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July 7, 2023
979-229-0068

PRELIMINARY FOUNDATION INSPECTION REPORT: JOB NO. 23-F212

LOCATION: 17022 Blackhawk Blvd
Friendswood, TX

DATE OF INSPECTION: July 2, 2023

OBSERVATIONS:

This structure consists of a single-family, single-story wood frame brick veneer residential house constructed on a conventional slab foundation. According to realty records, the structure contains 1 ft² of living area and was constructed in 1974. Based on discussions with the homeowner and realty records, the house was approximately 3 years ago after an extensive interior remodel. The homeowner also provided details showing where 15 pressed piles were installed in 2014 to support the front perimeter and the front section of the left and right perimeter. The paperwork detailing the pressed pile locations is attached to the end of this report. Also, the paperwork from the original foundation repair is also included. Refer to this write-up and the attached drawing for a list of notable deficiencies and future work needed.

CONCLUSIONS:

A laser floor scan was taken throughout the interior as detailed on the attached report. The stabilized perimeter portion of the foundation does show up to 0.8" of elevation drop when compared with the center of the structure. This is common after foundation repair and not of concern. The stabilized perimeter work completed appears to be supporting the foundation as intended. The master bathroom area does show some interior settlement. While spot elevation readings do show interior settlement of up to 1.9", all door frames show to be square and no significant sheetrock cracks were present in the area of concern. Based on physical observation, laser slope readings and door level checks, it is likely that the current settlement was present prior to the time of remodel which was at least 3 years ago. If the area of concern was to be stabilized, it would require interior entry for stabilization. While the settlement is not preferred, the degree of settlement and the amount of deficiencies are not enough to warrant foundation stabilization work at this time. All doors are functioning without door racking or excessive misalignment and interior sheetrock deficiencies are minimal to non-existent. If a significant remodel were to take place, I would recommend stabilizing the master bathroom area at that time. It also should be noted that a distinct diagonal brick veneer crack is present outside the master bathroom back left perimeter area and the front bedroom right front perimeter area. In the front bedroom section, the area has already been stabilized and further lifting would be counterproductive. In the master bathroom back corner, slope readings are not significant enough to warrant lifting the structure. In both areas, interior cosmetic issues were minimal to non-existent.

RECOMMENDATIONS:

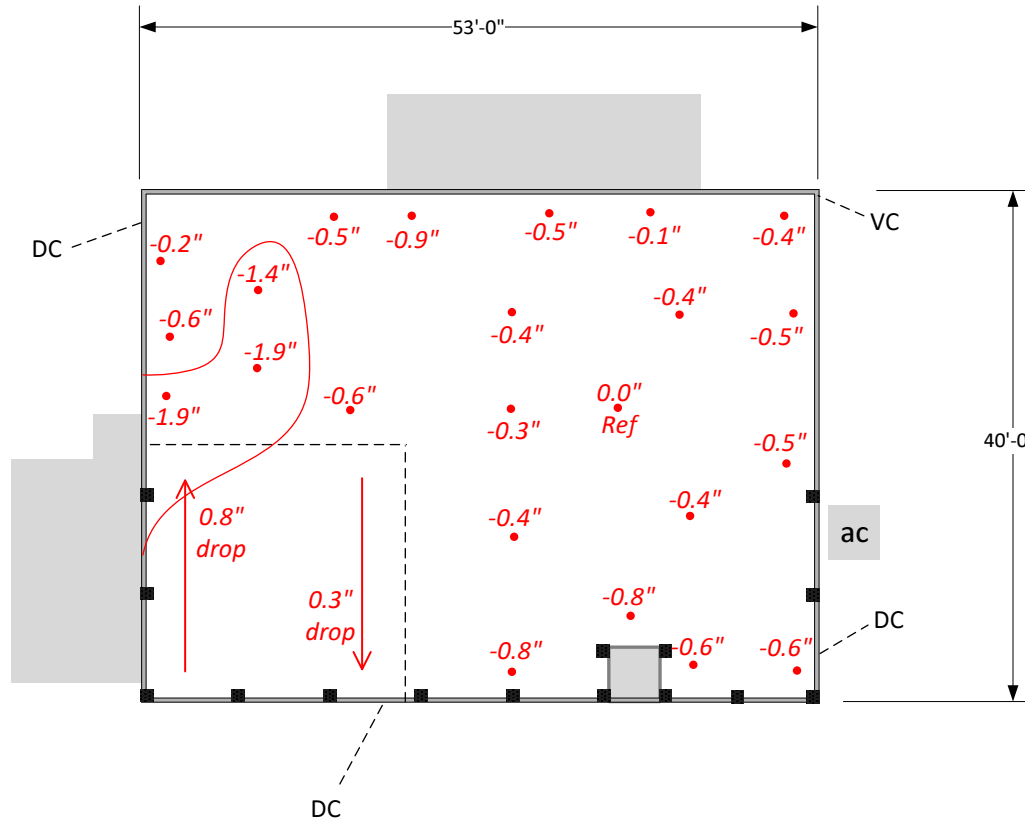
I do not recommend foundation repair work at this time. I do recommend that the homeowner establish a regular watering plan around the perimeter of the house during periods of dry weather so that the moisture in the soil supporting the foundation will continue to remain more consistent.

Respectfully submitted,



Greg A. Brooks, P.E. #114197 7-7-2023
F-15269



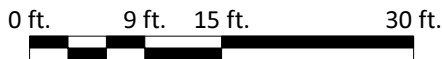


Slope readings shown in red in inches of elevation drop vs center of structure

Exterior Deficiencies

DC – Diagonal Brick Crack
 VC – Vertical Brick Crack

■ Existing Pressed Piles



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 7/7/2023



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Proposed Foundation Repair 18022 Blackhawk Blvd Friendswood, TX			
PO Box 2373 Freeport, TX 77542	SIZE L	JOB NO	DWG NO 23-F212-01
gregbrookspe@yahoo.com (979)229-0068	SCALE 1in = 15ft. 0in.	SHEET	REV 0
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