



(713) 443-1891 5090 Richmond Ave. #387 Houston, TX 77056

PROPERTY INSPECTION REPORT FORM

Ike Exezidis

Name of Client

12/7/2023

Date of Inspection

3723 Anita St. Houston, TX 77004

Address of Inspected Property

Robert Guilbeau

Name of Inspector

Professional Insp #7063

TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: Items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

The inspection, and the inspection report, are confidential, and are made for the sole benefit of the CLIENT. Under no circumstances shall the inspection or report be deemed for the benefit of any third party.

The written report constitutes the sole source of opinions and communications by Expert Inspection Services, Inc. on which the client may rely. No representation, statement or communication by an Expert Inspection Services, Inc. inspector is binding unless it appears in the PROPERTY INSPECTION REPORT.

In the event of any claims or disputes, which may arise, the CLIENT agrees to allow Expert Inspection Services, Inc. or its agents to examine the item or components before any repairs or replacements are undertaken. Failure to allow said examination prior to repairing or replacing the system or components in question will constitute a waiver of any and all claims against Expert Inspection Services, Inc. its employees and its agents.

The CLIENT agrees that **Expert Inspection Services, Inc., its employees, and its agent's liability, if any, shall be limited to the amount of the inspection fee paid for the inspection.** This limitation of liability applies to anyone, including CLIENT, who is damaged or has to pay expenses of any kind, including attorney fees and costs, because of mistakes or omissions by the inspector in this inspection and/or report. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to negligence.

Acceptance and use of this inspection report acknowledge agreement to the above terms and conditions. If the client does not understand or agree to these terms and conditions, then the CLIENT should contact Robert Guilbeau at (713) 443-1891 prior to use of this report.

Thank you for choosing Expert Inspection Services, Inc. to perform this service! Your business is valued and appreciated.

Property Orientation: For purposes of this report the front of the structure faces **SOUTH.**

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficient			
I	NI	NP	D	Inspection Item											

I. STRUCTURAL SYSTEMS

A.

Foundations

Type of Foundation(s): Pier & Beam with concrete grade beams

Comments:

Deficiency: There are signs of excessive differential foundation settlement in the structure such as cracks in the interior sheetrock, cracks in the foundation's exterior grade beam, doors that do not close properly, un-level door headers, and un-level floors. These conditions indicate that the foundation may require a permanent remedy to stabilize the structure in some areas. The best course to follow for foundation settlement is to consult a structural engineer and/or a qualified foundation repair specialist so that a course of corrective procedures can be evaluated.



Note: The foundation's crawlspace was not accessible and was not entered. The foundation was inspected from inside the home, the foundation's perimeter, ventilation openings, and from small openings in the concrete grade beam.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

B. **Grading & Drainage**

Comments:

Deficiency: The soil levels are high against the foundation and/or slope towards the foundation at various locations on all sides of the home. It is generally accepted that there should be at least 4 to 6 inches of exposed concrete between the bottom of the veneer or siding and the soil. The soil adjacent to the foundation should slope away from the foundation at least 6 inches in the first 10 feet where possible.

Deficiency: The roof's gutters are damaged and appeared to leak at numerous locations.



C. **Roof Covering Materials**

Type(s) of Roof Covering: Composition shingle
Viewed From: Ground level with binoculars, A ladder at roof level
Comments:

Deficiency: The roof is in poor general condition:

- Multiple shingles are damaged and appear excessively worn/deteriorated
- Multiple shingles have excessive granule loss
- Numerous shingles are missing
- Water stained/damaged materials are present on the ceiling (indicating water penetration)

The roof should be replaced.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------



Deficiency: Composition shingles are installed over wood shingles. Wood shingles should be removed and roof decking should be installed.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

D. **Roof Structure & Attics**

Viewed From: Entered attic and performed a visual inspection of accessible areas
Approximate Average Depth of Insulation: 0 inches
Comments:

Deficiency: The installation of insulation is recommended inside the attic.



Deficiency: The attic access panel in the hallway should be properly insulated and equipped with weather stripping.

Deficiency: The attic's access door (pull down ladder) does not seal tightly when closed.



Deficiency: The roof's purlin and purlin bracing is not installed according to current standards at multiple locations in the attic. According to the International Residential Code:

- Purlins should be sized no less than the required size of the rafters they support
- Purlins should be positioned so that their 2 inch dimension is in contact with the rafters
- Purlins should be continuous
- Purlins should be supported by at least 2x4 braces installed to bearing walls at a slope not less than 45 degrees from the horizontal
- Braces should be spaced not more than 4 feet on center
- The unbraced length of braces should not exceed 8 feet

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: The roof's rafters have separate from their ridge boards at multiple locations.



E. **Walls (Interior & Exterior)**

Comments:

- This is a visual, non-destructive, non-invasive inspection.

Deficiency: General caulking and sealing should be performed on the structure's exterior as needed.

Deficiency: Numerous components are water damaged on the walls and floor near the bathtub.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------



Deficiency: The exterior siding and trim are significantly rotten/damaged at numerous locations on all sides of the structure. A contractor that specializes in exterior siding should evaluate the siding and trim and make the necessary repairs.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------



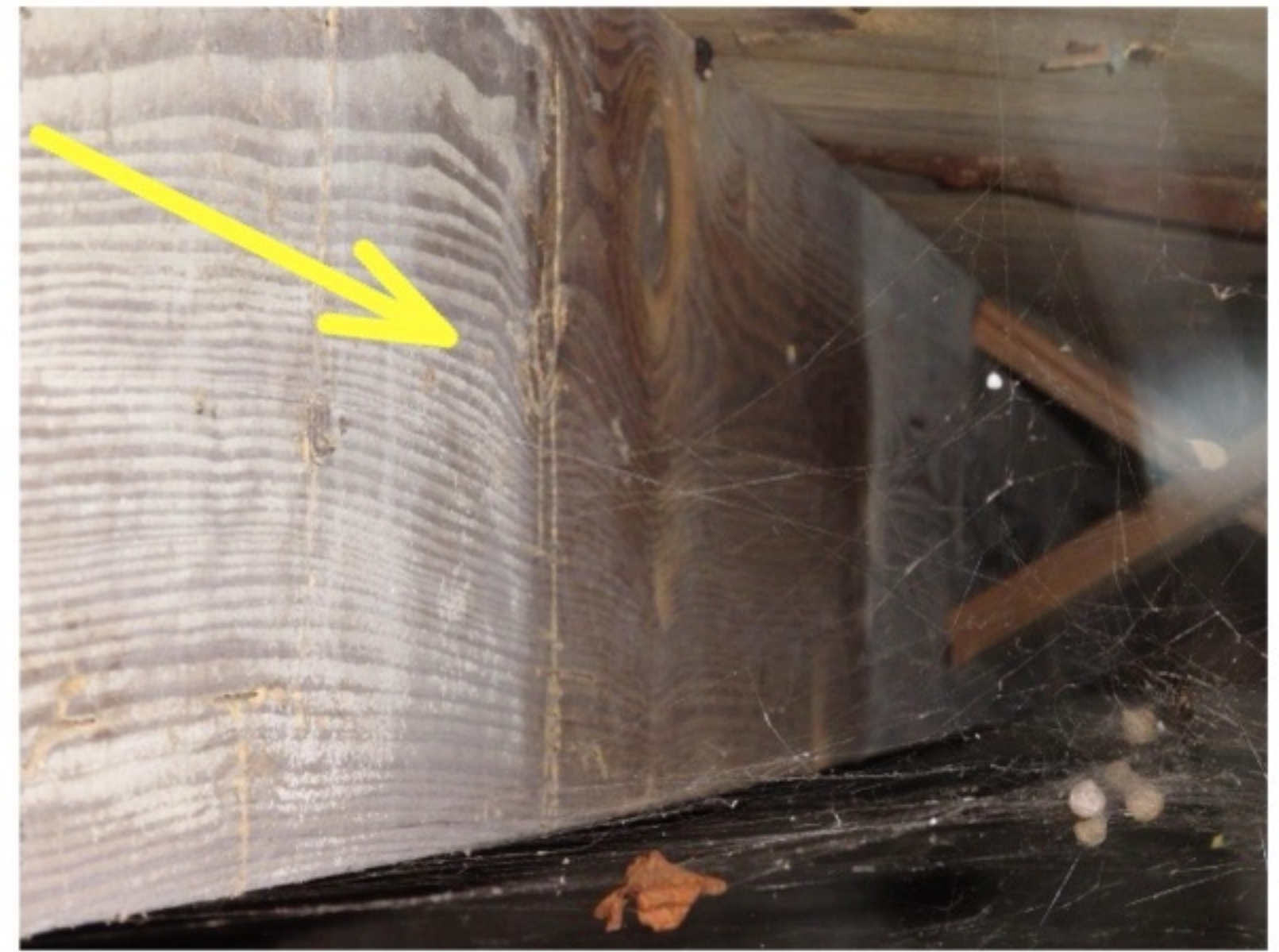
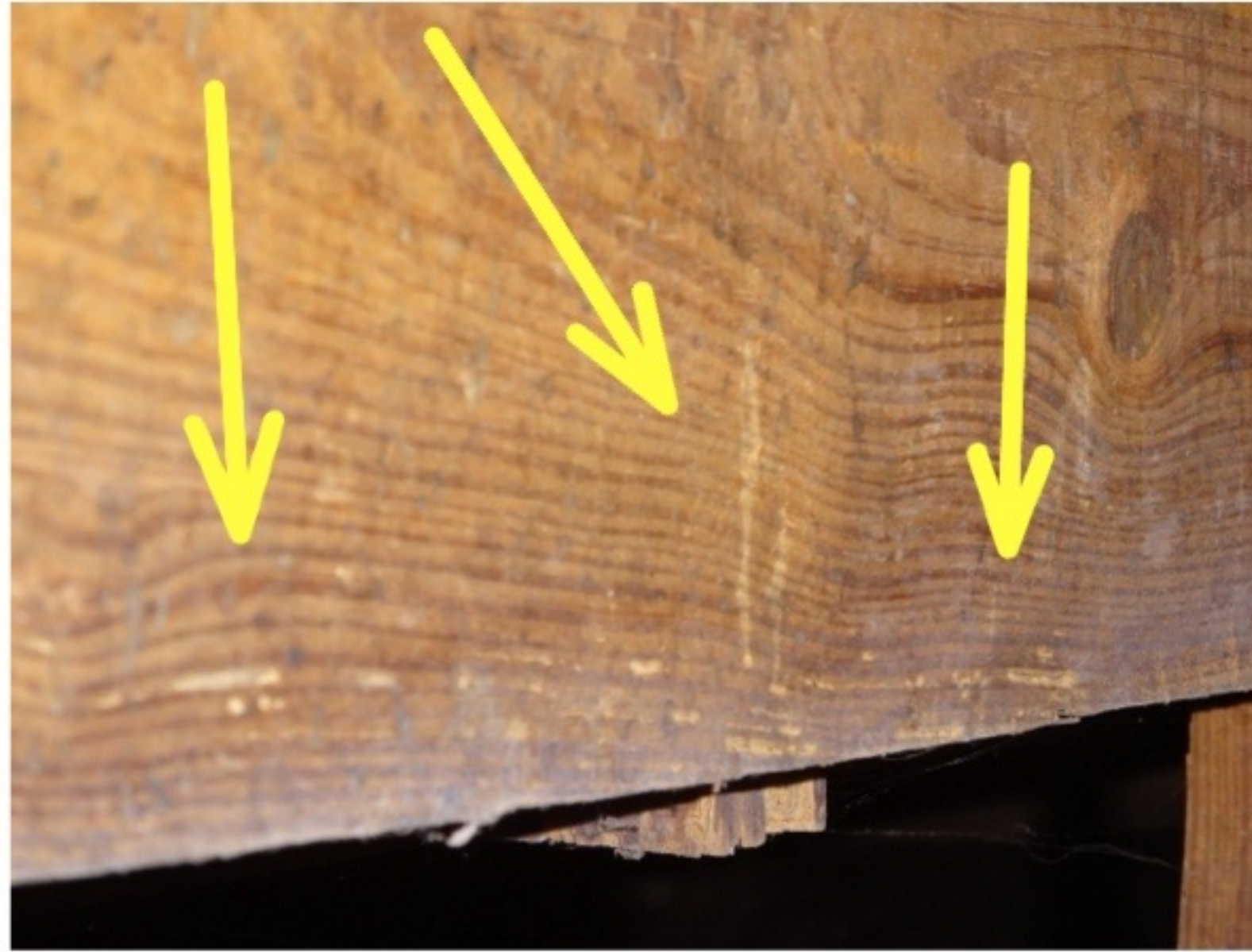
Deficiency: Evidence of previous termite activity was observed. (See the Texas Official Wood Destroying Insect Report issued by Robert Guilbeau CA #0559586 with Expert Inspection Services, Inc. TPCL #0695737.) When visible evidence of previous termite activity is reported, it should be assumed that some degree of damage is present. The condition of the structural framing inside the walls was not visible and could not be determined without damaging the structure.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

F. **Ceilings & Floors**
Comments:

Deficiency: The floors make abnormal noises and move when walked on at multiple locations throughout the home. This indicates that components of the floor structure are damaged.

Deficiency: Numerous floor joists are damaged throughout the foundation's crawlspace.



Deficiency: Floor decking is damaged at numerous locations.



Deficiency: The floor coverings are damaged at multiple locations in the structure.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											



Deficiency: There are water stains on the ceiling in the primary bedroom. This indicates that the roof above this area may allow water to penetrate into the structure. A roofing contractor should evaluate the roof above this area and make any necessary repairs.



Deficiency: Discoloration from water is present on the doorjamb between the front entry and the living room. This indicates that the roof above this area may allow water to penetrate into the structure. A roofing contractor should evaluate the roof above this area and make any necessary repairs.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

G. Doors (Interior & Exterior)
Comments:

Deficiency: The door is missing between the kitchen and the dining room.



Deficiency: Multiple doors do not open/close properly.

Deficiency: All exterior doors do not seal tightly when closed.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: Weather stripping is damaged at all exterior doors.



Deficiency: The exterior door on the back of the home is damaged and rusted.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

H. **Windows**

Comments:

Deficiency: The windows are in poor general condition.

- Glass is damaged
- Frames are damaged
- Locks are damaged
- Most windows do not open
- Screens are missing and/or damaged

Replacement of the home's windows is recommended.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: There are permanently fixed security bars on multiple windows in the home. Every sleeping room should have at least one openable window or exterior door opening for emergency escape and rescue. Security bars should be releasable or removable from the inside without the use of a key, tool, special knowledge or abnormally great force.



I. **Stairways (Interior & Exterior)**

Comments:

NOT PRESENT

J. **Fireplaces and Chimneys**

Comments:

NOT PRESENT

K. **Porches, Balconies, Decks, and Carports**

Comments:

SATISFACTORY

L. **Other**

Comments:

NOT INSPECTED

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

II. ELECTRICAL SYSTEMS

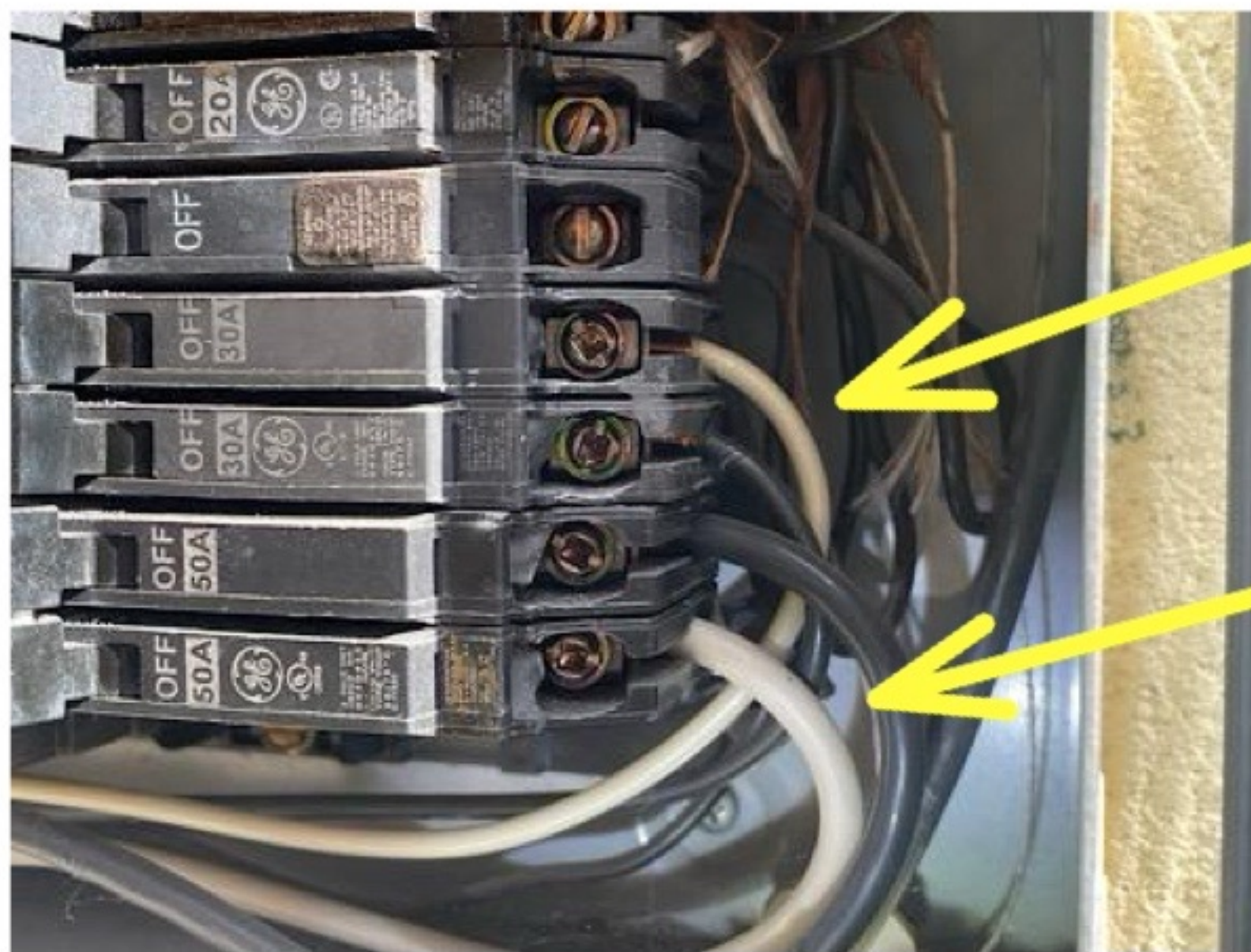
A. Service Entrance and Panels

Comments:

Deficiency: The electrical system is not equipped with A.F.C.I. breakers. According to newer standards, A.F.C.I. breaker protection should be present for all circuits servicing the kitchen, family room, dining room, living room, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and laundry room.



Deficiency: White wires have been used as hot wires at multiple locations at the main electric panel. Hot wires should be black or red. These wires should be appropriately marked as hot.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: The main electric panel's breakers should be adequately labeled.



Deficiency: The open space in the main electric panel should be properly covered.



B. **Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Copper

Comments:

- Receptacles, switches and other components located behind furniture and other objects are considered inaccessible and were not inspected.
- Exterior lights controlled by photocells were not inspected.
- Low voltage systems (phone, cable, etc.) were not inspected.

Deficiency: The home is not properly protected by G.F.C.I. (Ground Fault Circuit Interrupter) breakers. G.F.C.I. breaker protection should be present at receptacles servicing the kitchen countertops, in the bathrooms, in the laundry, and outside.

Deficiency: Multiple smoke alarms did not function properly. All existing smoke alarms appear to be beyond their typical life expectancy. Replacement of all of the home's existing smoke alarms and installation of additional smoke alarms is recommended. Functional smoke alarms should be present inside and directly outside of each sleeping area with at least 1 on each level at a minimum.

Deficiency: The home's receptacles are not tamper resistant.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: The home's receptacles are not grounded.

Deficiency: Numerous light fixtures are damaged and did not function.

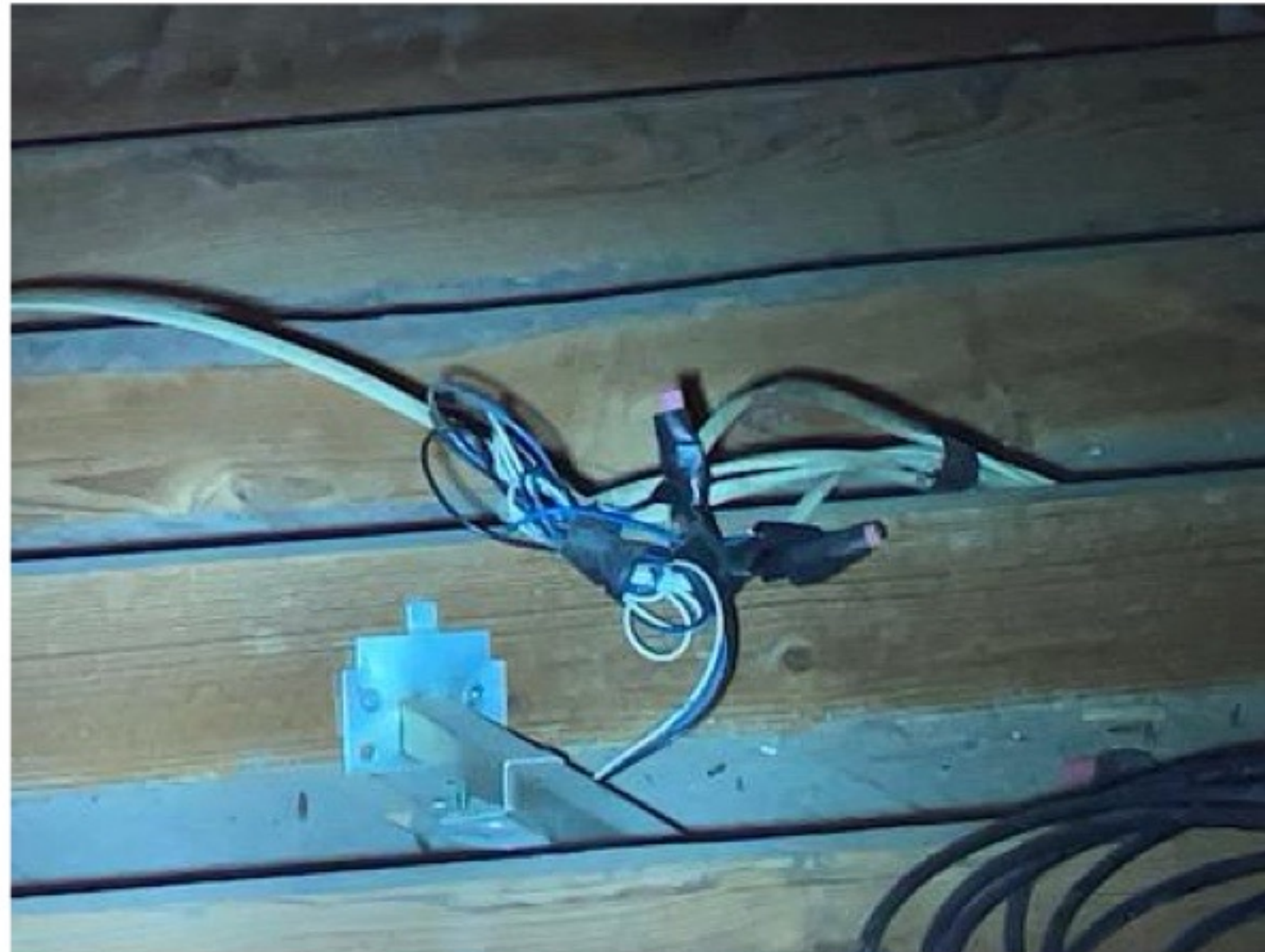


M

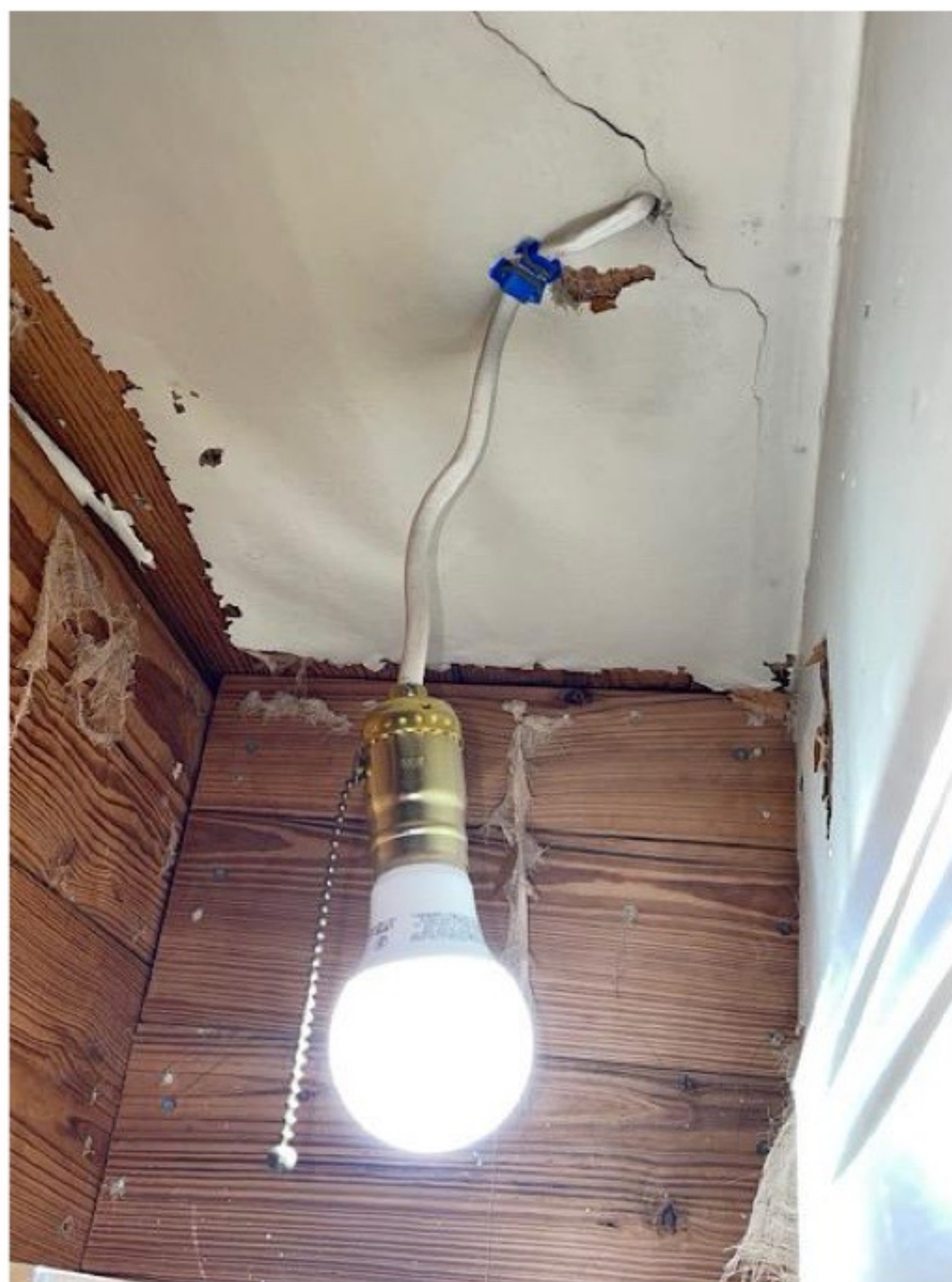
Report Identification: 3723 Anita St.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: Exposed electrical wire splices should be properly covered at multiple locations in the attic.



Deficiency: A light fixture is not installed properly in the primary bedrooms's closet.



Deficiency: Multiple extension cords are in use. This is most likely due to a lack of sufficient receptacles. Extension cords should not be used as permanent wiring.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------



c.

Other

Comments:

NOT INSPECTED

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A.

Heating Equipment

Type of Systems: None

Energy Sources: N/A

Comments:

NOT PRESENT

B.

Cooling Equipment

Type of Systems: 6 Window Type A/C Units

Comments:

Deficiency: 5 of 6 window A/C units did not cool. Only the window A/C unit in the living room cooled.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

C. **Duct System, Chases, and Vents**
Comments:

NOT PRESENT

D. **Other**
Comments:

NOT INSPECTED

IV. PLUMBING SYSTEM

A. **Plumbing Supply, Distribution Systems and Fixtures**

Location of water meter: Near the Street
Location of main water supply valve: Not Located
Static water pressure reading: 53 psi
Type of supply piping material: Galvanized steel, CPVC, PEX
Comments:

Deficiency: The sink's faucet in the kitchen is loose.



Deficiency: The sink's faucet in the kitchen drips went off.

Deficiency: The sink's faucet in the kitchen is missing its aerator.

I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: The bathtub is significantly rusted.



Deficiency: Water supply plumbing is excessively rusted/corroded at numerous locations. A licensed plumber should evaluate the plumbing and make all necessary repairs.



Deficiency: The bathtub's faucet is loose.



I=Inspected				NI=Not Inspected				NP=Not Present				D=Deficiency			
I	NI	NP	D	Inspection Item											

Deficiency: The home's exterior faucets should be equipped with backflow prevention devices.



Deficiency: Water supply plumbing should be insulated at multiple locations.

B. **Drains, Wastes, and Vents**

Comments:

Type of drain piping material: Cast iron, PVC

- This is a visual and functional inspection only. Specialized hydrostatic and/or invasive testing was not performed.

FUNCTIONAL

C. **Water Heating Equipment**

Energy Source: Gas

Capacity: 40 Gallons

Comments:

Deficiency: The drain line on the Temperature and Pressure Relief (TPR) Valve serving the water heater is improperly constructed. It should be sloped so that it drains by gravity.



I=Inspected				NI=Not Inspected	NP=Not Present	D=Deficiency
I	NI	NP	D	Inspection Item		

Note: Based on its label & general condition, the water heater appears to have been manufactured in 2018.

D. **Hydro-Massage Therapy Equipment**

Comments:

NOT PRESENT

E. **Gas Distribution Systems and Gas Appliances**

Location of gas meter: None

Type of gas distribution piping material: N/A

Comments:

NOT PRESENT

F. **Other Comments:**

NOT INSPECTED

V. APPLIANCES

A. **Dishwashers**

Comments:

NOT PRESENT

B. **Food Waste Disposers**

Comments:

NOT PRESENT

Report Identification: 3723 Anita St.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficiency

I	NI	NP	D	Inspection Item
---	----	----	---	-----------------

C. **Range Hood and Exhaust Systems**
Comments:

NOT PRESENT

D. **Ranges, Cooktops, and Ovens**
Comments:

NOT PRESENT

E. **Microwave Ovens**
Comments:

NOT PRESENT

F. **Mechanical Exhaust Vents and Bathroom Heaters**
Comments:

NOT PRESENT

G. **Garage Door Operators**
Comments:

NOT PRESENT

H. **Dryer Exhaust Systems**
Comments:

FUNCTIONAL

I. **Other**
Comments:

NOT INSPECTED