



**BPG Inspection, LLC**



**4601 Woodway Avenue  
Rosenberg TX 77471**

Client(s): Serrano  
Inspection Date: 9/27/2023  
Inspector: Silviu Stanescu , TREC #24311 (TX)

Stephany Serrano	9/27/2023
<i>Name of Client</i>	<i>Date of Inspection</i>
4601 Woodway Avenue, Rosenberg, TX 77471	
<i>Address of Inspected Property</i>	
Silviu Stanescu	TREC #24311 (TX)
<i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

**PURPOSE OF INSPECTION**

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

**RESPONSIBILITY OF THE INSPECTOR**

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

**RESPONSIBILITY OF THE CLIENT**

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

**REPORT LIMITATIONS**

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:**

Thank you for choosing BPG Inspections.

Silviu Stanescu

Professional Home Inspector

TREC License # 24311

Direct: (832) 965-7192

Scheduling: 1-800-285-3001

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (I)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Deficient (D)** = The item, component or unit is not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Any pictures included in this report are not meant to represent every defect that has been found. There may be action items that do not have a picture included. We suggest reading the entire report to find all of the defects that have been reported on. Pictures, if included, represent only the key finding associated with that picture. If you have any questions on the key findings, please contact the inspector for clarification.

Items in the Property Information Report may have been inadvertently left off the key Findings report. Clients and Agents should read the entire Inspection Report to get a complete understanding about the condition of the home. NOTE: Please read all of the pages of the contract to better understand all the provisions and Limitations of your home inspection company 90 Day Guarantee.

During your final walk-through inspection you should have the opportunity to check the home when it is vacant. At this time you may be able to check the areas that were concealed at the time of the inspection. You should check to see if anything has changed since the original home inspection (that is typically performed a few months prior to closing). It is also advisable for the owner to provide any operating manuals for equipment, along with any warranties that are available. You should operate kitchen equipment, plumbing fixtures, heating and air conditioning systems, and any other equipment that is included as part of the purchase. It is also important to check for any signs of water penetration problems in the house (interior and in the attic). If the owner has agreed to any repair work, the documentation for this work should be obtained. Any problems that are discovered during the walk through inspection should be discussed with your agent/representative, prior to closing.

Many homes we inspect are freshly painted. While this is often done for aesthetic reasons, unfortunately this can often conceal signs of conditions that could have been reportable had they been seen. It is also very common to find homes that have had repairs or renovations done in the months prior to the inspection. Your inspector cannot know what conditions existed prior to the repairs or all of the reasons that the repairs were performed. It is important for the buyer to obtain from the seller a full list of the repairs and renovations, cosmetic and otherwise, that were done on the home during their ownership. The buyer should ensure that this list always includes any permits that were obtained and any warranties that are still in place on the work done or the equipment installed. Any inconsistencies in the seller's disclosures should always be addressed with the seller prior to closing.

This home is older than 40 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

<b>Style of Home:</b> Single Family, One Story	<b>Age Of Home:</b> 1982	<b>Home Faces:</b> South
<b>Vacant or Occupied:</b> Vacant	<b>Client(s) Present:</b> Buyer, Buyer's Agent	<b>Weather:</b> Rain, Cloudy
<b>Temperature:</b> Over 90	<b>Rain in last 3 days:</b> Yes	<b>Recommended Professionals:</b> (Based on reported deficiencies)

Thank you for choosing BPG for your property inspection. We value your business and are available should you have any follow-up questions regarding your report.

This report represents our professional opinion regarding conditions of the property as they existed on the day of our inspection. We adhere to the Standards of Practices as outlined in our Inspection Agreement.

Your **INSPECTION REPORT** includes three sections: **1) Key Findings**, **2) Property Information**, and **3) Inspection Agreement**. It is important to evaluate all three sections in order to fully understand the property and general conditions. The following definitions may be helpful in reviewing your reports.

 Action Items may include:

- Items that are no longer functioning as intended
- Conditions that present safety issues
- Items or conditions that may require repair, replacement, or further evaluation by a specialist
- Items that were inaccessible

 Consideration Items may include:

- Conditions that may require repair due to normal wear and the passage of time.
- Conditions that have not significantly affected usability or function- but may if left unattended.

### SECTION I. KEY FINDINGS

This section is designed to summarize the findings and conditions that may require your immediate attention. Typically, the Key Findings Summary is used to help prioritize issues with other parties involved in the real estate transaction. *It is important to review carefully all sections of your report and not rely solely on the Key Findings summary.*

### SECTION II. PROPERTY INFORMATION

This section contains our detailed findings on all items inspected. Component locations, system types and details, maintenance tips, and other general information about the property will be included as appropriate.

### SECTION III. INSPECTION AGREEMENT

This section details the scope of the inspection. BY ACCEPTANCE OF OUR INSPECTION REPORT, YOU ARE AGREEING TO THE TERMS OF OUR INSPECTION AGREEMENT. A copy of this agreement was made available immediately after scheduling your inspection and prior to the beginning of your inspection. In addition, a copy is included on our website with your final inspection report.

**To retrieve your full PROPERTY INSPECTION REPORT (all 3 sections) from our Web site:**

- Point your web browser to <http://www.bpginspections.com>
- Click on **View Your Inspection Report**
- Enter the **Report Id** and **Client Last Name** (shown below)
  - Report Id: 1018779
  - Client's Last Name: Serrano
- Follow the instructions to either view the report online or download it to your computer.

Again, thank you for selecting us as your inspection company. Please contact our Customer Service Center at 800-285-3001 should you have any questions about your reports or desire additional assistance.

## Action / Consideration Items

### Structural Systems

#### Foundations

- ❌ 1. At the time of inspection the foundation appeared to have some movement considered beyond normal, exceeding acceptable tolerances. Observations made to support this opinion are listed, but not limited to the following: cracks observed on the exterior foundation; cracks in exterior veneer wall covering; window frame separation; interior sheetrock cracks and/or stress indicators; Doors will not close properly, stick or bind in jamb. A structural professional should be consulted to evaluate the current integrity of the foundation and propose necessary repairs (if any).

#### Roof Covering Materials

- ❌ 2. There were vent, counter or step flashings observed to be raised, improperly sealed and/or damaged. A qualified roofer should reseal and seal these roofing components as needed to prevent any future water penetration.
- ❌ 3. The chimney flashing is loose, and could present an area for water penetration. A qualified roofer should evaluate and perform repairs as needed.

#### Roof Structures and Attics

- ❌ 4. There was evidence of leaks in areas of the attic (flue pipe penetrations). It could not be determined if any areas of the deck require repair. Replacement of flashing, jackboots or parts of covering at these areas may be necessary to ensure it is leak free. Roofer should evaluate roof covering, deck and exterior flashings and jackboots for need of repair or replacement.
- ⬆️ 5. BAT insulation observed to be improperly installed in attic. As per manufacturer's instructions, the moisture barrier (kraft paper) should be installed towards the living space of the house. Recommend having a qualified contractor make the necessary corrections

#### Walls (Interior and Exterior)

- ❌ 6. Set cracks in brick, stone and mortar observed in various locations. These cracks should be repaired to prevent moisture intrusion and further expansion. Have a qualified mason further evaluate and make any necessary repairs.
- ⬆️ 7. Cracks on interior walls in various areas, consistent with structural settling. Repair as needed.
- ❌ 8. There are areas of the home exterior wood siding, trim, fascia, etc. that have sustained varying levels of water (rot) damage and are in need of repair

#### Ceilings and Floors

- ⬆️ 9. Cracked mortar at tiles observed in guest bedroom and hall bath. The cracks appear to be following a pattern consistently typical of foundation settlement. Recommend mortar/grout repair as needed.

#### Doors (Interior and Exterior)

- ❌ 10. The door from inside garage to inside the home is not a solid core or metal clad, fire rated door. Additionally, I recommend installing self closing hinges as a safety feature to prevent exhaust gases (car, appliance) from entering the house. Replacement is recommended to meet modern standards.

#### Windows

- ⬆️ 11. Fresh sealant/caulk applications recommended on exterior window frames at walls. This is an ongoing maintenance item that should be performed on a regular basis to prevent the entry and subsequent damage from water/moisture.

#### Other

- ❌ 12. The pergola at rear of home appears to be structurally unstable (wobbly). Recommend having a qualified contractor further evaluate and make any necessary repairs.

## Action / Consideration Items

### Electrical Systems

#### Branch Circuits, Connected Devices, and Fixtures

- 13. Carbon monoxide alarms were not present outside each separate sleeping area nor in the immediate vicinity of the sleeping rooms. These are required when either of the following conditions exist: fuel fired appliance are installed in the dwelling and/or an attached garage with an opening into the dwelling unit. Updating to current safety standards is recommended.
- 14. There were exposed connections, open boxes observed under the kitchen sink. Secure, enclose in rated enclosures to prevent hazards.
- 15. There are no GFCI (Ground Fault Circuit Interrupt) protected outlets in locations called for by today's standards: all kitchen, baths, non dedicated garage below 6', and exterior outlets. I recommend updating to current standards.
- 16. There was an outlet found to be non-functional in the master bath. I recommend further evaluation/diagnosis and repair by a licensed electrician.
- 17. The circuit/outlet in guest bedroom is using an extension cord as permanent wiring. This circuit should be properly hardwired in rigid conduit or removed.

### Plumbing System

#### Plumbing Supply, Distribution Systems and Fixtures

- 18. Water hammer was heard when hot water in guest bathroom sink was running. Have a licensed plumber further evaluate and make the necessary repairs.

#### Drains, Wastes, and Vents

- 19. The drain was slow, and may be clogged in the guest bath sink and master bath tub. I recommend repair by a plumber.

### Appliances

#### Ranges, Cooktops, and Ovens

- 20. There is no child protection anti-tip device installed. Anti-tip brackets prevent the stove from accidentally tipping over if weight is placed on the oven door

#### Garage Door Operators

- 21. Garage door opener would not close normally without assistance by holding down the switch/button, and safety features could not be inspected. Sensitivity may be set too high, or unit may require repair. A qualified garage door contractor should evaluate and repair as needed.

#### Dryer Exhaust Systems

- 22. The dryer vent has excessive lint build-up and should be cleaned prior to use.

<b>Legend</b>	X No Action Items Found	 Action Item	 Consideration Item
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<b>Structural Systems</b>			
A.	Foundations		
B.	Grading and Drainage	X	
C.	Roof Covering Materials		
D.	Roof Structures and Attics		 
E.	Walls (Interior and Exterior)		 
F.	Ceilings and Floors	X	
G.	Doors (Interior and Exterior)		
H.	Windows	X	
I.	Stairways (Interior and Exterior)	X	
J.	Fireplaces and Chimneys	X	
K.	Porches, Balconies, Decks, and Carports	X	
L.	Other		
<b>Electrical Systems</b>			
A.	Service Entrance and Panels	X	
B.	Branch Circuits, Connected Devices, and Fixtures		 
C.	Other	X	
<b>Heating, Ventilation and Air Conditioning Systems</b>			
A.	Heating Equipment	X	
B.	Cooling Equipment	X	
C.	Duct Systems, Chases, and Vents	X	
D.	Other	X	
<b>Plumbing System</b>			
A.	Plumbing Supply, Distribution Systems and Fixtures		

B.	Drains, Wastes, and Vents		
C.	Water Heating Equipment	X	
D.	Hydro-Massage Therapy Equipment	X	
E.	Gas Distribution Systems and Gas Appliances	X	
F.	Other	X	
<b>Appliances</b>			
A.	Dishwashers	X	
B.	Food Waste Disposers	X	
C.	Range Hood and Exhaust Systems	X	
D.	Ranges, Cooktops, and Ovens		
E.	Microwave Ovens	X	
F.	Mechanical Exhaust Vents and Bathroom Heaters	X	
G.	Garage Door Operators	X	
H.	Dryer Exhaust Systems		
I.	Other	X	
<b>Optional Systems</b>			
A.	Landscape Irrigation (Sprinkler) Systems	X	
B.	Swimming Pools, Spas, Hot Tubs, and Equipment	X	
C.	Outbuildings	X	
D.	Private Water Wells (A coliform analysis is recommended)	X	
E.	Private Sewage Disposal Systems	X	
F.	Other Built-in Appliances	X	
G.	Other	X	

I = Inspected

NI = Not Inspected

NP = Not Present

D = Deficient

I	NI	NP	D
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## I. Structural Systems

### A. Foundations

**Type of Foundation(s):** Post-tension slab

**Foundation performance:** Performing as intended but with some repair requirements. See additional comments

**Foundation method of inspection:** Visual inspection of exterior

Comments:

The foundation inspection is limited. The inspector does not pull up floor coverings, move furniture, measure elevations or propose major repairs. The inspector does not enter crawl space areas less than 18". The client should understand that inspectors are not professional engineers. This inspection is neither an engineering report or evaluation, nor should it be considered one. Our inspection is based on general observation of the foundation, the inspector's personal experience with similar structures, and is performed without the use of specialized tools or procedures. If any cause for concern is noted on this report, or if you want further evaluation, you should consider contracting a structural engineer of your choice.

Expansive clay soils are common in central Texas. The soil can expand in volume (swell) when wet and can decrease in volume (shrink) when dry. This change in volume in the supporting soil can cause a corresponding reaction to a house foundation. Ensuring a consistent moisture level in the soil should help in maintaining stability of the foundation.

At the time of inspection the foundation appeared to have some movement considered beyond normal, exceeding acceptable tolerances. Observations made to support this opinion are listed, but not limited to the following: cracks observed on the exterior foundation; cracks in exterior veneer wall covering; window frame separation; interior sheetrock cracks and/or stress indicators; Doors will not close properly, stick or bind in jamb. A structural professional should be consulted to evaluate the current integrity of the foundation and propose necessary repairs (if any).



The corner "pops" and cracks visible at the outside corners of the foundation result from differential movement between the slow expansion of the brick wall, and the shrinking of the concrete foundation. Although they are not a structural problem, repair is recommended to prevent them from progressing further. Sidewalk repair caulking is the typical product used for this repair



### B. Grading and Drainage

Comments:

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It is advisable to maintain at least 6 inches minimum of clear area between the ground and siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches for every 10 feet.

The grading surrounding the structure appears adequate to properly drain runoff away from foundation.

C. **Roof Covering Materials**

**Types of Roof Covering:** Architectural

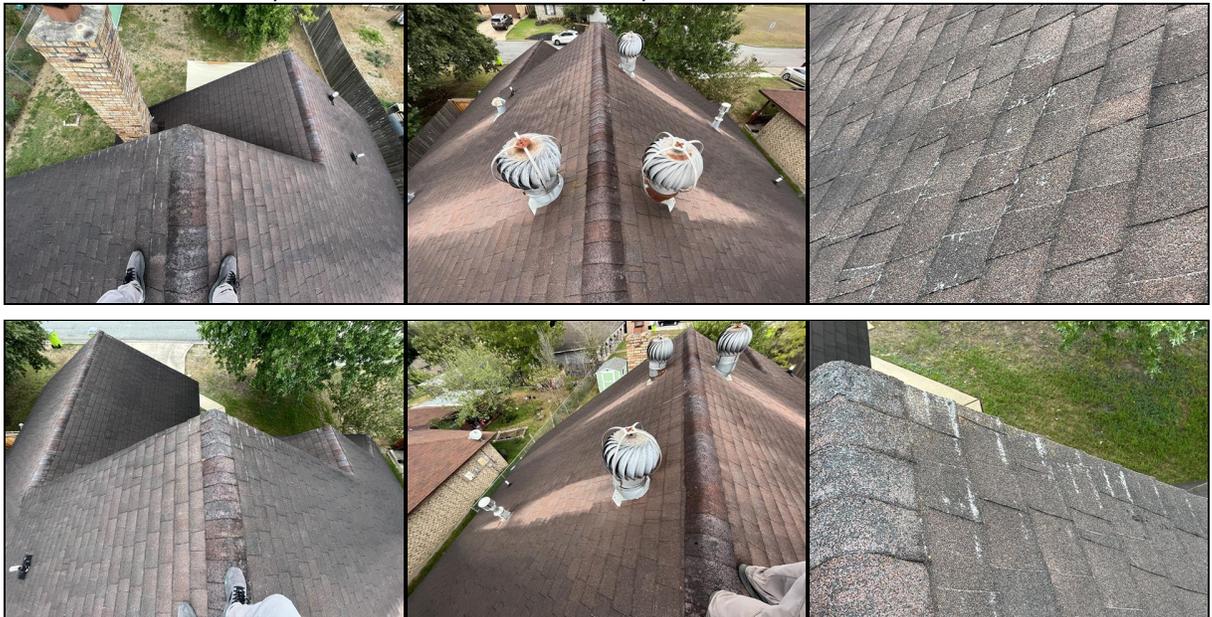
**Approximate Age of Roof:** Estimated, 16-20 Years Old

**Roof Viewed From:** Walked roof, (Limited Access Due to Roof Pitch)

Comments:

The inspector does not speculate on the remaining life expectancy of the roof covering. Inspection of fastening system at shingle tabs are not inspected as lifting shingles or tiles could damage the covering. Inspection of the roof surface, attic, and interior spaces should not be interpreted as a certification that this roof is or will be free of leaks, or of its insurability.

The roof covering appeared in fair condition according to age. Shingles appeared to be properly fastened. However, there were exceptions. Those deficiencies/exceptions are listed below.



There were vent, counter or step flashings observed to be raised, improperly sealed and/or damaged. A qualified roofer should reseal and seal these roofing components as needed to prevent any future water penetration.



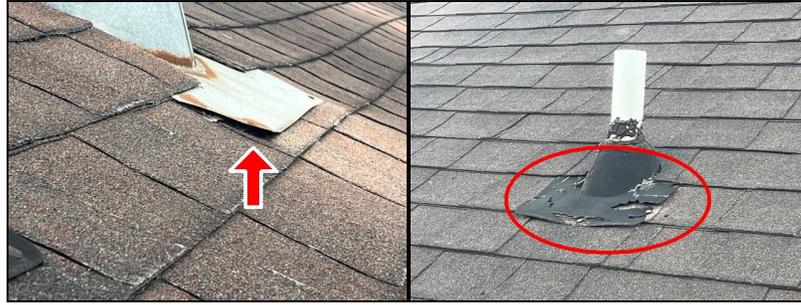
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The chimney flashing is loose, and could present an area for water penetration. A qualified roofer should evaluate and perform repairs as needed.



There were several roofing fasteners observed to be improperly sealed or exposed. Left unsealed the fastener penetrations could present a point of water penetration into the roof structure. Seal (caulk) all exposed roofing fasteners (i.e. plumbing vents, flue pipe roof jacks, flashings, and ridges lines).



D. Roof Structures and Attics

**Method used to observe attic:** Entered attic and performed a visual inspection, Limited Access

**Roof Structure:** Rafters

**Roof Ventilation:** Soffit Vents, Turbines, Passive

**Attic Access Info:** Pull Down stairs

**Attic Insulation:** Approximate, 9-10 Inches

Comments:

Only areas of the attic determined accessible by the inspector are inspected.

Inspecting for the presence or absence of rodents or other wildlife in the property is outside the scope of a home inspection. While we did not observe any outward signs of an infestation today, such as feces, trails or traps, a home inspection cannot provide any guarantee that any property is free from an infestation today or will remain free from an infestation in the future. We encourage you to inquire with the seller for any history of wildlife intrusions at the property and you may also wish to contact your pest control provider to see if they offer services that help prevent wildlife intrusions.

The structure appeared to be in good condition. However, the following exceptions were observed:

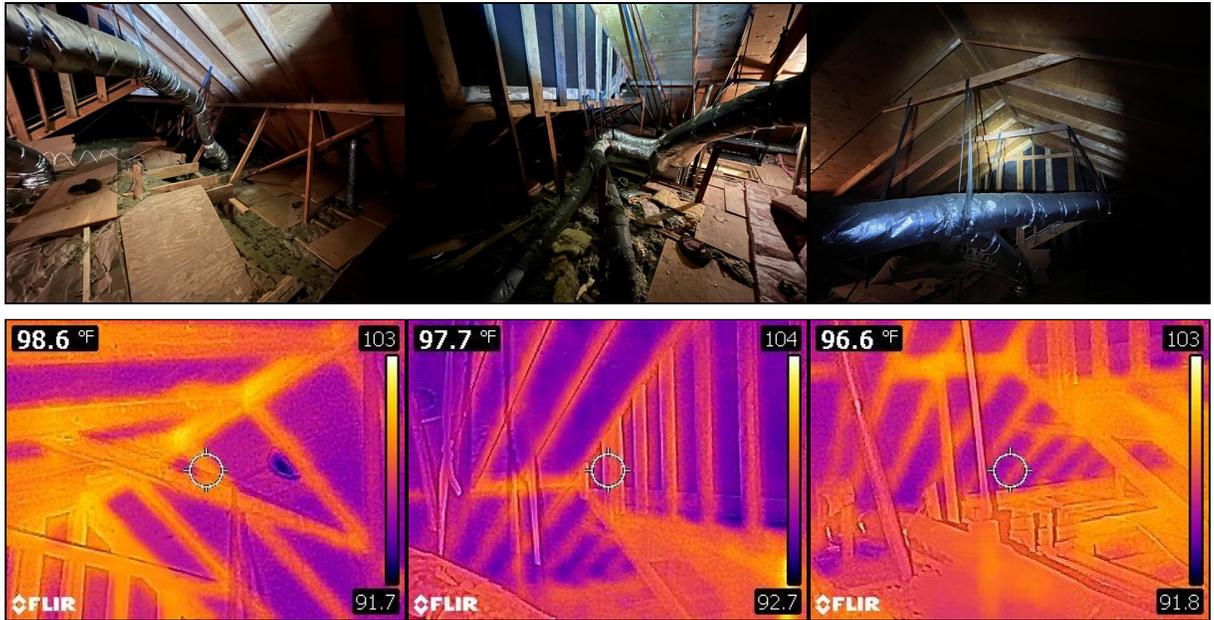
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I NI NP D



There was evidence of leaks in areas of the attic (flue pipe penetrations). It could not be determined if any areas of the deck require repair. Replacement of flashing, jackboots or parts of covering at these areas may be necessary to ensure it is leak free. Roofer should evaluate roof covering, deck and exterior flashings and jackboots for need of repair or replacement.



BAT insulation observed to be improperly installed in attic. As per manufacturer's instructions, the moisture barrier (kraft paper) should be installed towards the living space of the house. Recommend having a qualified contractor make the necessary corrections



E. Walls (Interior and Exterior)

**Wall covering/siding type:** Brick, Wood, Cement fiberboard

**Comments:**

Only readily accessible areas clear of furniture and occupant belongings are inspected. Observations are related to structural performance and water penetration only. The inspection does not include cosmetic damage. It is recommended that all surfaces be kept well sealed. If the home has stucco cladding the siding

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I	NI	NP	D
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should be monitored for cracks or separation in transitional joints and repaired. A home inspectors visual inspection of stucco clad homes may not reveal the presence of water infiltration and structural deterioration. It is recommended that EIFS stucco clad homes be further evaluated by a qualified EIFS or stucco repair contractor. This inspection does not cover any issues that are considered to be environmental. Such as, but not limited too, lead based paint, asbestos, radon, mold, mildew, fungus, etc.

There are joint cracks on the walls in various locations. These cracks appear to be typical settlement/shifting joint cracks with no other visible displacement. Recommend sealing (mortar) crack to prevent moisture incursion and monitor for further settlement/separation



Set cracks in brick, stone and mortar observed in various locations. These cracks should be repaired to prevent moisture intrusion and further expansion. Have a qualified mason further evaluate and make any necessary repairs.



Cracks on interior walls in various areas, consistent with structural settling. Repair as needed.



Exterior siding trim & transitional joints should be re-sealed (caulk) to prevent moisture incursion.

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I	NI	NP	D
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There are areas of the home exterior wood siding, trim, fascia, etc. that have sustained varying levels of water (rot) damage and are in need of repair



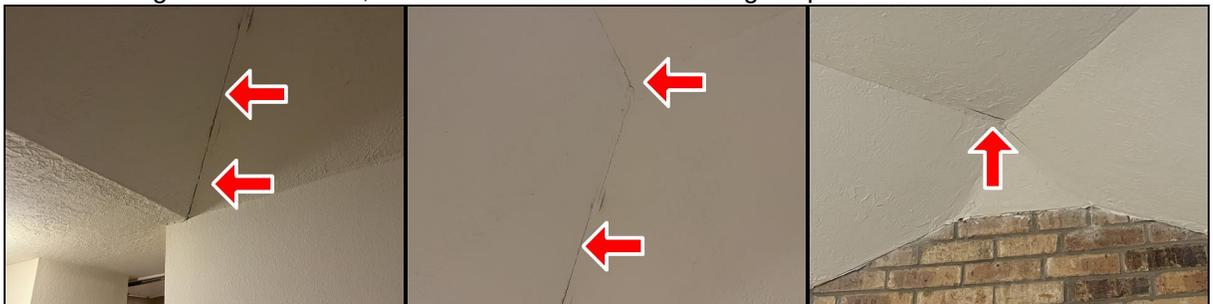
F. Ceilings and Floors

**Ceiling Structure:** 4" or better

Comments:

Observation of floors are related to structural performance and water penetration only. The inspection does not include obvious damage to carpets, tiles, wood, laminate or vinyl flooring

Cracks on ceiling in various areas, consistent with structural settling. Repair as needed.



Cracked mortar at tiles observed in guest bedroom and hall bath. The cracks appear to be following a pattern consistently typical of foundation settlement. Recommend mortar/grout repair as needed.

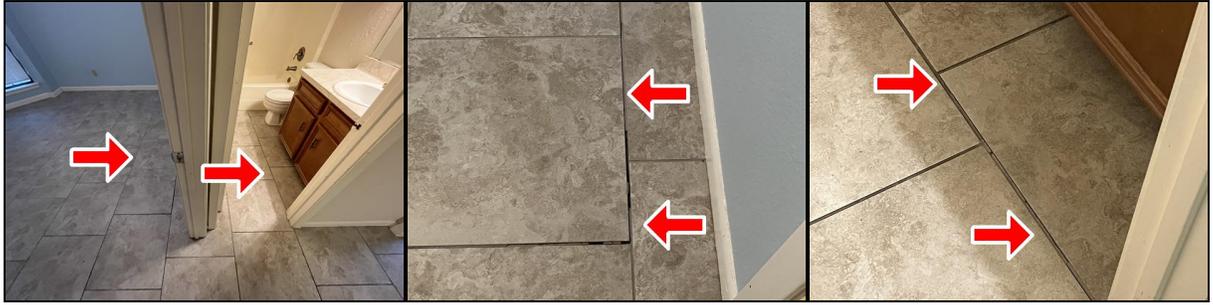
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I NI NP D



G. Doors (Interior and Exterior)

Comments:

Cosmetic items and obvious holes are not included in this report. It is common in the course of climate changes that some doors may bind mildly or the latches may need adjustment.

Closet door out of square/plumb in jamb. Have a carpenter evaluate and make adjustments, repairs.



The door from inside garage to inside the home is not a solid core or metal clad, fire rated door. Additionally, I recommend installing self closing hinges as a safety feature to prevent exhaust gases (car, appliance) from entering the house. Replacement is recommended to meet modern standards.



Attic door is out of square, does not close completely. Recommend having a qualified contractor make the necessary corrections to prevent heat/cold in attic from migrating into the living space.



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I	NI	NP	D
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H. Windows

**Window Type:** Aluminum Frame, Single Pane, Storm windows installed

Comments:

All accessible windows are operated normally to determine functionality. Windows that are blocked by occupant storage/furnishings are not lifted. Double pane window seals may be broken without having a visible amount of condensation built up between the panes. Obviously fogged windows are noted when observed but complete inspection is not possible due to light conditions, installed screens, dirt on surfaces and rain at time of inspection.

All accessible windows were opened and found to be in operable condition.

The storm windows were not inspected.

Fresh sealant/caulk applications recommended on exterior window frames at walls. This is an ongoing maintenance item that should be performed on a regular basis to prevent the entry and subsequent damage from water/moisture.



I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

**Operable Fireplaces:** One

Comments:

The inspection does not include the adequacy of draft or condition of flue tiles. Fireplaces are only operated if there is an electronic ignition source, with no open flame being applied to the gas source.

No deficiencies were observed at the time of inspection.



K. Porches, Balconies, Decks, and Carports

Comments:

The inspector does not determine the existence or adequacy of flashing at the attachment to the house. Monitor the condition of all deck railings and ensure they remain safe and secure. Verification or determination of load carrying capability of the deck is not included with this inspection.

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D = Deficient

I	NI	NP	D
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L. **Other**

Comments:

Fences are not inspected unless a swimming pool is present. Retaining walls are only checked if failure would impede the homes structural integrity.

The pergola at rear of home appears to be structurally unstable (wobbly). Recommend having a qualified contractor further evaluate and make any necessary repairs.



## II. Electrical Systems

Ancillary wiring items not inspected include but are not limited to: telephone, cable, speaker, computer, photocells, low voltage, hard wiring on smoke detectors, electric gates and doors, yard and tree lighting. Intercom systems are not inspected.

The inspector does not check 220-volt outlets. Random testing of electrical outlets only; not all outlets are tested. In the event aluminum wiring is reported it should be reviewed by a licensed electrician. We do not report copper clad aluminum wiring unless clearly labeled so at the electrical panel. Only light fixtures that appear to have been improperly installed are tested for proper operation. Burnt bulbs are not reported. Light fixtures with daylight sensors or that are on timers can not be tested for proper operation.

A. **Service Entrance and Panels**

**Electrical Service:** Below ground, Aluminum

**Main Breaker:** 150AMP

**Panel Type:** Circuit breakers

**Ground System:** Driven Ground Rod

**Electric Panel Manufacturer:** SQUARE D

Comments:

The main panel box is located in one of the guest bedrooms.



There are no Arc Fault Circuit Interrupt (AFCI) breakers present as called for by recent TREC reporting standards. AFCI breakers are used to protect living area branch circuits that are not GFCI (Ground Fault Circuit Interrupt) protected. These were not part of the building standards at the time of construction.

The aluminium service wires should be coated with anti-oxidation grease where they are stripped back to be connected to the mains, main or branch circuit breakers.

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B. Branch Circuits, Connected Devices, and Fixtures

**Type of Wiring:** NM (non-metallic sheathed)

**Type of Branch Circuit Wiring:** Copper

Comments:

It is recommended that smoke detector batteries are replaced semi-annually. Smoke detectors should be replaced every 10 years. Initiate and practice plans for escape periodically. Failure to repair defective or install absent alarms, detectors and other safety devices immediately can result in serious injury or death. For further information about fire safety and CO poisoning, consult your local fire department and read the following links: [www.cpsc.gov](http://www.cpsc.gov) and [www.nfpa.org](http://www.nfpa.org)

Smoke alarms were functional.

Current standards require receptacles less than five and a half feet above the floor to be tamper resistant. Though not standard at the time of construction, updating to current standards is recommended.

Carbon monoxide alarms were not present outside each separate sleeping area nor in the immediate vicinity of the sleeping rooms. These are required when either of the following conditions exist: fuel fired appliance are installed in the dwelling and/or an attached garage with an opening into the dwelling unit. Updating to current safety standards is recommended.

There were exposed connections, open boxes observed under the kitchen sink. Secure, enclose in rated enclosures to prevent hazards.



There are no GFCI (Ground Fault Circuit Interrupt) protected outlets in locations called for by today's standards: all kitchen, baths, non dedicated garage below 6', and exterior outlets. I recommend updating to current standards.



There was an outlet found to be non-functional in the master bath. I recommend further evaluation/ diagnosis and repair by a licensed electrician.

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The circuit/outlet in guest bedroom is using an extension cord as permanent wiring. This circuit should be properly hardwired in rigid conduit or removed.



C. Other

Comments:

### III. Heating, Ventilation and Air Conditioning Systems

Our inspection of the heating and cooling system included a visual examination of the system's major components to determine defects, excessive wear, and general state of repair. Weather permitting, our inspection of a heating or cooling system includes activating it via the thermostat and checking for appropriate temperature response. Our inspection does not include disassembly of the furnace; therefore heat exchangers are not included in the scope of this inspection. Heat pump systems are not tested in heat mode when ambient temperatures are above 80 degrees Fahrenheit, or in cooling mode when below 60 degrees to avoid damage to system.

The inspector does not determine the adequacy (tonnage/manual load calculation) or efficiency of the system. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning and possible mismatched central units are not checked. An accurate central air conditioning cooling differential test is not possible when the ambient temperature is below 55 degrees Fahrenheit.

Bi-annual scheduled maintenance of a home's HVAC system is an important part of the overall care of your home, and is required by most home warranty companies in order for repairs to be covered under a home warranty program. Some defects may be found during this service that are not evident in the scope of our home inspection. We recommend that you have the home seller provide you with a record that the HVAC system has been serviced in the past six months. If the system has not been serviced, it should be done during the inspection period.

A. Heating Equipment

**Type of Systems:** Forced Air

**Heating Energy Sources:** Gas

**Number of Heat Systems (excluding wood):** One

**Furnace/Air Handler Age:** 2016

Comments:

The unit functioned at the time of inspection. Proper heating operation is determined by a minimum of 100 degrees being supplied from all home supply grills.

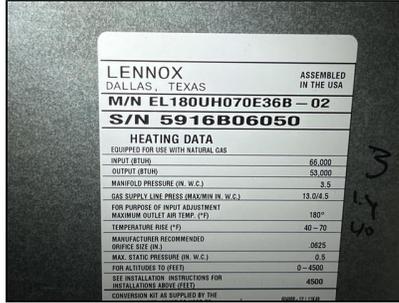
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I NI NP D



B. Cooling Equipment

Type of Cooling Systems: Central air conditioner unit

Coolant Type: R-410A

Tonnage: 3 Ton

Temperature Differential: 16 Degrees

Number of Cooling Systems: One

A/C Age: 2016

Comments:

The unit functioned at time of inspection. Target temperature drops between 15-22 degrees were obtained.



C. Duct Systems, Chases, and Vents

Ductwork: Insulated Flex Duct

Comments:

Inspecting the interior condition of the HVAC supply and return ducts would require vent removal and/or dismantling the equipment plenums and is beyond the scope of this inspection.

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In general, there should be a supply and return duct for each bedroom and each common living area. Duct runs should be as short and straight as possible. The correct-size duct is necessary to minimize pressure drops in the system and thus improve performance. Insulate ducts located in unheated spaces, and seal all joints with duct mastic. Despite its name, never use ordinary duct tape on ducts.

Ducts and ventilation system appeared serviceable. Note: we are only able to evaluate visible and accessible ducts.

**D. Other**

Comments:

#### IV. Plumbing System

The inspection does not include gas lines or condition of plumbing lines in walls, floors, attic, ground or foundation. Water wells, water-conditioning systems, solar water heating systems, freestanding appliances, and the potability of any water supply are excluded from inspection, unless other wise noted. Clothes washing machine and Icemaker hose bibs are not tested.

**A. Plumbing Supply, Distribution Systems and Fixtures**

**Location of water meter:** Front

**Location of main water supply valve:** Right Side

**Static water pressure reading:** 62 PSI

**Water Source:** Public

**Plumbing Water Supply (into home):** Not visible

**Plumbing Water Distribution (inside home):** Copper

**Gas Meter Location:** Rear

**Type of gas distribution piping material:** Black Steel

Comments:

House was vacant. Water was run for minimum 15-20 minutes to try and have leaks present themselves. Not all leaks may be detected until house is under normal usage.

Fixtures functional. Flow/Volume acceptable. The toilets flushed properly. Water pressure into home from city 62 PSI. Recommended maximum satisfactory pressure: 80 PSI. Meter visually inspected with no leaks or bypass concerns noted.



Water Meter Location

Static Water Pressure

Main Water Shut Off

Water hammer was heard when hot water in guest bathroom sink was running. Have a licensed plumber further evaluate and make the necessary repairs.

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B. Drains, Wastes, and Vents

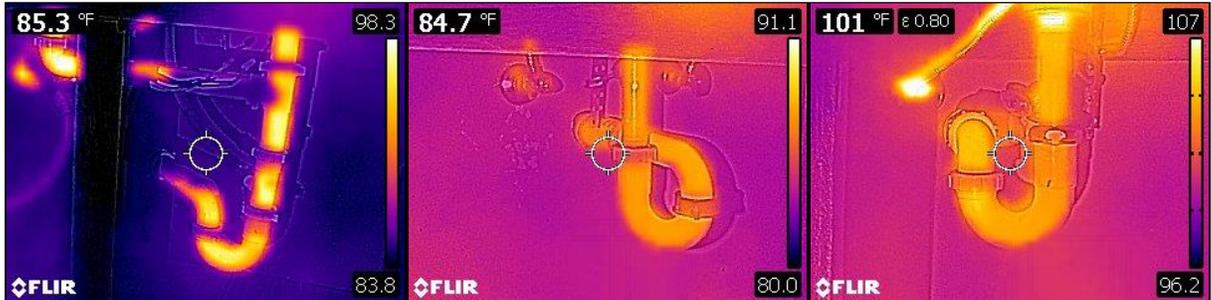
**Location of drain cleanout:** Front

**Plumbing Waste:** PVC

**Washer Drain Size:** 2" Diameter

**Comments:**

Waste lines and fittings dry out while a house is vacant and, in some cases, the operational checks during a building inspection do not reveal leaks that show up only after the house is in full use. Such leaks sometimes self heal, but often repairs are necessary. For example, a drain leak may not become apparent in a wall/ceiling surface until several hours after the inspection. Items solidify in inactive waste lines, and require clean out after use. Expect this possibility. Inspection of the below surface sewer components is beyond the scope of this visual inspection. Scanning of the lines is the only way to assure there are no broken or clogged components. We recommend all sewer lines in place 20 years or more be scanned before closing because finding and correcting these problems can be very expensive. Some communities have a self-insurance program in place to help with the cost of these repairs. Please contact your local officials for additional information at this location.



The drain was slow, and may be clogged in the guest bath sink and master bath tub. I recommend repair by a plumber.



C. Water Heating Equipment

**WH Energy Sources:** Gas

**Capacity:** 40 Gallon

**Water Heater Age:** 2013

**Water Heater Location:** Garage

**Comments:**

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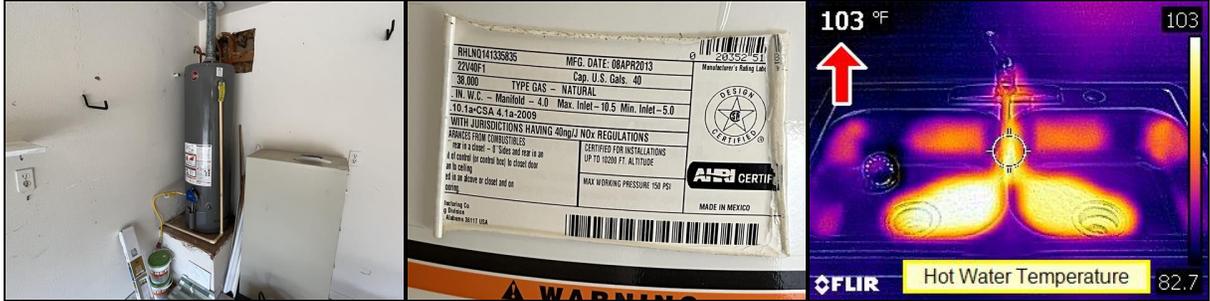
NP = Not Present

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I NI NP D

Water recirculation pumps and electric timers are not tested as they are not part of a standard home system. T&P valves on older units are not tested due to high occurrence of leaks.

The water heater functioned normally at time of inspection.



D. Hydro-Massage Therapy Equipment

Comments:

In-Line water heaters are not tested.

E. Gas Distribution Systems and Gas Appliances

Comments:

No leaks were present at time of inspection.



Gas Meter

Gas supply to the water heater is missing a sediment trap, or drip leg as called for by current standards.



F. Other

Comments:

V. Appliances

A. Dishwashers

Comments:

The appliance was functional when tested in short/normal cycle. The spray bars activated, as well as the

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detergent dispenser. Average life expectancy - 10 years: Life expectancies have been determined through research and testing based on regular recommended maintenance and conditions of normal wear and tear.



B. Food Waste Disposers

Comments:

C. Range Hood and Exhaust Systems

Comments:

Functional with no concerns noted. Average life expectancy - 15 years: Life expectancies have been determined through research and testing based on regular recommended maintenance and conditions of normal wear and tear.



D. Ranges, Cooktops, and Ovens

Comments:

The inspector does not test self-cleaning, self-bake or broiler functions on ovens.

Cooktop and oven functional at time of inspection. Industry average life expectancy is 10 to 18 years. Life expectancies have been determined through research and testing based on regular recommended maintenance and conditions of normal wear and tear.

There is no child protection anti-tip device installed. Anti-tip brackets prevent the stove from accidentally tipping over if weight is placed on the oven door



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E. Microwave Ovens

Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Ventilation systems should be present in all bathrooms. This includes bathrooms with windows, since windows will not be opened during the winter in cold climates.

Bathroom exhaust fans vent to the attic. Today's standards require bath exhaust to be directed to the exterior in bathrooms without opening windows

G. Garage Door Operators

Comments:

Garage door opener would not close normally without assistance by holding down the switch/button, and safety features could not be inspected. Sensitivity may be set too high, or unit may require repair. A qualified garage door contractor should evaluate and repair as needed.



H. Dryer Exhaust Systems

Comments:

Dryer vents should be cleaned every 6 months to prevent lint buildup, improve efficiency and to reduce possible fire hazards.

The dryer vent has excessive lint build-up and should be cleaned prior to use.



I. Other

Comments:

VI. Optional Systems

A. Landscape Irrigation (Sprinkler) Systems

Comments:

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**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

Comments:

**C. Outbuildings**

Comments:

**D. Private Water Wells (A coliform analysis is recommended)**

Comments:

**E. Private Sewage Disposal Systems**

Comments:

**F. Other Built-in Appliances**

Comments:

**G. Other**

Comments: