

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 9/22/23 GF No. _____

Name of Affiant(s): Sean McClintock, Kori McClintock

Address of Affiant: 1215 Night Owl Court, Conroe, TX 77385

Description of Property: Lot 66, Block 1, Harpers Preserve Section 9
County Montgomery, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since February 7, 2020 there have been no:

- a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
- b. changes in the location of boundary fences or boundary walls;
- c. construction projects on immediately adjoining property(ies) which encroach on the Property;
- d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below:) None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

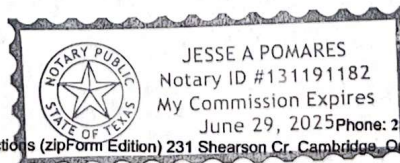
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Kori McClintock
Kori McClintock

Sean McClintock
Sean McClintock

SWORN AND SUBSCRIBED this 22 day of September, 2023

Notary Public



(TXR-1907) 02-01-2010

MHI # H1Q521
FINAL TC



0 20 40
SCALE: 1"=20'

54467-FTC

G.F. # : 1733903416
DATE : DECEMBER 26, 2019

LINE	BEARING	DISTANCE
L1	N 86°42'33" E	50.00'

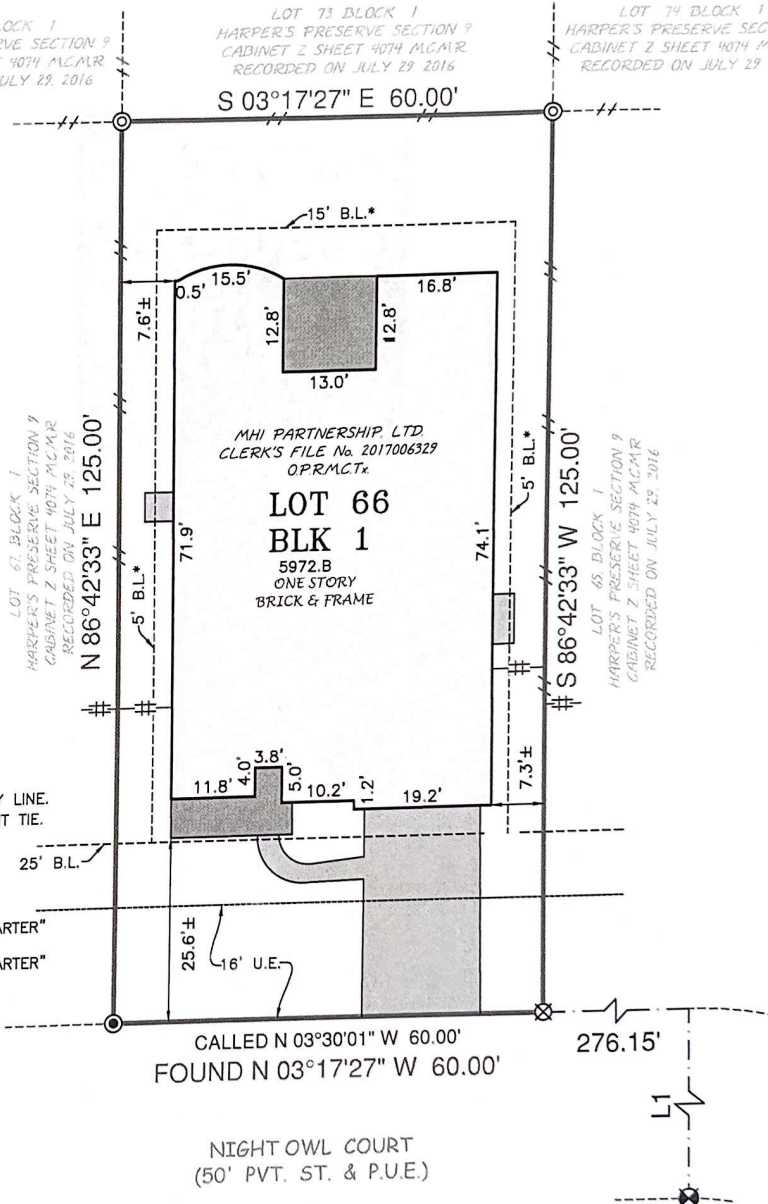
19701 HIGHWAY 6, MANVEL, TEXAS 77578
PHONE: (281) 519-8530
TBPLS FIRM # 10040400
www.fmssurveying.com

LOT 72 BLOCK 1
HARPER'S PRESERVE SECTION 9
CABINET 2 SHEET 4074 M.C.M.R.
RECORDED ON JULY 29, 2016

LOT 73 BLOCK 1
HARPER'S PRESERVE SECTION 9
CABINET 2 SHEET 4074 M.C.M.R.
RECORDED ON JULY 29, 2016

LOT 74 BLOCK 1
HARPER'S PRESERVE SECTION 9
CABINET 2 SHEET 4074 M.C.M.R.
RECORDED ON JULY 29, 2016

1. BEARINGS ARE BASED ON THE RECORDED PLAT.
2. THE SURVEYOR HAS NOT ABSTRACTED THIS PROPERTY AND HAS RELIED ON THE TITLE COMMITMENT WITH THE GF NUMBER OF 1733903416, PREPARED BY MILLENNIUM TITLE COMPANY EFFECTIVE DECEMBER 21, 2016.
3. THE HOUSE PLAN NUMBER SHOWN INSIDE OF THE STRUCTURE HEREON IS BASED ON THE LAST PLOT PLAN RELEASED BY F.M.S. SURVEYING.
4. *B.L. PER GUIDELINES DATED APRIL 2015.
5. THE STRUCTURE SHOWN HEREON IS SUBJECT TO A MINIMUM REQUIREMENT OF 10' BETWEEN ADJACENT STRUCTURES.



- B.L. BUILDING LINE.
- U.E. UTILITY EASEMENT.
- SUBJECT BOUNDARY LINE.
- - - CONTROL MONUMENT TIE.
- 6' BOARD FENCE.
- 6' HARDY PLANK.
- 25' B.L.
- ⊗ "X" CUT IN CONCRETE FOUND (CONTROL MONUMENT).
- ⊙ I.R. W/CAP STAMPED "JONES & CARTER" FOUND.
- ⊙ I.R. W/CAP STAMPED "JONES & CARTER" FOUND AT FENCE CORNER.
- ⊗ 5/8" I.R. FOUND BENT.

- HOUSE ON SLAB.
- CONCRETE SLAB COVERED.
- CONCRETE UNCOVERED.

276.15'
CALLED N 03°30'01" W 60.00'
FOUND N 03°17'27" W 60.00'

NIGHT OWL COURT
(50' PVT. ST. & P.U.E.)

LOT 56 BLOCK 1
HARPER'S PRESERVE SECTION 9
CABINET 2 SHEET 4074 M.C.M.R.
RECORDED ON JULY 29, 2016

THIS ORIGINAL WORK IS PROTECTED UNDER COPYRIGHT LAWS, TITLE 17 UNITED STATES CODE SECTION 101 AND 102. ALL VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS SURVEY IS BEING PROVIDED SOLELY FOR THE USE OF THE RECIPIENTS NAMED AND NO LICENSE HAS BEEN CREATED, EXPRESS OR IMPLIED, TO COPY THE SURVEY EXCEPT AS IS NECESSARY IN CONJUNCTION WITH ORIGINAL TRANSACTION, WHICH ALL TAKE PLACE WITHIN (30) DAYS FROM THE DATE SHOWN HEREON.

LOT 66, BLOCK 1, OF HARPER'S PRESERVE, SECTION NINE (9)
MAP RECORDED IN CAB. 2, SHEET 4074 OF THE MAP RECORDS,
MONTGOMERY COUNTY, TEXAS.

ADDRESS : 1215 NIGHT OWL COURT

TO : MILLENNIUM TITLE COMPANY (EXCLUSIVELY)

I HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION ON THE GROUND, AND IN ACCORDANCE WITH THE INFORMATION PROVIDED TO ME, AND CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY.

SCOTT R. SHERIDAN
REGISTERED PROFESSIONAL LAND SURVEYOR, No. 6171

THIS LOT LIES WITHIN ZONE X, AS SCALED ON LOMR CASE No. 17-06-0425, DATED DECEMBER 16, 2016. THIS INFORMATION IS FOR FLOOD INSURANCE PURPOSES ONLY AND IS NOT INTENDED TO IDENTIFY ANY SPECIFIC FLOOD HAZARDS THAT MAY OR MAY NOT EXIST.

SEE ATTACHED ADDENDUM FOR ADDITIONAL STIPULATIONS



RC