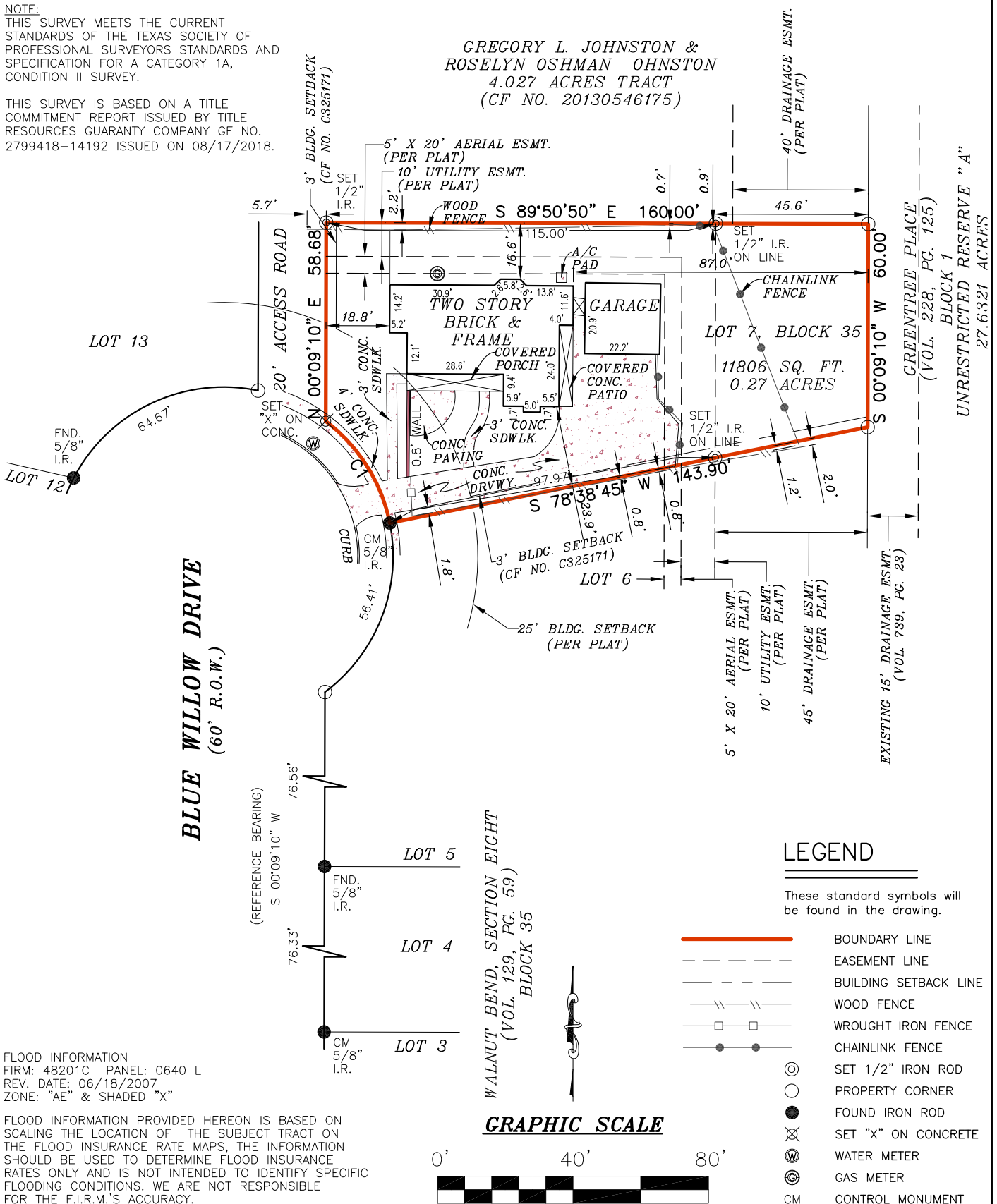


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	36.32'	35.53'	N 32°10'05" W	41°37'11"

NOTE:
THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY TITLE RESOURCES GUARANTY COMPANY GF NO. 2799418-14192 ISSUED ON 08/17/2018.

GREGORY L. JOHNSTON &
ROSELYN OSHMAN JOHNSTON
4.027 ACRES TRACT
(CF NO. 20130546175)



FLOOD INFORMATION
FIRM: 48201C PANEL: 0640 L
REV. DATE: 06/18/2007
ZONE: "AE" & SHADED "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- WROUGHT IRON FENCE
- CHAINLINK FENCE
- SET 1/2" IRON ROD
- PROPERTY CORNER
- FOUND IRON ROD
- SET "X" ON CONCRETE
- WATER METER
- GAS METER
- CONTROL MONUMENT

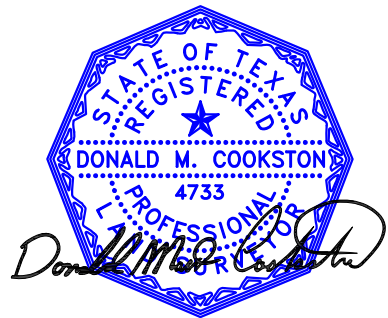
GRAPHIC SCALE



I, **DONALD MATT COOKSTON**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **TEXAS AMERICAN TITLE COMPANY** and **HOME FINANCE UNLIMITED INC DBA MISSION MORTGAGE OF TEXAS INC** that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey. Lot(s) 7, Block 35, **WALNUT BEND, SECTION NINE, REPLAT** recorded in Volume 138, Page(s) 20, of the Map/Deed and Plat Records of **HARRIS** County, Texas, located in the **CHRISTIANA WILLIAMS SURVEY, A-834**
Borrower: **DANNY STUNKARD**
Address: **103 BLUE WILLOW DR., HOUSTON, TX 77042** GF No. **2799418-14192**

LAND TITLE SURVEY

JOB NO.:	1809011679	NO.	REVISION	DATE
DATE:	09/05/18			
DRAWN BY:	SW/KB			
APPROVED BY:	DMC			



SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 138, PAGE 20, MAP RECORDS, HARRIS COUNTY, TEXAS CLERK'S FILE NOS. C325169, C325171, V773049, V773050, X850061, 20120266461, 20130354231, 20130508666, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



FIRM REGISTRATION NO. 10190700
DONALD MATT COOKSTON, R.P.L.S.
Registered Professional Land Surveyor
Registration No. 4733
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Overland Consortium Inc. Surveyors

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