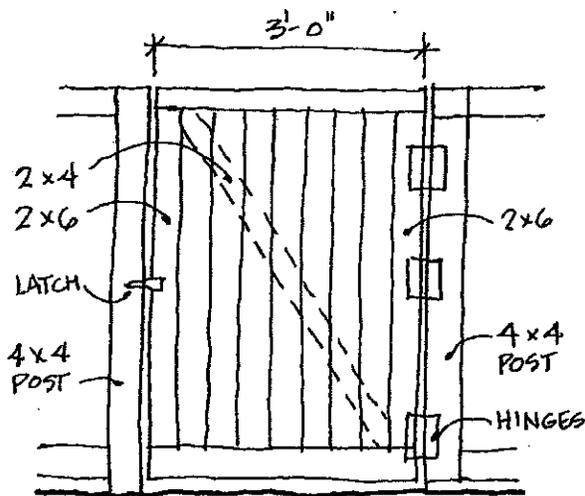
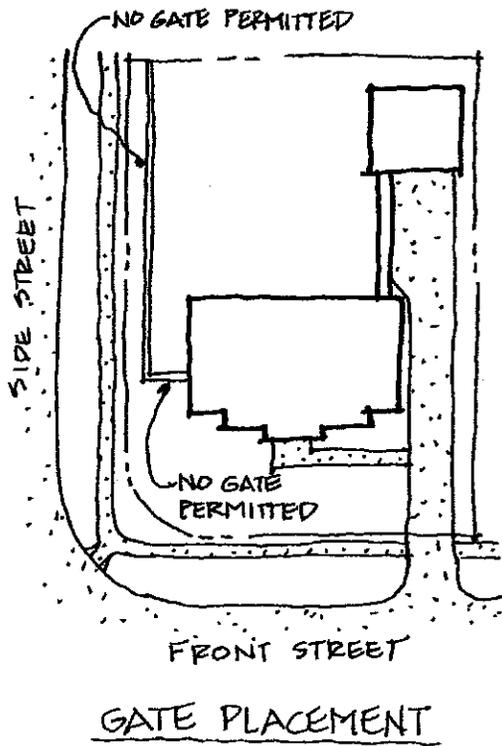
The preferred approach to transition grade changes with fencing is to stair-step the fence down the slope, with each bent being level. Each step should be a minimum of three inches (3") and a maximum of six inches (6").



Sloped fence tops should be used in two instances. At golf course lots, when the steel fence (Type D) transitions to the wood fence (Type A) at side lot lines, the transition should be made by sloping a full eight foot (8') long bent from four to six feet. The pickets at this bent should be cut after installation to generate a continuous, straight slope from four to six feet.



Fences facing the street between houses will also be allowed to slope along the contour created by "built-up" building pads. The top of these pickets should be cut in a straight line, and an upgraded cap rail should be used at these fences (Type B).



TYPICAL WOOD GATE



TYPICAL CAP DETAIL

3.16 Wood Fences

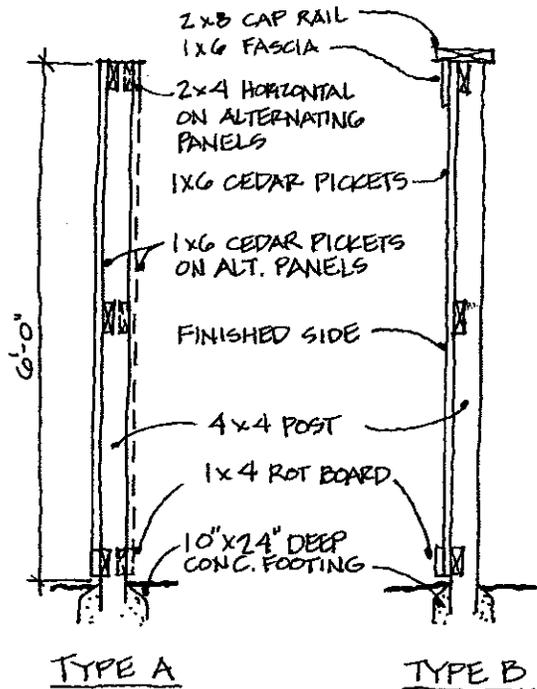
All wood fences are to be constructed with #2 cedar 1x6 pickets and #2 treated southern yellow pine posts and rails. No paint, stain or sealer of any type may be applied to wood fences.

Wood fences on common rear lot lines and common side lot lines shall be Type A (see chart at Section 3.13 for fence types at each location). Alternating eight foot panels of solid pickets and exposed rail are intended to provide a uniform, attractive fence to each abutting property.

The 'finished' side of the fence must always be the side exposed to public view.

One single sided three foot (3') wide hinged gate shall be installed in the most appropriate side yard. Gates are not permitted on a fence located along a side street, or in a front facing fence on the side of the house adjacent to the side street.

Fences are to be kept in good repair.



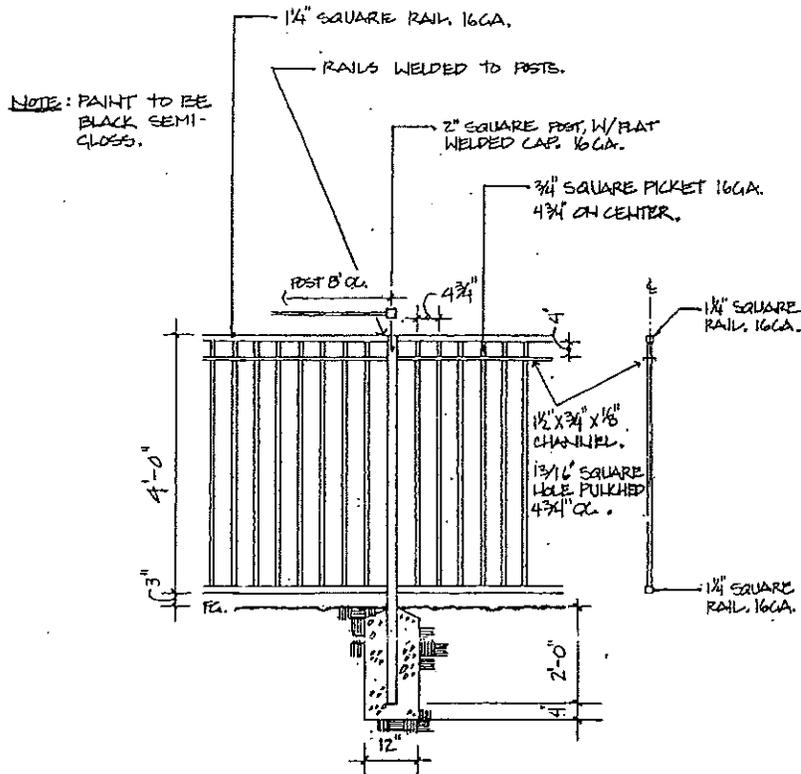
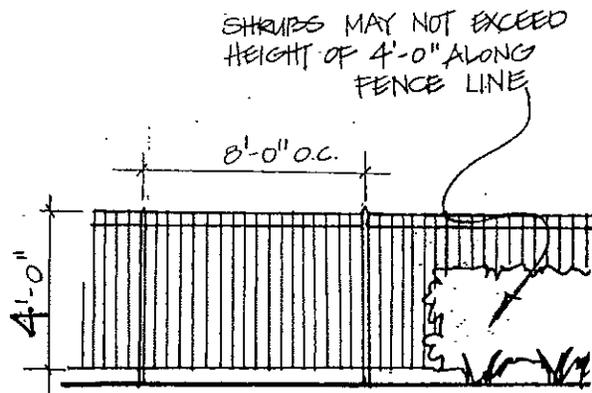
3.17 Steel or Wrought Iron Fences

Steel or wrought iron fences are to be installed as to the design standards illustrated. Steel or wrought iron should be primed and painted semi-gloss black.

Set steel or wrought iron posts in concrete footings.

Steel or wrought iron fencing can not be attached to wood fences, or brick fences along major thoroughfares and collectors (Type G). In these situations, the steel fence is to be terminated with a three inch (3") square post adjacent to the wood post.

No materials (i.e. screening, wire mesh) shall be attached to steel or wrought iron fences. No barriers or materials shall be placed under, or attached to the bottom of, steel or wrought iron fences.



4.0 ARCHITECTURE

4.1 General

The following guidelines are not intended to limit creativity of the builders in their design or construction.

The intent of this section is to establish basic design criteria for the construction of residences and other structures within Magnolia Creek. Emphasis is on quality materials, design and construction in order to promote well crafted residences within the various residential cells. The house footprint and the roof form should work together to provide variety and interest when viewed from the street and across the golf course. These guidelines allow for diversity in design and should produce a climate of individuality, while ensuring the architectural integrity of the community as a whole.

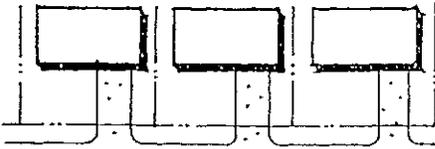
Magnolia Creek's residential cells are designed to promote "street scenes" that are aesthetically pleasing in character and reflect the feeling of a neighborhood. Developing a "street scene" requires builders to coordinate their architectural designs, as well as landscaping styles, in a manner that displays street and neighborhood individuality while maintaining a certain level of continuity throughout the development. The purpose of this section is to identify those elements that will influence the overall neighborhood appearance and street character.

The builder/owner shall be responsible for individual site development and maintenance including the area within the public street right-of-way (between the back of the street curb and property lines). The builder/owners of corner lots shall be responsible for the right-of-way for both streets.

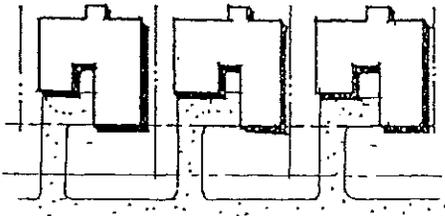
Each builder/owner shall also be responsible for street cleaning and trash pickup on the adjoining lots and areas where homes are being constructed.

4.2 Massing and Plan Criteria

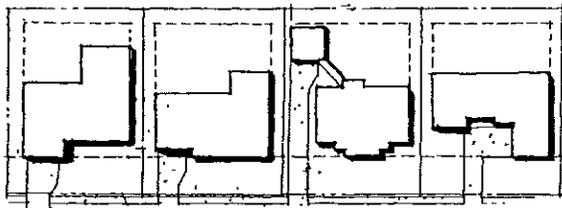
UNACCEPTABLE



UNACCEPTABLE



PREFERRED



Where possible, corner lots in single family, detached developments are to be single story, or single story elements of 2-story residences are to be placed nearest the corner. Where a “U”-shaped plan has a short and long side, the short side should be toward the corner.

Where a single story occurs next to a 2-story residence, the common single story elements should be adjacent to each other.

Varied arrangements on the site result in more interesting street scenes. More pleasing arrangements are achieved with a variety of articulated plans which break the rectangular box into interesting three-dimensional shapes with courtyard-like spaces in and around each house. Where “swing-in” attached front loaded garages occur, the street scene is made more attractive with the combination of right and left hand units.

Imaginative plan geometry, as well as complimentary roof forms, is desired and increases the sense of individuality, while creating an interesting streetscape.

4.3 Exterior Elevations

The same criteria for breaking of the “shoebox” shape of a plan applies to the elevations. All single-story houses should include some variation of the ridge line.

Unless site conditions dictate otherwise, when a one story residence occurs next to a two-story residence, the single story elements should be adjacent to each other.

Priority should be given to those sides of the house which are visible from streets and walkways. The most articulated elevations should be those which are in public view. However, it should be assumed that the houses will be seen from all angles and that there will be a continuity of materials and details on all elevations.

Recessing a garage a minimum of four feet (4') from the front of the residence is encouraged at patio and production lots, and is required at custom (95'+) lots. Two doors in lieu of the larger single door are preferred. Corner lot garages facing the side street are required to have two doors.

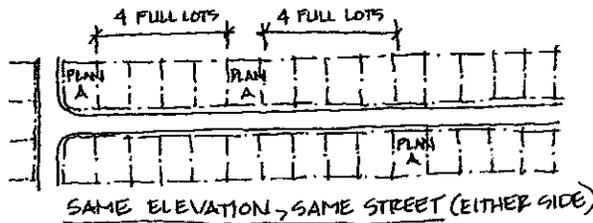


4.4 Elevation Repetition

Location of floor plans and front elevations should be carefully reviewed to avoid excessive repetition in the street scene. The intent is to avoid the negative “lookalike” effect of frequent repetitions, but still allow sufficient latitude in satisfying market demand.

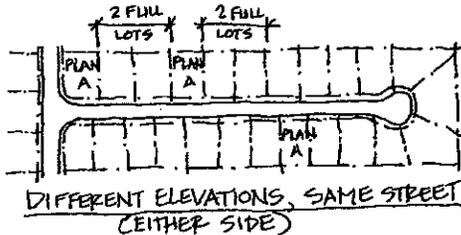
Same Elevation, Same Street (either side)

Must not occur more frequently than every fifth lot. Thus, at least four other homes must occur between the next repeated floor plan with a same front elevation. Brick color must also be different.



Different Elevation, Same Street (either side)

Must not occur more frequently than every third consecutive lot. Thus, at least two other homes must occur between the next repeated floor plan with a different front elevation. Elevations must be distinctly different – material changes or minor changes to architectural elements do not constitute separate elevations. Brick color must also be different.



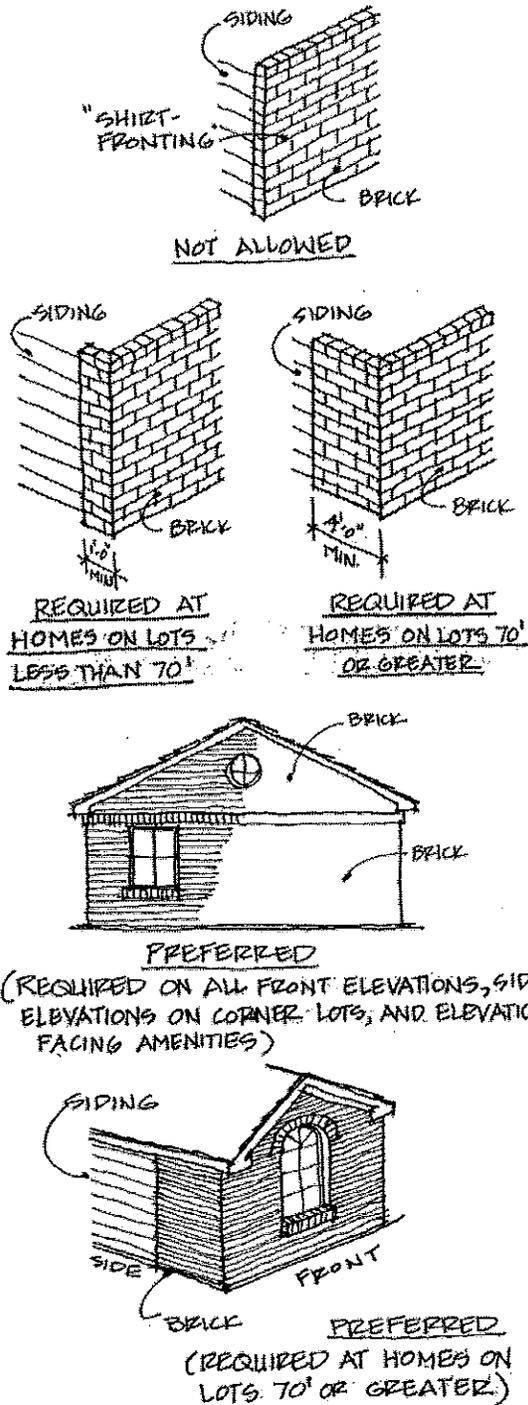
Plans with the same front elevation and same masonry color are not allowed on the same street.

The ARC reserves the right to reject an elevation that closely resembles that of a nearby house or in any way detracts from the overall street scene. Additionally, identical uses in brick color, trim color or siding color is generally prohibited on homes which are adjacent to one another, either on the same street, or sharing a common rear lot line when the side lot line is adjacent to a side street, major thoroughfare or collector, or the golf course or other public green space.

Custom homes may not be repeated within any given section.

4.5 Exterior Materials

Materials should be used with restraint in regard to both color and diversity of material types. The intent is to create a continuity of materials throughout the neighborhood. The number of primary materials on the exterior will be limited to three (3), not including roof shingles and trim and must be approved by the ARC. The following materials are acceptable:



BRICK - Earth tone colors. Bricks shall meet standard specifications established by The Brick Institute of America.

STONE - Natural or synthetic stone in earth tones.

MORTAR JOINTS - All mortar joints shall be tooled; "Slump" joints will not be allowed. Mortar color shall be selected to compliment stone or brick color.

WOOD SIDING (non-man-made) - May be used on custom lots (95'+) only, and must have ARC approval.

HARDBOARD SIDING - Not permitted.

FIBER CEMENT BOARD LAP SIDING - Use Hardiplank or equal.

ALUMINUM or VINYL SIDING - Use is strictly prohibited.

STUCCO - the use of portland-cement plaster/stucco is permitted. Synthetic stucco-like products are strictly prohibited.

ALUMINUM, VINYL, or WOOD WINDOWS - Bronze, mill, or white finish if aluminum.

PLYWOOD SIDING - Prohibited.

GLASS BLOCK - Requires ARC approval.

Samples of all finish materials, manufacturer's name, and colors must be available to the ARC for approval. Soft subdued earth tone paint colors should be used. Bold, primary or unusual colors are prohibited. Each builder is required to submit a color palette to the ARC for approval.

No material change should ever occur on an outside corner. The technique of "shirt fronting" of masonry veneer will not be permitted. Material changes are most successful when made as part of a larger offset; for example, a masonry pier or recessed window. On lots seventy feet (70') and wider, materials must return at least four feet (4') from outside corners. On lots less than seventy feet (70') wide material changes must occur at least one foot (1') from outside corners.

Gable ends of a uniform material tend to be more architectural than those which change at the eave line. High contrast trim or material variations should be avoided in favor of those which are chosen to blend all elements into a single idea.

The standards for exterior treatments vary with each lot width. Within Magnolia Creek, single family residences must be comprised of the following percentages of brick, stone and/or stucco products exclusive of windows, doors, and other building openings. Changes in materials should have a logical relationship to the changes in the form of the house. (Fiber cement siding products will not be considered masonry products for the purpose of calculating these percentages.)

Lot Width	Masonry % Required
Patio Homes (zero lot line)	1st floor - 100% 2nd floor - 30%
60' Production - 1 story units 2 story units	75% 1st floor - 100% 2nd floor - 30%
70' Production homes	1st floor - 100% 2nd floor - 30%
80' Production homes	1st floor - 100% 2nd floor - 50%
95'+ Custom Homes	Requires ARC approval.

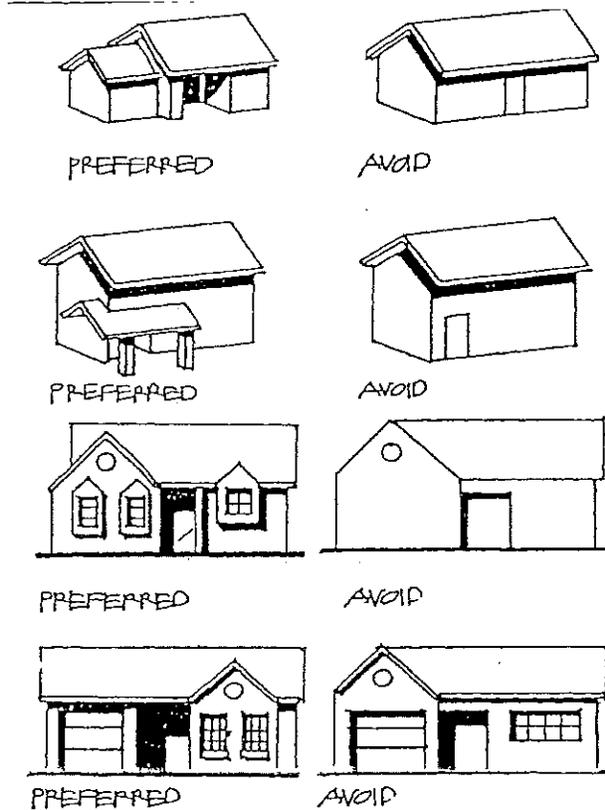
Lots adjacent to the golf course, neighborhood parks, and recreation centers are required to use one hundred percent (100%) masonry on the side (s) of the house and/or detached garage facing the green-space amenity. Houses on corner lots are required to use one hundred percent (100%) masonry on the side facing the corner (including houses at cul-de-sac ends where the side of the house is adjacent to a collector or major thoroughfare). If it is not feasible to use masonry products on 100% of the required elevation, ARC approval must be obtained for the areas proposing to use alternative siding products.

ROOF MATERIALS

The roofing in sections shall be of a limited number of colors in the dark range for continuity and individuality throughout the development. On lots seventy feet (70') or greater, the roofing material is required to be a minimum 25-year warranty, such as Elk Prestique II, GS Firehalt or equal. On sixty foot (60') lots, the roofing material will be a minimum 20-year warranty such as GS Firescreen or equal. The colors are limited to the following four choices: Weathered-wood, Barkwood, Antique Slate, and Sablewood. An equal substitute must be approved by the ARC.

Roofing materials for custom lots (95'+) may include composition shingles, clay or concrete tiles, and standing seam metal roofs among others. All roof materials at these sections must be approved by the ARC.

4.6 Entrances, Windows, Roofs, Addresses, Security



Care should be given to the size, type and organization of all windows. They should never appear like surface “holes” cut into the side of the box. They should be architectural features and, wherever possible, grouped into recessed areas or bordered by projections which provide a shadow pattern. Scattered windows tend to create awkward, face-like shapes and should be avoided.

Use of energy efficient windows is encouraged for energy conservation purposes. Sunscreens will not be permitted. Window coverings facing a street or the golf course must complement the color of the house.

Deeply recessed entrances provide both protection from the elements and a sense of individuality. When used with wall extensions, the whole entry can result in a courtyard effect which is very appropriate to the region. Individual entrance structures should be distinctive architectural features. They are best when there is a combination of overhanging roofs and some change in the plan configuration.

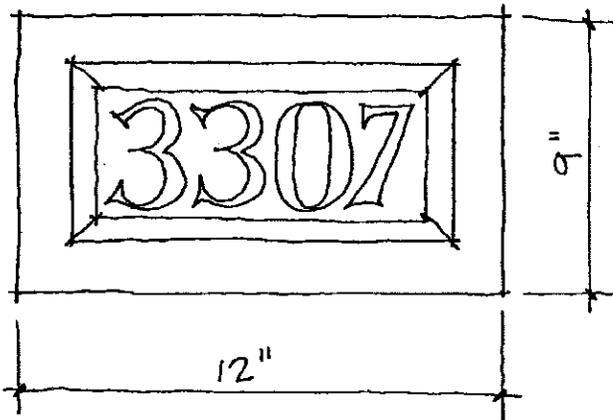
Large front-facing gables should be avoided unless they are broken into small scale elements. Otherwise, open gables are better facing toward interior side yards.

Front-facing gables are acceptable but discouraged when placed over the garage which places emphasis on the garage. Efforts should be made to reduce the emphasis on the garage. The unshielded exposure of garage doors is helped greatly by way of a low plate line over the door.

Changes in roof geometry are best when accompanied by offsets in plan.

Avoid flat roofs, a minimum slope on all roofs should be 5 in 12 pitch. Porches and overhangs may have a minimum slope of 3 in 12 pitch. A combination of roof pitches may be used if they are integrated in to the design of the house. Flatter roof pitches will be allowed for custom homes (95'+) if they are part of the overall architectural style of a house, but require ARC approval.

Address signage shall be treated as an architectural feature to the front elevation of the house. All houses shall be identified with pre-cast concrete or stone plaques. The address plaque must be located near the front door.



Plaque size is to be 9" (vertically) x 12" (horizontally). Numbers are to be 4" high. Plaque background is to be natural white finish. Bold type face is the preferred numeral style. Address plaque is to be installed by home builder before occupancy. Alternate address plaques will be considered by the ARC for custom home (95'+) on an individual basis.

Cluster mailboxes are provided by the developer at each section. No other mail, newspaper, or other delivery receptacles are allowed in the front yard or street right-of-way.

All homes will have a pre-wired burglar alarm system installed that will monitor doors and windows.

4.7 Chimneys

It is recommended that every residence incorporate a minimum of one fireplace. In order to use the chimney as a repetitive design element throughout the community, the chimney structure should be expressed on the exterior of each residence in one of the following manners:

Chimneys can be used to establish an ornamental or thematic direction. They may be built out of brick, stone, stucco, or fiber cement siding. The minimum plan dimensions for an exposed mass is 24" x 24" and a larger form is preferred. The use of prefabricated fireplace units allows a wide design latitude for fiber cement-clad or masonry chimneys. If placed on an exterior wall, a complementary material (masonry, for instance) will be used for visual mass.

In the event of gas fireplaces, direct vents in place of chimneys are allowed, provided the vents are located along the rear slope or rear half of the roof and painted to match the shingles, or located on an outside wall not visible from the street and painted to match the siding.

The height of the chimney should be in proportion to the roof line and adhere to fire codes. Broad, massive chimneys will be encouraged and small, spindly shaped chimneys will not be approved. Chimneys which barely peak above or squat on the roof are not visually bold enough and, therefore, are unacceptable.

Exposed metal flues are not allowed. They may be used only when clad with material complementary to the house, such as masonry.

Fireplaces shall be made of the same material as the house where economically feasible. Exterior chimneys on custom homes (95'+) shall have all sides constructed with brick, stone, or stucco materials.

4.8 Rooftop Elements

The roofs, as an expressive design element, should be kept as visually unobstructed as possible.

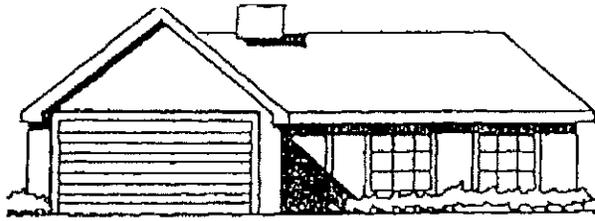
All stack vents and attic ventilators shall be located on the rear slopes of roofs and mounted perpendicular to the ground plane.

The location and design of all skylights and solar collectors shall be approved by the ARC. No solar collectors shall be allowed on any roof slope visible from a public street, golf course, neighborhood park or recreation center.

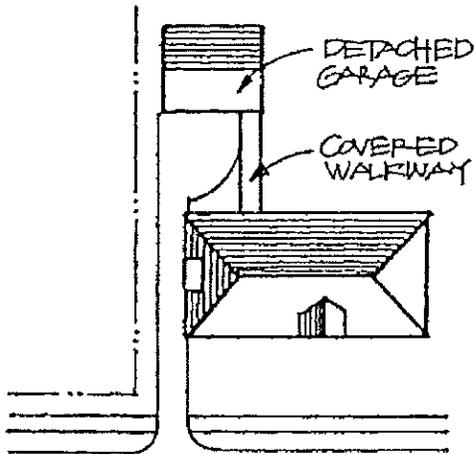
Radio/television antennae, satellite dishes, and radio towers are not acceptable. All antennae or satellite dishes must be concealed within the roof attic space, or within fenced areas that hide them from public view.

Rooftop or window HVAC equipment is not permitted under any circumstances.

4.9 Garages



AVOID



PREFERRED

The garage doors should not dominate the façade. When this occurs, the house generally adds little to the overall character of the street and the house entrance is visually overwhelmed.

Garage doors, often at least 16 feet wide, are like blank walls. They are devoid of architectural elements which give a building scale life and character such as windows, terraces, landscaping, etc.

The traditional solution is to detach the garage from the house proper, allowing the house to stand on its own and reflect the relationships of the interior spaces to the street. For shelter, the garage must be connected to the house with a covered walk, breezeway, etc.

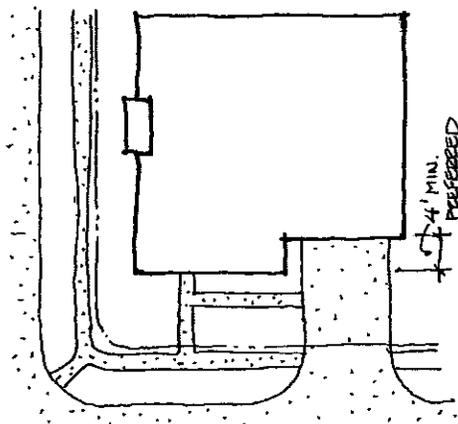
If attached construction must be used, a setback of four feet (4') minimum from major front elevation of house to face of garage is required at custom homes (95'+ lots) and encouraged at production homes. The face of a porch qualifies as the major front elevation, if the porch is substantial enough to be the major focus of the facade. If an attached front loaded garage occurs, a porch extending a minimum of two feet (2') beyond the front building wall is encouraged.

Garages at patio homes must accommodate the storage of two (2) full size automobiles. Garages at production lots (60' - 90'), at a minimum must be able to accommodate the storage of two (2) full size automobiles at the same time, and, at a maximum accommodate the storage of three (3) full size automobiles at the same time. Attached front loaded three car garages are allowed, but the third bay must be staggered, or offset from the other bays.

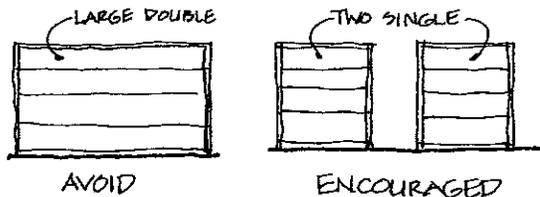
An extension in the length of a garage which permits additional storage space is allowed. Storage and/or 'game rooms' may be added over



LOW ROOF PROFILE OVER GARAGE IS PREFERRED



LIVING AREA IN FOREGROUND WITH ATTACHED GARAGE RECESSED - PREFERRED (REQUIRED AT CUSTOM LOTS)



AVOID

ENCOURAGED

ATTACHED FRONT LOADED GARAGE DOOR OPENINGS - PREFERRED

detached garages provided they meet applicable building codes for egress, but must be approved by the ARC. Only two-story houses may have a two-story detached garage.

Carports are prohibited without express approval of the ARC. Porte cocheres are permitted with ARC approval.

Roofs over garages should be as low as possible sloping toward the street. The highest roofs should not occur over the garage due to the added visual emphasis.

All garage doors should be of a color which complements the adjacent wall. Treatment of detail on garage doors should be consistent with the overall character of the house. This may be accomplished with one or two well placed windows along the top of the garage door and by breaking up the mass with paneled construction. Windows must be used to break up massive garage facades facing the street.

No wood or particle board doors are permitted. All garage doors are to be paneled metal or fiberglass. Glass fenestration is permitted. No reflective film or foil is permitted on windows.

When attached two-car garages are built, two single doors divided by a column are encouraged. This breaks up the expanse of the door into appropriately scaled architectural elements

Intermittently located side entry or "swing in" garages, as a means to interrupt the monotony of "garage door corridors" along the front building lines of a street, are encouraged.

4.10 Square Foot Ranges

In order to prevent great disparity between neighboring houses, each residential cell will have minimum and maximum areas allowable for homes in that cell.

These square footage requirements apply only to air-conditioned areas of the home, attics, garages, porches, and other similar areas should not be included in the calculation of the home area.

The minimum and maximum allowable areas for each type of lot are as shown in the chart below.

Lot Type	Minimum Sq. Footage	Maximum Sq. Footage
Patio Homes	1400	2600
60' Production	1800	3100
70' Production	2400	4000
80' Production	3000	4900
95'+ Custom	2600	n/a

5.0 LANDSCAPE

5.1 General

The builder/owner is responsible for the landscaping of all areas on his/her property and the portion of the street right-of-way between the property line and the street curb. Plantings other than groundcovers and low growing ornamentals between the street curb and the paved sidewalk are discouraged in order to preserve adequate sight lines for motorists. Installation of all landscaping must occur prior to occupancy of the house. Installation of landscaping, including materials and workmanship, must comply with current industry standards.

The following landscaping standards are applicable to all typical lots. Planting materials for larger and/or oversized lots should be increased proportionally in plant size and quantity per the requirements in these guidelines.

5.2 Streetscape

The landscape treatment for each residential cell of Magnolia Creek should have its own theme and individual character, yet be consistent with other neighborhoods to maintain an overall view of continuity throughout the community. The following paragraphs describe various design features which are recommended to establish a visual uniformity and landscape hierarchy throughout the development.

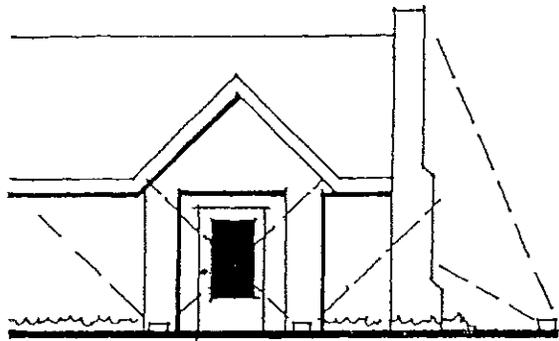
Through a comprehensive program of right-of-way landscaping, a sense of continuity can be fostered within the community. Landscape details can reinforce the desired community image in each of the neighborhoods. Key intersections will be accented, view corridors should be enhanced, and selected areas should be screened to decrease their visual impact. The streetscape should identify milestones within Magnolia Creek through the placement and orientation of landscaping and signage and/or monuments.

The use of well-conceived landscaping along collector streets and thoroughfares has significant psychological benefits. Landscaping can reduce the negative impact of traffic noise and can improve the visual quality of the community. The perceived image of the community can be greatly enhanced through berming, screening and other improvements along the rights-of-way. In addition, landscaping can enhance the safety of roadways and pedestrian areas by guiding the circulation of cars and improving the safety of the people on foot or bicycle.

Entry points are intended to set the initial character of the development through the placement and selection of monuments, signage, textured pavements and landscaping. Alternating layers of plant heights and color should be utilized for visual interest and similar image to establish community.

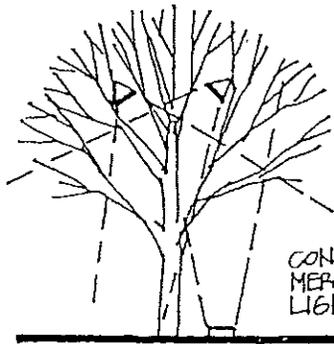
5.3 Lighting

(Note: This section applies to permanent lighting, and is not intended to discourage, or prohibit in any way, seasonal/holiday lighting and decorations.)



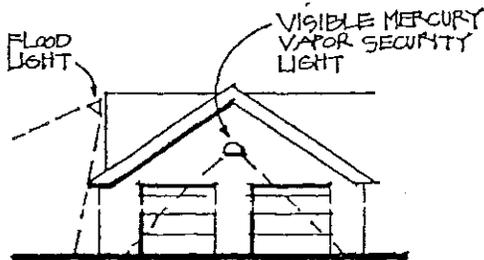
ENCOURAGED

ACCENT LIGHTING
ON ARCHITECTURAL
FEATURES



CONCEALED
MERCURY VAPOR
LIGHTING

ENCOURAGED



NOT PERMITTED

The builder/owner is to install and maintain lighting on individual lots in a manner to not cause distraction, nuisance or to be unsightly. Light sources should not conflict with the sight lines of pedestrians or motorists in a manner which endangers their safety and welfare. Light sources must not "spill over" into neighboring yards. Light sources must be concealed if possible.

Exterior residential lighting can convey a warm, inviting atmosphere. Care is to be taken in placing fixtures, selection of fixtures and types of light source. Exterior illumination of architectural features such as columns, entries, chimneys and landscape features is encouraged.

Lights should be directed to illuminate house number graphics. A sconce light is preferred. Ground lighting or decorative fixtures must be of high quality materials and workmanship and be in scale and style with the residence.

Free standing decorative fixtures and lampposts are acceptable, but must be approved by the ARC. No lampposts will be allowed near the sidewalk.

Sodium vapor lights, except for subdivision street lights, are prohibited.

Mercury vapor security lights, when the fixture is visible from public view or from other lots, are prohibited. Mercury vapor lights, when used for special landscape lighting affect, (hung in trees as up and down lights) are permissible with ARC approval.

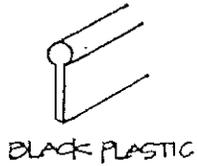
Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible. Plastic lighting is not permitted.

Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable.

All wiring for exterior lighting should be underground. Pathway lighting and landscape lighting is encouraged. Such lighting must be inconspicuous.

5.4 Residential Landscaping

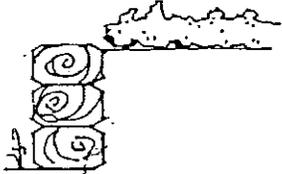
UNACCEPTABLE ACCEPTABLE



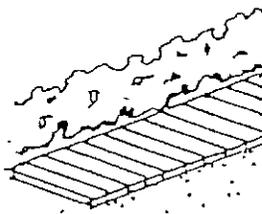
BLACK PLASTIC



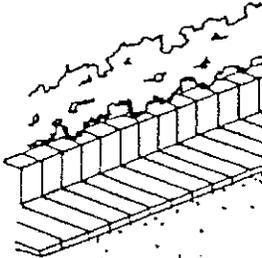
RAILROAD TIES



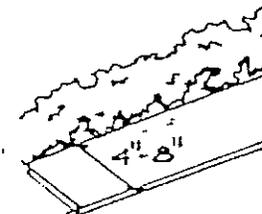
LANDSCAPE TIMBERS



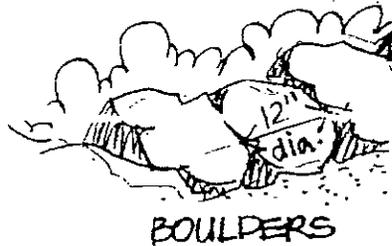
BRICK ROWLOCK W/
MORTAR JOINT



BRICK ROWLOCK W/
SOLDIER COURSE



CONCRETE BAND
4" x 8"



BOULDERS
12" dia.

A single row of foundation planting in the front yard is not acceptable. Shrub planting shall consist of a minimum of 2 layers of shrubs planted at the foundation of the building. For residences on lots 75' or wider, a minimum of 4 layers of shrubs planted at the foundation of the building is required.

The number of plant species in the front yards should be kept to a minimum. A maximum of seven (7) different species of recommended shrub plantings may be utilized within a front yard. Lots of 75' width or larger are permitted a maximum of nine (9) different species of recommended shrub plantings.

For rear yards at golf course lots, at least one layer of shrubs shall be installed at the foundation of the building. Other layers may occur at the foundation, or along the rear fence instead.

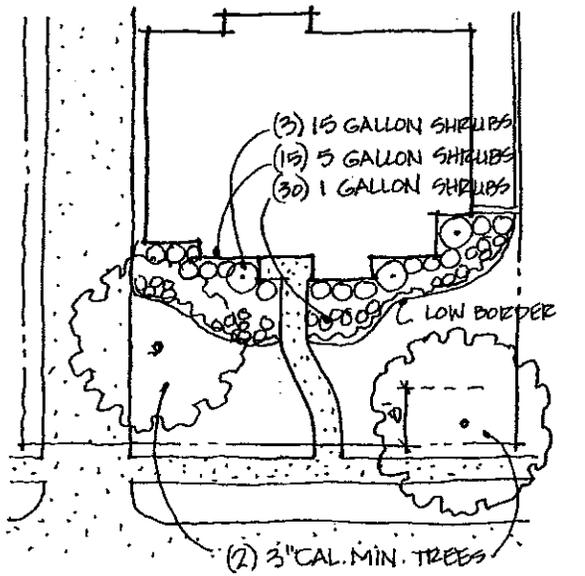
Planting bed edging is not required, but is encouraged for maintenance purposes and to define the shape of planting beds. Loose brick, plastic, concrete scallop and corrugated aluminum, wire wickets, horizontal timbers, railroad ties, etc., are prohibited. Acceptable edging is Ryerson steel, brick set in mortar, and landscape timbers (2 inches by 4 inches, 2 inches by 6 inches, 4 inches by 4 inches, and 4 inches by 6 inches) set vertically in grade. Horizontal landscape timbers may only be used in the event of retaining walls in place of grading.

Planting beds may be curvilinear or geometric with the shrubs massed in tiers, smaller shrubs, perennials, and ground cover in the front and larger shrubs in the rear of the bed. Groupings of shrubs of the same species provide a substantial look. Curvilinear beds should have smooth, flowing curves and/or true radii.

Mulch all planting beds with three inch (3") shredded pine bark. No gravel or rock of any size or color is permitted for use or substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders 12" in diameter or greater are permitted in Earth tone colors only. Bright colors are not permitted.

5.5 Minimum Landscape Requirements Each Yard

Trees are to be a minimum three inch (3") caliper measured twelve inches (12") from the base of the tree.



TYPICAL FRONT YARD REQUIREMENTS
(60' - 70' LOTS)

FRONT YARD TREE REQUIREMENTS

Lot Width	Trees Required	Type
Patio Homes	2	hardwoods or pines
60' - 70' Production	2	hardwoods or pines
80' Production	3	2 hardwoods / 1 pine or 3 hardwoods
95'+ Custom	3	3 hardwoods

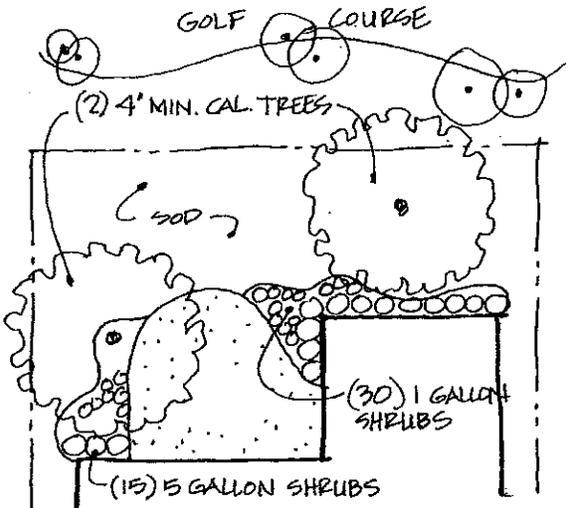
Note: At least one shade tree must be planted within eight feet (8') of the front sidewalk on all lots.

FRONT YARD SHRUB REQUIREMENTS

Lot Width	Shrubs Required	Type
Patio Homes	2 10 25	15 gallon 5 gallon 1 gallon
60' - 70' Production	3 15 30	15 gallon 5 gallon 1 gallon
80' Production	3 20 40	15 gallon 5 gallon 1 gallon
95'+ Custom	5 25 50	15 gallon 5 gallon 1 gallon

Note: The front yard of all patio home products, and all production and custom homes on lots eighty feet (80') wide or greater must be fully irrigated.

In addition, golf course lots, and lots adjacent to neighborhood parks or recreation centers, shall have the following backyard planting requirements.



TYPICAL REAR YARD REQUIREMENTS
(60'-70' LOTS)

REAR YARD TREE REQUIREMENTS		
Lot Width	Trees Required	Type
Patio Homes	1	hardwood
60' - 70' Production	2	2 hardwoods or 1 hardwood / 1 pine
80' Production	2	2 hardwoods or 1 hardwood / 1 pine
95'+ Custom	2	2 hardwoods

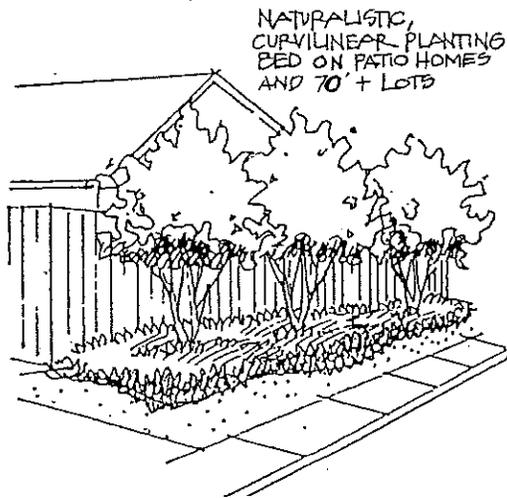
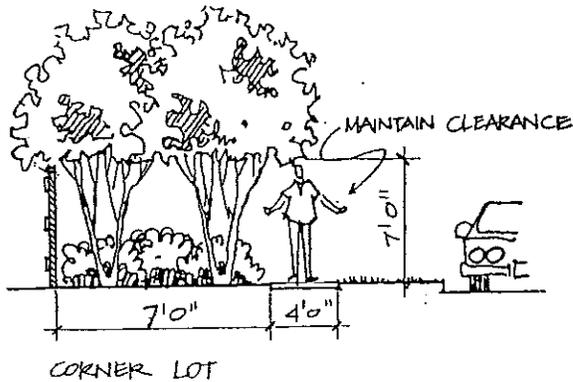
REAR YARD SHRUB REQUIREMENTS		
Lot Width	Shrubs Required	Type
Patio Homes	10	5 gallon
	20	1 gallon
60' - 70' Production	15	5 gallon
	30	1 gallon
80' Production	1	15 gallon
	20	5 gallon
	30	1 gallon
95'+ Custom	3	15 gallon
	25	5 gallon
	40	1 gallon

Builder shall not have individual planting schemes which differ greatly from neighboring homes. All planting schemes must be complimentary in nature with a limited number of dissimilar elements.

5.6 Corner Lot Planting Requirements

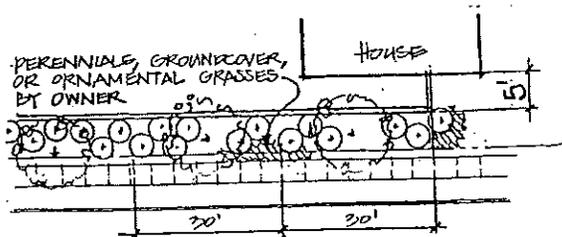
Plantings are required along the side lot line of corner lots at the street side between the sidewalk and the fence.

In order to reduce the impact of long expanses of fences along side street conditions, the following minimum landscaping requirements must be followed.



Corner Lot Landscape Requirement for Every Thirty Linear Feet of Fence	
Patio Homes	1 ornamental tree and 5 shrubs
60' - 70' Production	1 ornamental tree or shade tree
80'+ Production	1 ornamental tree and 5 shrubs
95'+ Custom	1 ornamental tree and 5 shrubs

Note: Trees (30 gallon minimum) and shrubs are to be selected from plant list. Additional plantings by homeowner are encouraged. An equal spacing or 'soldier row' planting of the plants is not recommended. Instead, plants shall be grouped in a natural or staggered planting arrangement.

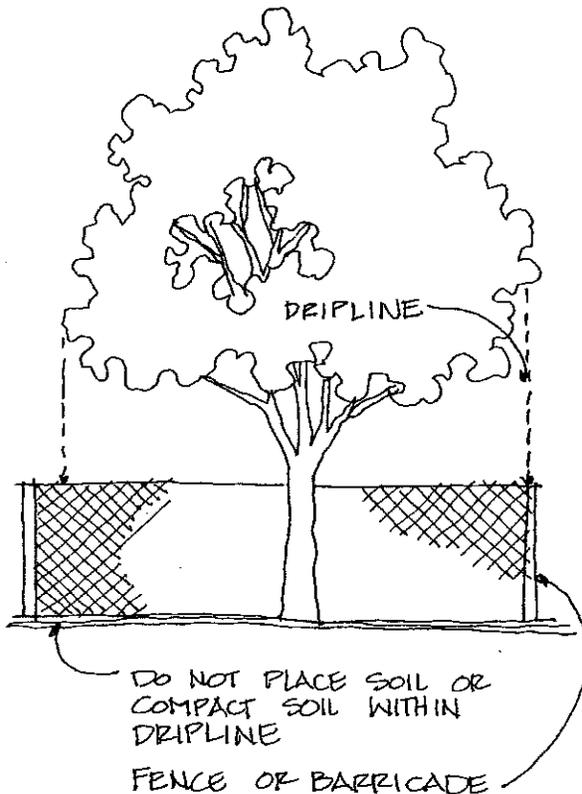


5.7 Tree Protection and Preservation

The following procedures are recommended to insure the survival and good health of trees existing on site. The builder shall use the following guidelines to preserve trees on site:

Protection of trees on Construction Site:

- A. Tree protection fencing should be placed around drip line of trees to prevent storing of machinery or equipment which can cause soil compaction and mechanical damage.
- B. Excessive pedestrian traffic should not occur within drip line of trees.
- C. Soil should not be excavated, spread, spoiled or otherwise disposed of within drip line of trees.
- D. Trash fires shall not be permitted.
- E. In close areas, where fencing to drip line is not possible, protect trunk by strapping (not nailing) a continuous shield of wood, 2" x 4" x 5', around the trunk and lay plywood on ground in drip line of tree to prevent compaction of soil by trucks or machinery, etc.
- F. Removal of any tree with a caliper of 8" or more measured 12" from the base of the tree shall require approval of the ARC.



Where tree clusters are preserved, builder shall also preserve understory if possible. This helps maintain conditions around existing root systems.

Placement of utilities within the drip line is detrimental to chances of survival on a developed lot. If routing utilities outside the drip line is not possible, keep trench area to a minimum and adhere to tree protection methods described in previous section.

In the case of specimen trees, consider boring under the tree root system.

Prune trees using horticulturally accepted methods to compensate for any loss of root system.

5.8 Plant Material: General

The following is a list of plant material considered to be appropriate for Magnolia Creek. Other plant material will be considered by the ARC, but priority should be given to plants from this palette. Palm trees are considered to be out of character with the desired landscape effect and will not be acceptable if seen from public view or other lots. The use of golden euonymus, because of growth characteristics and susceptibility to disease, is discouraged. Arborvitae, Italian cypress, junipers (other than ground cover varieties) yucca, cactus and bamboo are not in character with the plant palette and will not be allowed.

5.9 Plant Material: Shade Trees and Flowering Trees

SHADE TREES

<i>Carya illinoensis</i>	Pecan
<i>Liquidambar styraciflua</i>	Sweet Gum
<i>Pinus taeda</i>	Loblolly Pine
<i>Pistocia Texana</i>	Texas Pistache
<i>Quercus acutissima</i>	Sawtooth Oak
<i>Quercus borealis</i>	Red Oak
<i>Quercus macrocarpa</i>	Burr Oak
<i>Quercus nigra</i>	Water Oak
<i>Quercus virginiana</i>	Live Oak
<i>Ulmus crassifolia</i>	Cedar Elm
<i>Ulmus parvifolia sempervirens</i>	'Drake' Evergreen Chinese Elm

ORNAMENTAL TREES

<i>Betula nigra</i>	River Birch
<i>Chionanthus Virginia</i>	Chinese Fringe Tree
<i>Crataegus</i>	Majestic Indian Hawthorn
<i>Ilex Opaca</i> (and other tree form holly species)	American Holly
<i>Ilex vomitoria</i>	Yaupon
<i>Keolreuteria paniculata</i>	Golden Raintree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Ligustrum Japonicum</i> (tree)	Waxleaf Privet
Magnolia - all species	Magnolia
<i>Murraya Paniculata</i>	Orange Jasmine (tree form)
<i>Oxydendrum arboreum</i>	Sourwood
<i>Pyrus calleryana</i> 'Evergreen'	Evergreen Pear (Bradford)
<i>Pyrus calleryana</i> 'Aristocrat'	'Aristocrat' Callery Pear
<i>Cercis canadensis</i> (all varieties)	Red Bud
<i>Stewartia pseudocamellia</i>	Japanese Stewartia
<i>Styrax japonica</i>	Japanese Snowbell
<i>Styrax obassia</i>	Fragrant Snowbell

5.10 Plant Material: Shrubs

Abelia grandiflora or dwarf variety	Abelia
Azalea species	Azalea
Aucuba japonica	Japanese Aucuba
Buxus species	Boxwood
Callisternon citrinus	Bottlebrush
Camellia sasanqua	Camellia
Chaenomelis speciosa	Flowing Quince
Chamaerops humilis	Mediterranean Fan Palm (specimen only)
Cleyera japonica	Japanese Cleyera
Cyas revoluta	Sago Palm (Specimen Planting)
Eleagnus macrophylla	Eleagnus
Eriobotrya japonica	Coppertone Loquat
Fatsia japonica	Aralia
Fiegea sellowiana	Pineapple Guava
Gardenia jasminoides 'Radicans'	Dwarf Gardenia
Gardenia jasminoides 'Fortuniana'	Dwarf Gardenia
Ilex cornuta	Dwarf Chinese Holly
Ilex species	Holly
Ilex vomitoria	Dwarf Yaupon Holly
Hibiscus roso sinensis	Chinese Hibiscus
Juniper species	Juniper
Juniperus conferta varieties (Particularly 'Emerald Sea')	Shore Juniper
Lagerstromia indica/faultei	Dwarf Crape Myrtle
Leucophyllum frutescens	Texas Sage
Ligustrum japonicum	Lugustrum Wax
Mahonia aquifolium	Oregon Grape
Mahonia bealei	Leatherleaf Mahonia
Myrica ceriferon	Southern waxmyrtle
Nandina domestica (Harbor Dwarf, Woods Dwarf, Purpurea, Fire Power)	Dwarf Nandina
Nandina domestica	Heavenly Bamboo
Nerium oleander	Oleander
Pittosporum tobira variegata	Dwarf Pittosporum
Philodendron pertusum	Philodendron
Photinia fraseri	Photinia Redtip
Podocarpus macrophylla	Japanese Yew
Pyracantha coccinea	Dwarf Pyracantha
Rhaphiolepis indica (Clara, Snow White)	Hawthorne Indian
Skimmia japonica	Skimmia (shade only)
Spiraea bumalda (or similar dwarf variety)	Spiraea
Viburnum japonica	Japanese Viburnum

5.11 Plant Material: Ground Covers, Vines and Ornamental Grasses

<i>Adiantum capillus - veneris</i>	Southern Maidenhair Fern
<i>Adiantum pedatum</i>	Maidenhair Fern
<i>Ajuga reptans</i>	Carpet Bugle (shade only)
<i>Ardesia japonica</i>	Ardesia (shade only)
<i>Aspidistra eliator</i>	Aspidistra
<i>Bryopteris erythrosporos</i>	Shield Fern/Wood Fern
<i>Carex morrowii</i>	Japanese Sedge
<i>Cyrtomium falcatum</i>	Holly Fern
<i>Festuca ovina</i>	Fescue
<i>Festuca cinerea</i>	Blue Fescue
<i>Ficus pumila</i>	Creeping Fig
* <i>Gelsemium sempervirens</i>	Carolina or Yellow Jasmine
<i>Hedera canariensis</i>	Algerian Ivy
<i>Hedera helix</i>	English Ivy (shade only)
<i>Iberis sempervirens</i>	Evergreen Candytuft
<i>Imperato cylindrica</i>	Japanese Blood Grass
<i>Juniperus horizontalis 'Wiltoni'</i>	Blue Bug Juniper
<i>Juniperus procumbens 'Nana'</i>	Dwarf Japanese Garden Juniper
<i>Lantana ovatifolia</i>	Dwarf Lantana
<i>Liriope spicata</i>	Creeping Lilyturf
<i>Liriope muscari</i>	Liriope
<i>Lonicera caprifolium</i>	Honeysuckle
<i>Lonicera etrusca 'superba'</i>	Honeysuckle
<i>Lonicera periclymenum</i>	Honeysuckle
<i>Ophiopogon japonicus</i>	Mondo Grass
<i>Ophiopogon japonicus</i> 'Compactus'	Lilyturf
<i>Ophiopogon planiscarpus</i> 'Kokurga'	Lilyturf
* <i>Trachelospermum jasminoides</i>	Confederate Jasmine
* <i>Wisteria sinensis</i>	Chinese Wisteria
<i>Sasa pygmaea</i>	Dwarf Bamboo
<i>Sedum acre</i>	Golden Carpet
<i>Thelypteris hexagonoptera</i>	Beech Fern

*Indicates vines

5.13 Plant Material: Lawns

All yard areas exposed to public view, including front yards on all lots and rear yards on lots adjacent to the golf course, neighborhood parks, and recreation centers, are to be 'solid' sodded with St. Augustine or hybrid grass. Lawns may be 'overseeded' with rye grass maintained to a height of two and one-half inches (2.5").

Wood fenced rear and side yards not exposed to public view may be sprigged with St. Augustine or grassed with Buffalo or Bermuda in lieu of solid sod.

No gravel or rock of any size or color is permitted for ground cover, mulch, or substitute for grass lawn when visible from public view.

5.14 Landscape Maintenance

All landscaping is required to be maintained in a healthy and attractive appearance. Proper maintenance includes:

- a. Mowing;
- b. Pruning and shaping;
- c. Weed control in lawns and planting beds;
- d. Adequate irrigation;
- e. Appropriate fertilization;
- f. Insect and disease control;
- g. Seasonal mulching of planting beds;
- h. Replacement of diseased or dead plant materials; and,
- i. Warranty of all planting materials.

Each yard shall be maintained in a neat, clean and orderly condition by the builder/owner prior to and after the sale of such residence.

5.15 Grading, Foundations & Sediment Control

GRADING

Berms are to be graded in gentle, undulating, naturalistic forms, not straight or steep slopes. Berms should undulate in width as well as height where area permits. Provisions are to be made for drainage around or through berms as required. Generally, a height of forty-eight inches (48") from top of adjacent curb is the maximum desired.

Swales (small ditches) are to be graded shallow, but wide to slow runoff. Avoid steep cuts for a natural look.

Steep slopes of 2.5:1 or more should be broken with retaining walls or steps. Terracing of lawns is encouraged only when the grades are too steep.

It will be the responsibility of each builder to provide adequate drainage for each home. Caution should be used in establishing the foundation elevation so that adequate drainage from the back yard around to the front is not impaired by driveways or slabs that are constructed too high.

FOUNDATIONS

Minimum slab elevations are determined by, and should be coordinated with, the appropriate City agency. All foundation plans must be signed and sealed by a Texas Registered Professional Engineer.

A form survey should be undertaken to ensure that building setback lines have not been violated prior to foundation construction.

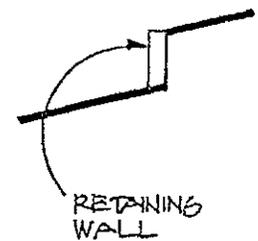
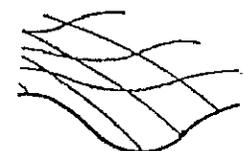
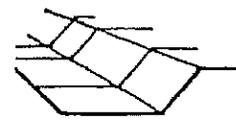
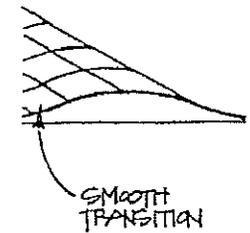
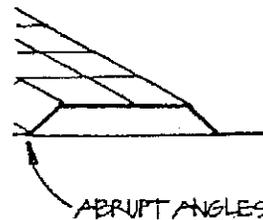
SEDIMENT CONTROL

In order to maintain clean streets and prevent siltation of storm sewers and drainage channels, all projects in Magnolia Creek are required to practice sediment control during construction. As soon as earthwork commences, sediment control methods

shall be installed in such a way as to filter all storm water runoff from the tract into the public street. The sediment control system shall remain in place and in good repair until construction is complete, landscaping is installed, and lawns are established.

Builders shall conform to all regulatory agencies' rules, regulating standards, and criteria governing sediment control to include, but not be limited to, ERA-NPDES, City of League City, and Galveston County pollution control plans. Builders shall be responsible for filing and securing all necessary permits.

UNACCEPTABLE | ACCEPTABLE



5.16 Irrigation

Installation of an irrigation system by builder is encouraged but is not mandatory, except on lots with widths of eighty feet (80') or greater and patio home lots.

Sprinkler heads should be located to effectively water areas intended with minimum overthrow onto pavement, walks, etc, and to effect 100% overlap insuring effective and even coverage.

Standards:

- a. Head to Head coverage of system providing 100% coverage.
- b. Swing joints on all heads should be used to avoid mechanical damage.
- c. Use hi-pop risers in beds next to walks and driveways keeping rigid risers away from street and driveway curbs to prevent damage from traffic.
- d. All pressure mains should be Schedule 40 PVC with slip joint connections.
- e. Backflow preventor should be placed out of sight in shrub mass when possible.
- f. Utilize separate valved sections for shrub and lawn areas which have different water requirements.
- g. Automatic controllers to be placed in garage or hidden from public view.
- h. Trenching should be avoided within drip line of existing trees.
- i. Do not design circuits for more than 75% of maximum pressure.
- j. Choose best head type for particular application.
- k. Irrigation by bubblers, drip and leaky pipe is appropriate for some situations.

6.1 General

Specific requirements and guidelines for graphics are intended to limit the amount of signs, to present an image of quality and to squelch the propensity of competing builders to “outdo” each other in attracting home buyers with signage.

Through an organized system of signage, adequate direction to builder products will be achieved and the developer will be able to present Magnolia Creek as a quality master planned community.

6.0 GRAPHICS

6.2 Builder Signage

The developer and ARC acknowledge that directional and advertising signs are a necessary part of a growing development. In an effort to preserve the consistent, orderly aesthetics of the neighborhood, all signage required for these purposes will be supplied by the developer, and will adhere to consistent design standards, sizes, and colors.

In addition to developer signage, each builder may place one sign at each model home park that builder is represented in (see Section 7.3 for more information on model park signs), and one sales/availability sign on each single family lot not yet occupied.

This sign should convey the name of the builder and the phone number of the builder's sales office. An 18" x 36" panel may use builders name and/or logo or trademark. Colors and graphics are to be submitted to the Architectural Review Committee.

6.3 Logo/Logotype

This is the officially adopted logo and logotype for Magnolia Creek. This logo should only be used in reference to the Magnolia Creek Community. All other uses must be approved in writing by the developer.

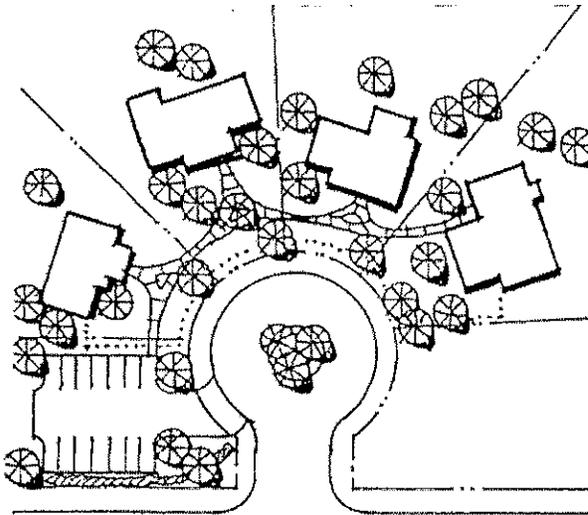
The use of the logo and logotype for advertising and marketing material is encouraged. A photostat copy, or a digital copy, of the artwork may be obtained from the developer.



PMS 180, 348

7.0 MODEL HOMES/ SALES OFFICES

7.1 Location



The location of all proposed model home parks and/or sales centers must be approved by the ARC. Proposed sites will be reviewed on an individual case by case basis and, therefore, no specific criteria have been developed. However, various items which should be considered in selecting a location for a model home park or sales office are listed below:

- Project phasing should be considered when establishing the initial model home park. Additional sites should be selected to accommodate future sections or changes in market strategy and updated product lines. Care should be taken to protect marketing windows to varying products or phases.
- Lots on short cul-de-sacs or “bubble” streets located off of the main entrance street to a neighborhood serve as excellent sites for model home parks. These lots not only provide a clustered setting for the model homes but also allow the main entrances to the neighborhood to maintain an open and uncluttered appearance.
- Free-standing sales office (not in a model home) may be appropriately located on a lot near the primary entrance to a neighborhood but shall not, under any circumstances, be located or have access to an adjacent major thoroughfare or collector street.
- Builder sales signs may not be placed in greenbelt areas.

7.2 Site Improvements

Model home parks and sales centers should be representative of the type of neighborhood environment the builder hopes to achieve. The project image is established by the way in which the model homes and sales office are handled. The following items should be considered when establishing a model home park and/or sales office.

- The architectural controls and design guidelines established for all residences in Magnolia Creek shall be maintained in model homes to ensure compliance when the models are eventually sold. Temporary exceptions related to non-standard driveways, sidewalks, lighting, flags and flagpoles, or other marketing techniques will be considered by the ARC on an individual basis.
- Free-standing sales offices must be of permanent-type construction and comply with these design guidelines. The use of temporary structures, trailers or portable buildings is prohibited, except in the interim time period preceding the completion of a permanent sales office. The relocation of temporary sales offices is subject to the approval of the ARC.
- With the exception of sales offices in a garage, the models should be presented as much as possible as the finished product would be sold. Sidewalks do not necessarily need to be placed two feet inside the right-of-way, perpendicular to the property line, but can meander between units.

- Large decorative appurtenances may detract from the model homes and are discouraged. Planters, flower pots, benches and other small decorations can provide a sense of scale and “lived in” appearance. The use of annual flowers is encouraged.
- It is expected that landscape planting should exceed minimum requirements for other lots. Plants are to be selected from the plant list in the landscape section of this booklet.
- If planting beds are extended from one lot to another to create a parklike atmosphere, care is to be taken to not block drainage down side lot lines.

Off street parking is permitted but not required. An off street parking lot shall be behind the 25' front building line and should be contained on one lot. Precautions are to be taken to preserve existing trees on site.

Paving must be hard surfaced, asphalt, concrete, or interlocking concrete pavers. Asphalt paving will require a hard edge border (treated wood, concrete or steel edging). In the absence of concrete curbs, wheel stops must be used.

Parking lanes are to be delineated for an orderly appearance. Parking lots are to be kept free of trash and debris.

7.3 Promotional

Each model home park shall be permitted one sign per builder to display the name of the builder. The sign face shall not exceed eight feet (8') in width and six feet (6') in height. The height above the existing lot grade may not be more than eight feet (8'). If placed on corner lots, locate the sign within the property line and within the side setback line.

No posts or framework are to be exposed (bases of signs must be enclosed with lattice or other suitable material or covered by shrubs).

Graphics on the sign may include: section name, builder name, logo and/or slogan, price range, phone number and business hours. Signs may not be internally lighted.

Sign colors are to be selected to enhance quality. Color samples should be submitted to the ARC prior to building signs.

Signs designating model names, sales office, entrances and exits may not exceed twelve inches (12") high and eighteen inches (18") wide. Only one sign per unit in the model home area.

Trap fencing is permitted at a maximum height of forty-two inches (42"). As a temporary fence the trap may be installed within the street right of way subject to City approval. Other types of fencing may be given consideration by the ARC if overall concept of the model home park requires variance.

Three metal or fiberglass flagpoles, not to exceed thirty feet (30') in height, may be used for model home area. State and national flags must be displayed with proper flag etiquette. Flags larger than six feet (6') high by eight feet (8') wide are not permitted.

No advertising flags are permitted. No builder signs are permitted, under any circumstances, within the boundaries of Magnolia Creek or on roadways adjacent to the project. Required directional and information signs of a consistent design will be provided by the developer.

Exterior fluorescent lighting is prohibited, especially when mounted on soffits or eave facias. Up lighting is encouraged.

8.0 SUBMISSION AND APPROVAL

8.1 General

The official submittal of plans and specifications to the Architectural Review Committee is to provide a review process for conformance to guidelines and standards adopted by the ARC. A clear, direct statement as to acceptability of construction plans is to be made within the review time period. The end result is to impart a visual character and a sense of community through controlled architecture.

All new construction, subsequent construction, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the ARC prior to commencement of any on-site building or construction activity. The approval process can be facilitated if complete and high quality submittal documentation is provided to the ARC. The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while accommodating the needs of builders and property owners. A Plan Review Fee will be charged for reviews or inspections necessary due to re-submissions.

The design for residences must be approved in writing by the ARC before construction of a residence can begin. The ARC is committed to a high level of design quality within our communities by reviewing residential design and plotting submissions and working with our builders to achieve this goal.

Submittals shall be sent to the attention of the Architectural Review Committee, care of:

Magnolia Creek Homeowner's Association
c/o Mr. Lynn Watkins, HOA President
610 West Main, Suite 101
League City, TX 77573
281/316-3900

8.2 Requirements

The builder/ owner is required to submit complete and accurate design and construction documents for review by the Architectural Review Committee (ARC). Submittals are to be made and ARC approval obtained prior to the commencement of construction of or any exterior improvement upon any residential lot or parcel.

Each submittal shall consist of two (2) sets of prints and supplementary specifications. Only complete submittals will be reviewed.

The builder or his agent will have complete responsibility for compliance with all governing codes and ordinances.

Minimum requirements for each lot type and submittal phase is as follows (additional information is encouraged):

Production/ Patio Homes

Phase I - Initial plan review.

- 1) Plan submittal form;
- 2) Plans including:
 - * Floor plans @ 1/8" = 1'0" min. scale, including any optional bonus or storage rooms;
 - * Exterior elevations (for all sides) @ 1/8" = 1'0" min. scale;
 - * Show variable front elevations and denote as Elevation A, B, etc.;
- 3) Outline specifications describing all materials to be used on the project.

Phase II - Site specific review.

- 1) Copy of plan submittal form from Phase I review including ARC approval
- 2) New plan submittal form (note section, block & lot number);
- 3) Plans including:
 - * Floor plans @ 1/8" = 1'0" min. scale, indicating if optional rooms are to be included;
 - * Exterior elevations @ 1/8" = 1'0" min. scale, showing areas to be masonry;
 - * Indicate which elevation will be used;
 - * Foundation plan designed and sealed by a Registered Professional Engineer;
- 4) Outline specifications describing all materials to be used on the project:
 - * Indicate manufacturer and color of all finish

materials to be used on the exterior of the house;

- 5) Site schematic plan including:
 - * Building setbacks, easements and R.O.W.'s;
 - * Utility service locations;
 - * Location of fencing – ARC will indicate which type of fencing each section is required to be;
 - * Siting of improvements, including house, garage, and driveway.

Custom Homes/ Additions & Remodels

Phase I - Conceptual design review.

- 1) Plan submittal form (note section, block & lot number);
- 2) Preliminary sketches including:
 - * Siting of improvements;
 - * Exterior elevations, including location of proposed exterior finishes;
 - * Any design components requiring ARC approval due to architectural style (i.e. flat roofs or parapet walls);
- 3) Outline specifications describing all materials to be used on the project.

Phase II - Construction plans review.

- 1) Copy of plan submittal form from Phase I review including ARC approval
- 2) New plan submittal form;
- 3) Plans including:
 - * Floor plans @ 1/8" = 1'0" min. scale;
 - * Exterior elevations @ 1/8" = 1'0" min. scale;
 - * Foundation plan designed and sealed by a Registered Professional Engineer;
- 4) Final specifications describing all materials to be used on the project;
 - * Indicate manufacturer and color of all finish materials to be used on the exterior of the house;
- 5) Site schematic plan including:
 - * Building setbacks, easements and R.O.W.'s;
 - * Utility service locations;
 - * Siting of improvements, including house, garage, driveway, and location and type of fencing;
- 6) Landscape planting plan.

8.3 Processing Requirements

The Architectural Review Committee shall review and approve in writing, each submittal or recommend revisions to those aspects of the plans that are inconsistent with the builder guidelines. The review and approval process shall not exceed the follow time constraints:

Production/ Patio Homes

Phase I (initial plan review) - 15 Days

Phase II (site specific plans) - 15 Days

Custom Homes/ Additions & Remodels

Phase I (conceptual design) - 15 days

Phase II (construction documents) - 15 days

Construction shall proceed only after approval of the final set of drawings and specifications. Changes that occur during actual construction that differ from approved drawings will require alterations at the Owner's expense to restore compliance with approved drawings. No drawings are considered approved unless they are approved in writing by the ARC.

8.4 Final ARC Review

A final inspection will be performed by the Architectural Review Committee, and ARC approval must be obtained before occupancy of any new home.

The purpose of this inspection is to ensure that the approved drawings were complied with, and that the landscaping and fencing meets the minimum requirements set forth in these Builder Guidelines.

When scheduling final inspections, the builder should contact the developer at least three (3) business days before the desired inspection. If re-inspections are required due to non-compliance the builder will be charged a re-inspection fee.

8.5 Project Information

Developer:

Mag Creek LP
KW Interests, LLC as General Partner
Mr. Lynn Watkins
610 West Main, Suite 101
League City, TX 77573
Phone: 281/316-3900
Fax: 281/316-3935

Project Engineer:

LJA Engineering & Surveying, Inc.
Wallace Trochesset
2929 Briarpark Drive, Suite 500
Houston, TX 77042
Phone: 713/953-5200
Fax: 713/953-5026

League City PID Number One; Zone Administration:

Knudson & Associates
John Havenstrite
8588 Katy Freeway, Suite 441
Houston, TX 77024
Phone: 713/463-8200
Fax: 713/463-8011

L.C. PID Number One; Tax Assessor/ Collector:

Assessments of the Southwest
Thomas Lee
PO Box 1368
Friendswood, TX 77549-1368
Phone: 281/482-0216
Fax: 281/482-5285

Galveston County MUD #6; Bookkeeper:

District Data Services, Inc.
John Standley
8558 Katy Freeway, Suite 119
Houston, TX 77024
Phone: 713/932-7908
Fax: 713/932-8809

Magnolia Creek Homeowner's Association:

PO Box 1473
League City, TX 77574

Magnolia Creek HOA, Management Company:

Principal Management Group, Inc.
Sandy Gingles
18333 Egret Bay Boulevard, Suite 445
Houston, TX 77058
Phone: 281/333-5173
Fax: 281/333-4475

Utility Provider, Electricity:

Texas-New Mexico Power Company
105 East Spreading Oaks
Friendswood, TX 77546-0105
Phone: 281/482-7941

Utility Provider, Water & Sewer:

City of League City
Water Utilities Department
300 West Walker
League City, TX 77573
Phone: 281/338-4816

Utility Provider, Telephone:

Verizon Telephone
Phone: 800/483-1000

Utility Provider, Natural Gas:

Reliant Energy – Entex Gas Company
Phone: 281/422-8308

Utility Provider, Cable Television:

GateHouse Networks
Phone: 800/795-5742

