



14902 Aspen Hills Dr, Houston, TX 77062  
Inspection prepared for: Bethany Vaccaro  
Date of Inspection: 12/6/2023 Time: 12:00 PM  
Age of Home: 1977 Size: 2154sf  
Weather: sunny/temperature 62  
Order ID: 3979

Agent: Christy Bulerez-Wyatt

Inspector: Lou Wissner, 7492

**PROPERTY INSPECTION REPORT FORM**Bethany Vaccaro*Name of Client*12/6/2023*Date of Inspection*14902 Aspen Hills Dr, Houston, TX 77062*Address of Inspected Property*Lou Wissner*Name of Inspector*7492*TREC License #**Name of Sponsor (if applicable)**TREC License #***PURPOSE OF INSPECTION**

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

**RESPONSIBILITY OF THE INSPECTOR**

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

**RESPONSIBILITY OF THE CLIENT**

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

**REPORT LIMITATIONS**

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

Structure Faces: NE  
Age of Structure: 1977  
Square Footage: 2154sf  
Dwelling Type: 2 story single family  
Present at Inspection:  
Building Status: occupied  
Weather Conditions: sunny/temperature 62  
Outside Temperature: 65  
Utilities On: yes

Inspection Date: 12/6/2023  
Start Time: 12:00 pm  
Completion Time: 4:15 pm

#### INACCESSIBLE OR OBSTRUCTED AREAS

Sub Flooring  
Attic Space is Limited - Viewed from Accessible Areas  
Floors Covered  
Plumbing Areas - Only Visible Plumbing Inspected  
Walls/Ceilings Covered or Freshly Painted  
Siding Over Older Existing Siding  
Behind/Under Furniture and/or Stored Items  
Crawl Space Is Limited - Viewed From Accessible Areas

Mold/Mildew investigations are NOT included with this report, it is beyond the scope of this inspection at the present time. Any reference of water intrusion, is recommended that a professional investigation be obtained.

This property was a 1977 structure. As with all homes, ongoing maintenance is/will be required and improvements to the systems of the home will be needed over time. The improvements that are recommended in this report are not considered unusual for a home of this age and location. Please remember that there is no such thing as a perfect home.

Descriptions— When outside the structure, the terms "front," "left," "rear," and "right" were used to describe the structure as viewed from the front door, even if it does not face the address street.

When inside the structure, the terms "front," "left," "rear," and "right" were used to describe the structure as viewed from the room entrance.

The interior was inspected in a clockwise fashion. The first bedroom that comes up starting at the front door will be bedroom 1, then bedroom 2 etc... likewise for the full bathrooms or any other multiple numbered rooms. Half bathrooms will be counted separately from the full bathrooms.

If you have any questions about room descriptions or locations, please contact us; it's important that you be able to identify the rooms that we discuss in your report.

Your report includes many photographs. Some pictures are intended as a courtesy and are added for your information only. Some are to help clarify where the inspector has been, what was looked at, and the condition of the system or component at the time of the inspection. Some of the pictures may be of deficiencies or problem areas. These are to help you better understand what is documented in this report and may allow you to see areas or items that you normally would not see. Some issues may be difficult to photograph or too numerous so not all problem areas or conditions will be supported with photos.

To view videos and review highlighted glossary terms in the report the PDF will need to be downloaded and viewed with a full PDF reader such as Adobe. If videos are in report the caption will state "CLICK to VIEW VIDEO" and there will a narrative to discuss content of video.

BLUE text are comments of what we consider to be more significant deficient components, safety issues or conditions which need attention, repair, or replacement. Systems with multiple observed issues will be directed to a list of observed conditions in the report, a complete evaluation by a professional contractor/specialist is recommended to determine if any hidden conditions exist. These comments are also duplicated in the Report Summary page(s).

**NOTICE: THIS REPORT IS PAID FOR BY AND PREPARED FOR THE CLIENT NAMED ABOVE. THIS REPORT IS NOT VALID WITHOUT THE SIGNED SERVICE AGREEMENT AND IS NOT TRANSFERABLE.**

## What We Inspect:

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- Improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- Improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- Ordinary glass in locations where modern construction techniques call for safety glass;
- The lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and

functional emergency escape and rescue openings in bedrooms;

- Excessive spacing between balusters on stairways and porches;
- Improperly installed appliances;
- Improperly installed or defective safety devices; and
- Lack of electrical bonding and grounding.

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as “Deficient” when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been “grandfathered” because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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## I. STRUCTURAL SYSTEMS

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### A. Foundations

Type of Foundation(s):

- Performance Opinion: (An opinion on performance is mandatory)

Note: Weather conditions, drainage, leakage and other adverse factors are able to effect structures, and differential movements are likely to occur. The inspectors' opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted or warranted.

SUGGESTED FOUNDATION MAINTENANCE & CARE - Proper drainage and moisture maintenance to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

- Slab foundation

Comments:

- Note: Foundation repairs were observed to have been previously performed. It is recommended to obtain the engineering report and warranty information as it may be transferable.
- Structural movement and/or settling noted; however, the foundation is currently supporting the structure.
- Cracks at foundation corners are not structural concerns and are not stress related. It occurs due to the expansion and contraction of concrete and brick at different rates. It is recommended to be cleaned and sealed with mortar as needed to prevent moisture and pest entry.
- Soil / mulch / rocks are too high on foundation in several locations. This will allow moisture and unwanted pest to enter residence. It is recommended to maintain 4-6 inch minimum of exposed foundation from finished grade.
- Honeycombing was noted in several locations of the foundation. This is mostly a cosmetic condition that is found only upon the exterior face of the home's foundation. It is recommended to thoroughly clean the area to remove all dirt and loose aggregate, wet the cleaned area prior to applying non-shrink grout, texture and color should then be matched for aesthetic finish.



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- The tree(s) near the house did not appear to adversely affect the foundation at this time. However, the tree roots may extract water from the soil causing a drying or shrinking affect. You may wish to consult with a qualified service company about installation of root barriers which may prevent feeder roots from nearby trees from migrating below the structure and extracting moisture from under the slab foundation. A root barrier typically consists of placing a barrier material in a 4' trench extending along the foundation. Root barriers are usually placed as far from the tree and as near to the foundation as possible in order to decrease damage to the tree roots. Typically, the barriers are 4' deep since the majority of the volume change occurs in the upper 4' of the soil.
- Reinforcement bar is exposed and rusting. It is recommended to be properly cleaned, painted and sealed with mortar as needed.
- Floors throughout structure are not level as observed using a ZIP level. Upto 3" deviation in living room. It is recommended a qualified foundation company further review and evaluate the performance of the foundation.



*Dirt too high*



*Dirt too high*



*Cracks at corners*



*Previous repairs*

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I	NI	NP	D
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*Reinforcement bar exposed*



*Honeycombing*



*Office*



*Entry*

I=Inspected

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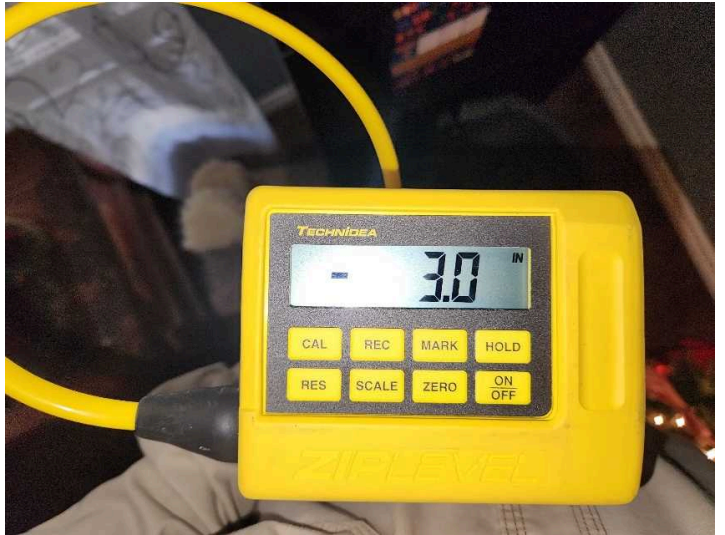
NP=Not Present

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Living room right side



Living room left side

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### B. Grading and Drainage

**Comments:**

- Note: Client is urged to keep soil levels a minimum of 4"-6" below top of slab and graded away to promote positive drainage and to prevent water from ponding around foundation. Proper soil levels will also help detect insects should they try to enter the home from the outside. High soil levels are considered a conducive condition for Wood Destroying Insects and prevents a visual inspection of the foundation in these areas.
- High soil was observed around the house. We recommend having 4 inches (0.1 m) minimum clearance between soil/brick and 6 inches (0.15 m) minimum clearance between soil/siding and/or stucco.
- Gutters are partially restricted with debris which could allow runoff to back up into structure. It is recommended to periodically clean gutters to prevent restrictions.



Debris



Dirt too high

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### C. Roof Covering Materials

Type(s) of Roof Covering:

- Notice: This report is an opinion of the general quality and condition of the roof. Clients are urged to contact their insurance company about the insurability of any roof. All repairs noted should be performed by a qualified and competent roofing contractor. After all repairs are made, re-check all areas of roof and roof structure for proper installation of materials and for leaks. If buyer has concerns about the integrity of roof structure, roof covering or other materials, cost of repairs or life expectancy of current roof, a qualified and competent roofing contractor should be consulted.

Note: Roof materials have a limited service life and may have to be spot repaired should leaks develop prior to replacement. Roof maintenance is an ongoing process and includes keeping the roof clear of tree debris, replacing any loose, damaged or missing shingles, and sealing any gaps at flashing materials.

- Asphalt composition shingles

Viewed From:

- Ground with optical lenses

Comments:

- Evidence of water penetration:

- Evidence of previous repairs: YES

- NOTE: The inspector is not required to inspect from the roof level if; in the inspectors reasonable judgment, the inspector cannot safely reach and/or stay on the roof without significant damage to the roof covering materials.

- Inspector could not access the roof due to either roofing material, dangerous slope of roof and/or above the reachable height; therefore, the roof was observed from ground level with optical lenses.

- Wood deterioration noted to fascia and soffits in one or more locations. It is recommended to properly repair or replace all affected material as well as caulk, prime and paint as needed. Observed on garage.

- Previous repairs observed in one or more locations of roof. Dry on day of inspection. It is recommended to be monitored.

- Exposed nail heads were noted at the roof protrusions and/or ridge shingles. Nail heads at either the vent & roof flashing or at the composition shingles can allow water to penetrate past the roof covering given enough time. As the exposed portion of the nail rusts, more space will become available between the nail and the roofing material for water to penetrate. This condition can usually be remedied by sealing or caulking affected areas.

- There are one or more shingles that do not lay flat. This may indicate the fasteners under the shingles are improperly installed and pushing up the edge of the shingle. The affected shingles are more susceptible to wind damage as a result. It is recommended to fully drive nails and apply a small amount of roofing cement to prevent moisture penetration and premature failure.

- Damaged composition shingles were observed in one or more locations of roof on garage. As evident by exposed fibers, loose shingles and missing pieces. It is recommended to properly repair and seal or replace as needed to prevent premature failure. Unable to determine condition of underlying materials.

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- One or more large branches are stretching over the roof of the house. If these branches were to fall they may damage the roof structure. The branches should be trimmed back to help prevent damage to the roof structure.
- There is a tree against the garage roof in the rear. It is recommended to remove the tree prior to repairing the garage roof.



*Tree limbs*



*Tree limbs*



*General photo*



*General photo*

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*General photo*



*Previous repairs*



*Nail pop*



*Previous repairs*

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*Previous repairs*



*Damaged roof*



*Wood deterioration*

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**D. Roof Structure and Attics**

Viewed From:

- Entered Attic Space

Approximate Average Depth of Insulation:

- > 8"

Comments:

- Evidence of water penetration: NO
- Loose wiring noted in attic space in one or more locations. It is recommended to be secured/supported max. 4.5 feet (1.37 m) & within 12 inches (0.3 m) of box and cable must be protected within 6 ft (1.83 m) of attic entrance.
- Insulation compressed or missing in one or more areas of attic space. It is recommended to add insulation as needed.
- The pulldown attic ladder is not insulated or weather stripped at this time. This is an "As Built" condition that does not meet current energy standards. It is recommended to insulate and seal the door as needed.
- Vertical insulation is not secured or has fallen down in one or more locations. It is recommended to be properly installed.



*Loose wiring*



*General photo*



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*General photo*



*Loosely attached*



*Missing insulation*

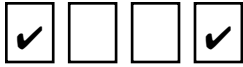
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**E. Walls (Interior and Exterior)**

Wall Materials:

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Note: This company does not test for the presence of lead-based paint. If Client has questions or concerns as to whether any of the interior or exterior surfaces contain lead-based paint, it is recommended they consult a qualified environmental testing company to perform test to identify the presence of any lead-based paint.

Note: The condition of the hidden wood or wood structural members and other components in the wall cavities are unknown to this inspector. No opinion as to the condition of the wood or wood structural members or other components in hidden areas is either intended or implied by this inspection and written report.

Note: The interior walls and ceilings have been painted/retextured and/or cosmetically repaired in the recent past. This does not indicate that the Seller are covering up defects, but rather, may be preparing the home for resale. However, this does prevent me from seeing many flaws and defect that I might have otherwise found during the inspection. For this reason, there may be defects that I could not see.

- DRYWALL
- BRICK VENEER
- WOOD SIDING
- STUCCO
- WOOD
- WOOD

Comments:

- Evidence of water penetration: NO
- Minor cracks in the ceiling and walls are not uncommon. This is a normal occurrence living on the Texas Gulf Coast. It is not considered to be a structural concern. It is recommended to be properly repaired and painted as needed.
- Caulking is separated around doors, windows plumbing and electrical penetrations, expansion joints, around exhaust vent on the exterior of home. It is recommended to seal and paint as needed. Unable to determine condition of underlying materials.

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**F. Ceilings and Floors**

Ceiling and Floor Materials:

- Note: The condition of the hidden wood or wood structural members and other components in the ceiling and floor cavities, under the attic space insulation materials, under wood flooring and other floor coverings including the sub flooring, in areas not readily observable, and under the roofing material is unknown to this inspector. No opinion as to the condition of the wood or wood structural members or the other components in these hidden areas is either intended or implied by this inspection and written report.

- CARPET
- WOOD
- TILE

Comments:

- Evidence of water penetration:
- NOTE: Drywall repairs were noted to ceilings and walls in several locations of the residence. Unable to determine condition of underlying materials.
- Minor cracks in the ceiling and walls are not uncommon. This is a normal occurrence living on the Texas Gulf Coast. It is not considered to be a structural concern. Recommended to be properly repaired and painted as needed.

**G. Doors (Interior and Exterior)**

Comments:

- Evidence of water penetration: NO
- Note: Recommend all locks on home be changed before moving in. After new locks have been installed, ensure that jambs at striker plates are cut deep enough to allow new deadbolt locks to fully engage and lock. Dead bolt locks are not locked unless bolt is fully thrown.
- Weather strip/seal damaged on one or more exterior doors, which can allow moisture and unwanted pest to enter residence. It is recommended to be replaced to prevent moisture and pest entry.

**H. Windows**

Window Types:

- METAL — SINGLE PANED

Comments:

- Windows have become stiff to open and close. It is recommended to open and close fully several times a year so that the windows will self clean. Do not use an oil based lubricant, as this will attract dust and dirt, making the situation worse.
- Rusting lintel(angle iron holding brick above windows) on all windows. It is recommended to be properly cleaned, primed and painted to prevent the return of rust.
- One or more window screens have been damaged, worn or missing. It is recommended to be properly repaired or replaced as needed.

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*Rusting lintel*



*Rusting lintel*





**I. Stairways (Interior and Exterior)**

Comments:





**J. Fireplaces and Chimneys**

Locations:

- LIVING ROOM

Types:

- Wood burning

Comments:

- Fireplace and flue ate dirty. It is recommended to be properly cleaned by a licensed sweep yearly to insure proper and safe operation is attained.
- Cracks in mortar and firebrick located in fireplace. It is recommended to be reviewed and evaluated further by a licensed professional chimney sweep.

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Mortar cracks



General photo

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**K. Porches, Balconies, Decks, and Carports**

Comments:

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**L. Other**

Materials:

- Note: I recommend a semi-annual inspection of this property by a qualified and licensed pest control company for wood destroying insects. Having regular inspections can alert you to the presence of these insects before considerable damage can be done. Wood destroying insects can and do show up without warning. Many pest control company's will often perform these inspections for free. You can locate a pest control company in your phone book or internet.

Note: This inspection is limited to those parts of the structure that are visible at the time of the inspection. Examples of inaccessible areas include but are not limited to areas concealed by wall coverings, furniture, equipment and stored articles and any portion of the structure in which inspection would necessitate of removing or defacing any part of the structure. The inspection does not cover any condition or damage which may be revealed in the course of repair or replacement work. If visible evidence of active or previous infestation of listed wood destroying insect is reported, it should be assumed that some degree of damage is present.

- {6'} wood fence

Comments:

- Driveway concrete is cracking and uneven. Creating a trip hazard. It is recommended to be properly repaired or replaced as needed.

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I	NI	NP	D
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*Driveway concrete is cracking and uneven*

## II. ELECTRICAL SYSTEMS

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### A. Service Entrance and Panels

Panel Locations:

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Note: With the exception of the main breaker panel, a condenser disconnect box and wall receptacles, no other equipment or component covers are removed or opened to check electrical wiring. Attic insulation and shrouds/covers are not removed to determine if fans are correctly installed. Only visible electrical components which are interior to or attached to the exterior walls of the home were inspected. Wiring and all associated components underground, interior to walls, floors and ceilings, not attached to the home or not readily visible in the attic, or otherwise inaccessible or hidden from view, could not be observed by the Inspector and are excluded from this inspection. Discrepancies related to the electrical system should be considered as safety hazards.

- GARAGE

Materials and Amp Rating:

- Brand Electrical Service Equipment: Other
- Copper wiring
- 125 Amp

Comments:

- Service entrance wiring is underground
- Circuit panel is not properly or completely labeled. It is recommended to be properly labeled designating which breaker is for which circuit.
- Circuit panel is missing several attaching screws. It is recommended to install the approved screws as needed.
- White electrical wires connected to circuit breakers are not marked with black or red electrical tape to identify them as HOT. IT is recommended to be properly repaired by a licensed electrician as needed.

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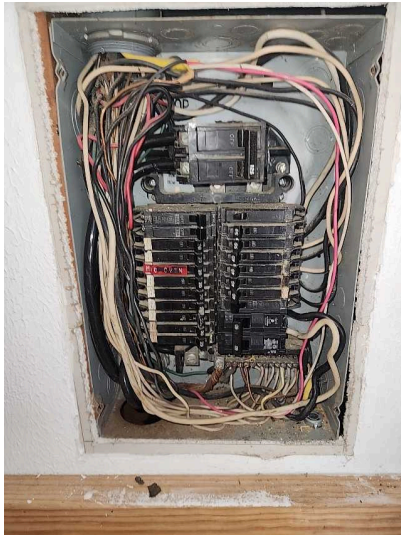
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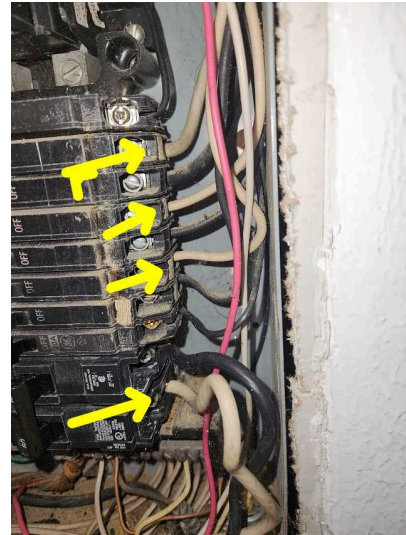
General photo



General photo



General photo



White wires unmarked

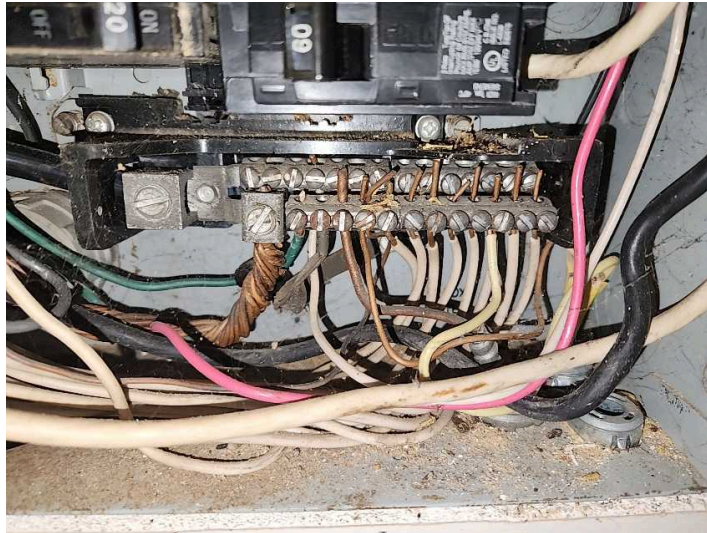
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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*General photo*



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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**B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring:

•  
 Note: The Inspection does not include: Low voltage systems, telephone wiring, intercoms, sound systems cable-satellite-TV wiring or timers.

FYI: **GFCI**'s (Ground Fault Circuit Interrupters) are modern electrical devices, either a receptacle or a circuit breaker, which is designed to protect people from electric shock. GFCI's are now required in wet or damp environments. In the event of a fault in an appliance that you are touching, the GFCI would detect the current that passes through your body to ground, and shut the circuit off, protecting you from a potentially fatal shock. We strongly recommend that all receptacles located in the Kitchen, Baths, Garage, at Spas, Hot Tubs, Fountains, Pools, crawl spaces and outdoors be upgraded to the ground fault circuit interrupter type. This should be done by a qualified, licensed electrician.

FYI: GFCI's should be tested monthly, as some are known to deteriorate and lock in the hot position. Faulty and/or malfunctioning GFCI breakers and receptacles should be replaced immediately. Appliances such as refrigerators should not be put on GFCI's, as a nuisance trip of the device will cause the loss of food.

FYI: GFCI's (Ground Fault Circuit Interrupters) are modern electrical devices, either a receptacle or a circuit breaker, which is designed to protect people from electric shock. GFCI's are now required in wet or damp environments. In the event of a fault in an appliance that you are touching, the GFCI would detect the current that passes through your body to ground, and shut the circuit off, protecting you from a potentially fatal shock. We strongly recommend that all receptacles located in the Kitchen, Baths, Garage, at Spas, Hot Tubs, Fountains, Pools, crawl spaces and outdoors be upgraded to the ground fault circuit interrupter type. This should be done by a qualified, licensed electrician.

FYI: GFCI's should be tested monthly, as some are known to deteriorate and lock in the hot position. Faulty and/or malfunctioning GFCI breakers and receptacles should be replaced immediately. Appliances such as refrigerators should not be put on GFCI's, as a nuisance trip of the device will cause the loss of food.

Comments:

- GFCI (ground fault circuit interrupter) inoperable or not installed, in kitchen, bathrooms, garage and exterior outlets. It is recommended to be properly repaired by a licensed electrician. [210.8]

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- Arc Fault Circuit Interrupter (AFCI) breakers were not observed in service panels for one or more areas servicing kitchens, family room, dining room, living room, parlor, library, dens, bedrooms, sunrooms, recreation room, closets, hallways, and laundry room outlets. This type of protection is designed to detect electrical arcing, which is a potential fire hazard. Although AFCI protection was not required at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. We recommend considering updating the existing electrical to provide AFCI protection. Arc-fault protection can be provided using AFCI circuit breakers installed at the main electrical panel which provide this protection to all non-AFCI outlets on the circuit controlled by that AFCI breaker. Combination-type AFCI are required for 15A & 20A branch circuits supplying outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways & similar rooms or areas. [3902.11]16 {210.12A}
- Smoke alarms were inoperative or missing in residence. Smoke alarms are required in each sleeping room and adjoining areas, with a minimum of one detector on each story. The alarms are to be interconnected so that activation of one alarm sets off all alarms.[313.1, 313.2]
- There are missing carbon monoxide alarms in the home. Carbon monoxide alarms should be installed in accordance with current standards, as follows: 2009 International Residential Code R315.2.1 New construction. Carbon monoxide alarms shall be provided in dwelling units when either or both of the following conditions exist. 1. The dwelling unit contains a fuel- fired appliance. 2. The dwelling unit has an attached garage with an opening that communicates with the dwelling unit. R315.3 Location. Carbon monoxide alarms in dwelling units shall be installed outside each separate sleeping area in the immediate vicinity of the bedrooms. When a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. Carbon monoxide is an odorless, colorless, and tasteless gas that is near impossible to identify without a proper detector. It is caused by fuels not burning completely, including wood, gasoline, coal, propane, natural gas, gasoline, and heating oil. This unburned fuel can come from anything from clothes dryers, water heaters, and ovens to ranges, a fire-burning fireplace, or a car left running in a closed garage.

	✓	✓	
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**C. Other**

Comments:

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I	NI	NP	D
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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

Type of Systems:

- Note: Furnaces and **A/C** units can and do go out without warning, especially older units. As a homebuyer, you should be proactive and upgrade any units older than 10 to 12 years old or units with bent/damaged/loose fitting panels. Regardless of the decision to upgrade, have the furnace(s) cleaned, serviced and adjusted for peak operation prior to closing and then annually prior to the first use. As this is only a limited visual inspection of these systems, any furnace or A/C unit 10 to 12 years old or older should be thoroughly evaluated by a knowledgeable, qualified and licensed HVAC contractor prior to closing. Having your heating and cooling system serviced each year before the first use will ensure that the system is safe and operating as intended. Failure to have a yearly check up can lead to expensive repairs or replacement do to malfunctioning equipment. Malfunctioning heating systems can also be dangerous. You can find a list of qualified HVAC contractors by looking in your phone book.

- Gas — Central

Energy Sources:

- The furnace is gas powered

Comments:

- The unit appeared to be functioning as intended at the time of the inspection.



General photo

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NP=Not Present

D=Deficient

I	NI	NP	D
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**B. Cooling Equipment**

Type of Systems:

- Note: Furnaces and A/C units can and do go out without warning, especially older units. As a homebuyer, you should be proactive and upgrade any units older than 10 to 12 years old or units with bent/damaged/loose fitting panels. Regardless of the decision to upgrade, have the furnace(s) cleaned, serviced and adjusted for peak operation prior to closing and then annually prior to the first use. As this is only a limited visual inspection of these systems, any furnace or A/C unit 10 to 12 years old or older should be thoroughly evaluated by a knowledgeable, qualified and licensed HVAC contractor prior to closing. Having your heating and cooling system serviced each year before the first use will ensure that the system is safe and operating as intended. Failure to have a yearly check up can lead to expensive repairs or replacement do to malfunctioning equipment. Malfunctioning heating systems can also be dangerous. You can find a list of qualified HVAC contractors by looking in your phone book.

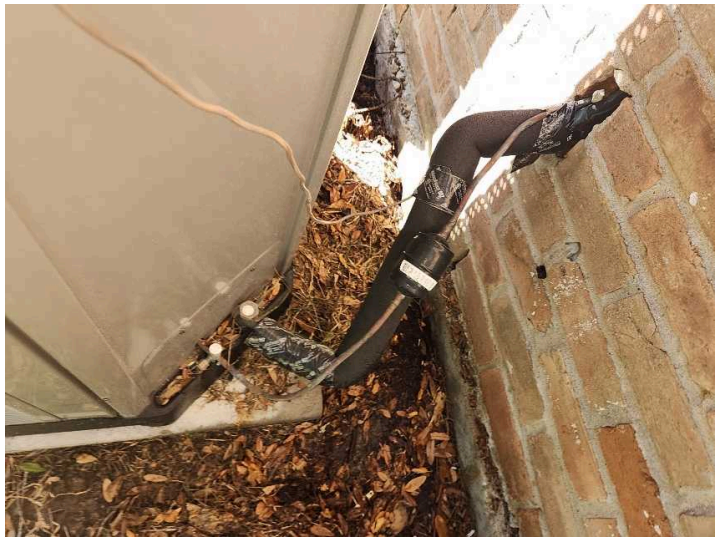
- Electric — Central

Comments:

- Cooling System Temperature Differential: 15
- Filter Location: hallway
- This unit appears to be functioning as intended at the time of inspection and consistent with accepted industry standards.



General photo



General photo

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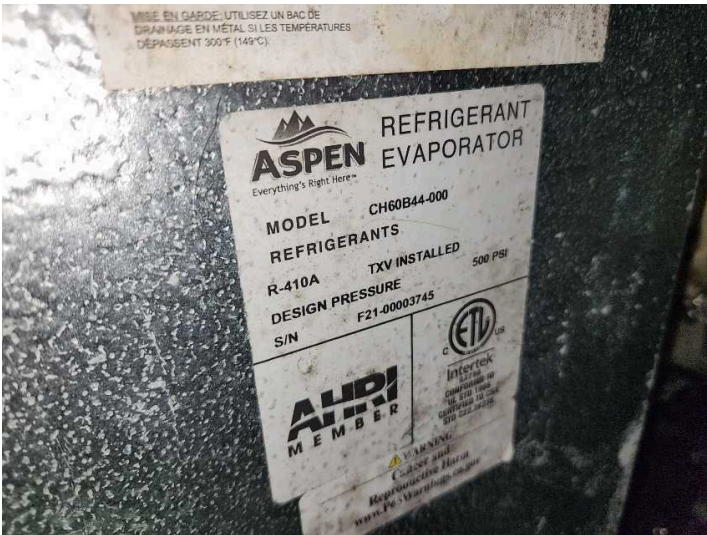
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General photo



General photo



General photo



General photo

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D=Deficient

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General photo

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**C. Duct Systems, Chases, and Vents**

Comments:

- 

Note: I recommend having the duct system pressure tested for leakage. This is beyond the scope of this inspection; however, many older duct systems leak (especially metal duct systems) I recommend that all dirty filters be replaced before moving in and at either regular monthly intervals or as needed thereafter. Any register/diffuser which has signs of dirt around it may indicate a dirty system or a system that was dirty at one time.

- Type of duct: FLEX DUCT
- Type of duct: METAL

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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**D. Other**

Comments:

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#### IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution System and Fixtures**

Location of Water Meter:

- STREET

Location of Main Water Supply Valve:

- LEFT FRONT CORNER

Comments:

- Type of Supply Piping Material: galvanized
- Static Water Pressure: 60psi
- Home is equipped with galvanized water pipe. Galvanized plumbing has a life expectancy of 40-50 years and may deteriorate from the inside out. One indication of galvanized plumbing can be rusty water when faucets first turned on. It is recommended to be reviewed and evaluated further by licensed plumber. Repairing as needed.
- Insulation on exterior faucet and pipes is deteriorating or missing. It is recommended to be replaced as needed.
- Anti-siphon device missing on exterior faucets. Anti-siphon devices keep contaminated water from entering the potable water of the house plumbing. These devices are cheap and can be found in most home improvement stores. It is recommended to be properly installed as needed.
- Bathtub and shower grout and caulk has minor separation in several locations. It is recommended to be cleaned and replaced as needed.
- Bathtub and sink drain stop in bathrooms are inoperative/loose/missing. It is recommended to be properly installed or replaced as needed.
- Toilet seat on several toilets are loosely attached. It is recommended to properly secure or replace seat as needed.
- Toilet in bath continually running. The flushing mechanism is not operating properly. It is recommended to be properly repaired or replaced as needed. Observed in spare bathroom upstairs.
- Caulking at the base of one or more toilets is separating or cracking. It is recommended to clean and caulk as needed.
- The shower door handle is loosely attached in the spare bathroom. It is recommended to be properly adjusted or replaced as needed.
- Water leak from toilet tank in half bath. It is recommended to be evaluated further and properly repaired as needed by a licensed plumber.

I=Inspected

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I	NI	NP	D
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*Main water supply valve*



*60psi*



*Caulk separation*



*Loosely attached*



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I	NI	NP	D
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*Water leak from tank*



*Loosely attached*



*Caulk separation*



*Caulk separation*

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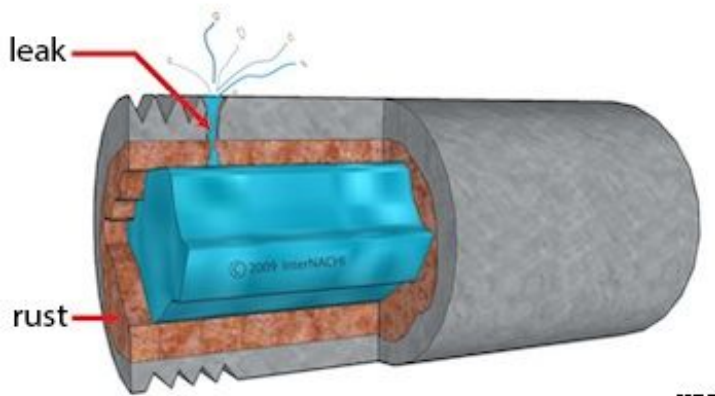
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General photo

### Galvanized Steel Pipe



HIP

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### B. Drains, Wastes, and Vents

Comments:

- Type of Drain Piping Material: CPVC

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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### C. Water Heating Equipment

Energy Source:

- Water Heater Temperature and Pressure Relief Valve (TPRV)

Note: It is recommended to drain and flush unit at least once a year to reduce deposits/noise and extend the life.

Note: The TPRV is a safety device that releases water from the heater (ideally to the outside of the dwelling) if the temperature of the water, or the pressure in the tank, reaches certain preset levels. This is so that water that may have exceeded the boiling point (because of a runaway burner or electric element control) does not cause a steam explosion should the tank burst. TPRVs should be tripped regularly and replaced every 3 years per manufacturers' instruction by a qualified and licensed plumber.

- NATURAL GAS

- Water heater is located in the laundry room closet

Capacity:

- 40 gallons

Comments:

• The water temperature at the kitchen sink was >125F. Temperatures at the point of use in excess of 120F are considered to be a hazard. It is recommended to properly adjust temperature at the water heater.

• Insufficient **combustion air** ventilation for water heater. Closet door does not have a grate or screen to allow combustion air in to unit. It is recommended to add ventilation as needed to prevent premature failure of water heater.

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I	NI	NP	D
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*General photo*



*General photo*



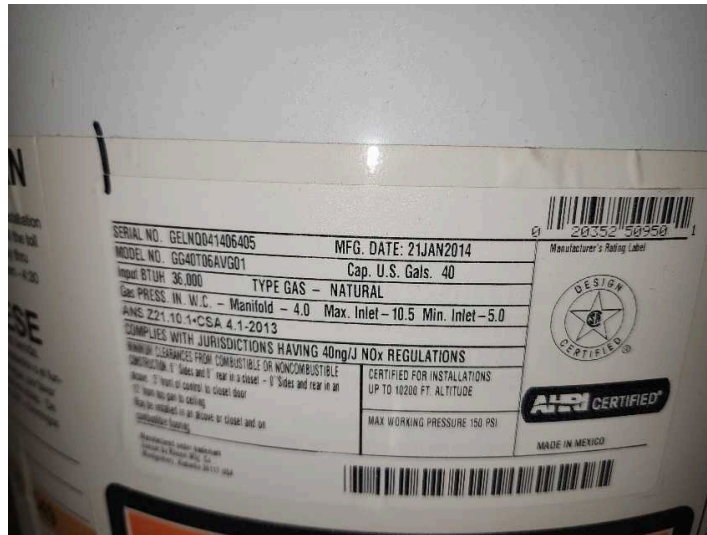
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General photo

**D. Hydro-Massage Therapy Equipment**

Comments:

- An opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish was missing from the whirlpool bath. It is recommended to properly install an adequate access opening so that the unit can be serviced or repaired.

**E. Gas Distribution Systems and Gas Appliances**

Location of Gas Meter:

- Left Side

Type of Gas Distribution Piping Material:

- Black Steel

Comments:

**F. Other**

Materials:

Comments:

**V. APPLIANCES**

**A. Dishwashers**

Comments:

- Lack of a proper **air gap** noted and/or high loop drain line at dishwasher. In the event of a sewer backup this device prevents sewer matter from entering into dishwasher. It is recommended having a qualified plumber install an air gap to prevent possible contamination.

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I	NI	NP	D
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**B. Food Waste Disposers**

Comments:  
 • The disposal was functioning as intended at the time of the inspection.

**C. Range Hood and Exhaust Systems**

Comments:  
 • Venthood functions as intended at time of inspection.

**D. Ranges, Cooktops, and Ovens**

Comments:  
 • RANGE — ELECTRIC  
 • Range functions as intended at time of inspection.  
 • OVEN — GAS.  
 • Oven(s) functions as intended at time of inspection.



General photo



General photo

**E. Microwave Ovens**

Comments:  
 • Microwave functions as intended at time of inspection. Built-in microwave ovens are tested using normal operating controls. Unit was tested and appeared to be serviceable at time of inspection. Leak and/or efficiency testing is beyond the scope of this inspection. If concerned, client should seek further review by qualified technician prior to closing.

**F. Mechanical Exhaust Vents and Bathroom Heaters**

Comments:  
 • The bath fan{s} were functioning as intended at the time of inspection

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**G. Garage Door Operators**

Door Type:

- METAL

Comments:

- Garage door opener safety sticker is missing from button area. It is recommended to install sticker as needed.
- The laser photo sensor for the garage door was installed at a height greater than 6 inches. Safety standards designed to protect small children limit the maximum mounting height for garage door photo sensors at 6 inches. It is recommended to be properly installed no more than 6 inches above ground level.

**H. Dryer Exhaust Systems**

Comments:

- 

Note: The dryer duct and vent hood should be cleaned every 6 months or sooner if necessary. Dirty ducts and lint buildup can become fire hazards and reduce the efficiency of your dryer.

**I. Other**

Observations:

## Glossary

<b>Term</b>	<b>Definition</b>
A/C	Abbreviation for air conditioner and air conditioning
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

### Report Summary

#### STRUCTURAL SYSTEMS

Page 7 Item: A	Foundations	<ul style="list-style-type: none"> <li>• Structural movement and/or settling noted; however, the foundation is currently supporting the structure.</li> <li>• Cracks at foundation corners are not structural concerns and are not stress related. It occurs due to the expansion and contraction of concrete and brick at different rates. It is recommended to be cleaned and sealed with mortar as needed to prevent moisture and pest entry.</li> <li>• Soil / mulch / rocks are too high on foundation in several locations. This will allow moisture and unwanted pest to enter residence. It is recommended to maintain 4-6 inch minimum of exposed foundation from finished grade.</li> <li>• Honeycombing was noted in several locations of the foundation. This is mostly a cosmetic condition that is found only upon the exterior face of the home's foundation. It is recommended to thoroughly clean the area to remove all dirt and loose aggregate, wet the cleaned area prior to applying non-shrink grout, texture and color should then be matched for aesthetic finish.</li> <li>• The tree(s) near the house did not appear to adversely affect the foundation at this time. However, the tree roots may extract water from the soil causing a drying or shrinking affect. You may wish to consult with a qualified service company about installation of root barriers which may prevent feeder roots from nearby trees from migrating below the structure and extracting moisture from under the slab foundation. A root barrier typically consists of placing a barrier material in a 4' trench extending along the foundation. Root barriers are usually placed as far from the tree and as near to the foundation as possible in order to decrease damage to the tree roots. Typically, the barriers are 4' deep since the majority of the volume change occurs in the upper 4' of the soil.</li> <li>• Reinforcement bar is exposed and rusting. It is recommended to be properly cleaned, painted and sealed with mortar as needed.</li> <li>• Floors throughout structure are not level as observed using a ZIP level. Upto 3" deviation in living room. It is recommended a qualified foundation company further review and evaluate the performance of the foundation.</li> </ul>
Page 10 Item: B	Grading and Drainage	<ul style="list-style-type: none"> <li>• High soil was observed around the house. We recommend having 4 inches (0.1 m) minimum clearance between soil/brick and 6 inches (0.15 m) minimum clearance between soil/siding and/or stucco.</li> <li>• Gutters are partially restricted with debris which could allow runoff to back up into structure. It is recommended to periodically clean gutters to prevent restrictions.</li> </ul>



Page 11 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> <li>• Wood deterioration noted to fascia and soffits in one or more locations. It is recommended to properly repair or replace all affected material as well as caulk, prime and paint as needed. Observed on garage.</li> <li>• Previous repairs observed in one or more locations of roof. Dry on day of inspection. It is recommended to be monitored.</li> <li>• Exposed nail heads were noted at the roof protrusions and/or ridge shingles. Nail heads at either the vent &amp; roof flashing or at the composition shingles can allow water to penetrate past the roof covering given enough time. As the exposed portion of the nail rusts, more space will become available between the nail and the roofing material for water to penetrate. This condition can usually be remedied by sealing or caulking affected areas.</li> <li>• There are one or more shingles that do not lay flat. This may indicate the fasteners under the shingles are improperly installed and pushing up the edge of the shingle. The affected shingles are more susceptible to wind damage as a result. It is recommended to fully drive nails and apply a small amount of roofing cement to prevent moisture penetration and premature failure.</li> <li>• Damaged composition shingles were observed in one or more locations of roof on garage. As evident by exposed fibers, loose shingles and missing pieces. It is recommended to properly repair and seal or replace as needed to prevent premature failure. Unable to determine condition of underlying materials.</li> <li>• One or more large branches are stretching over the roof of the house. If these branches were to fall they may damage the roof structure. The branches should be trimmed back to help prevent damage to the roof structure.</li> <li>• There is a tree against the garage roof in the rear. It is recommended to remove the tree prior to repairing the garage roof.</li> </ul>
Page 15 Item: D	Roof Structure and Attics	<ul style="list-style-type: none"> <li>• Loose wiring noted in attic space in one or more locations. It is recommended to be secured/supported max. 4.5 feet (1.37 m) &amp; within 12 inches (0.3 m) of box and cable must be protected within 6 ft (1.83 m) of attic entrance.</li> <li>• Insulation compressed or missing in one or more areas of attic space. It is recommended to add insulation as needed.</li> <li>• The pulldown attic ladder is not insulated or weather stripped at this time. This is an "As Built" condition that does not meet current energy standards. It is recommended to insulate and seal the door as needed.</li> <li>• Vertical insulation is not secured or has fallen down in one or more locations. It is recommended to be properly installed.</li> </ul>
Page 17 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> <li>• Caulking is separated around doors, windows plumbing and electrical penetrations, expansion joints, around exhaust vent on the exterior of home. It is recommended to seal and paint as needed. Unable to determine condition of underlying materials.</li> </ul>
Page 18 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> <li>• Weather strip/seal damaged on one or more exterior doors, which can allow moisture and unwanted pest to enter residence. It is recommended to be replaced to prevent moisture and pest entry.</li> </ul>

Page 18 Item: H	Windows	<ul style="list-style-type: none"> <li>• Windows have become stiff to open and close. It is recommended to open and close fully several times a year so that the windows will self clean. Do not use an oil based lubricant, as this will attract dust and dirt, making the situation worse.</li> <li>• Rusting lintel(angle iron holding brick above windows) on all windows. It is recommended to be properly cleaned, primed and painted to prevent the return of rust.</li> <li>• One or more window screens have been damaged, worn or missing. It is recommended to be properly repaired or replaced as needed.</li> </ul>
Page 19 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> <li>• Fireplace and flue ate dirty. It is recommended to be properly cleaned by a licensed sweep yearly to insure proper and safe operation is attained.</li> <li>• Cracks in mortar and firebrick located in fireplace. It is recommended to be reviewed and evaluated further by a licensed professional chimney sweep.</li> </ul>
Page 20 Item: L	Other	<ul style="list-style-type: none"> <li>• Driveway concrete is cracking and uneven. Creating a trip hazard. It is recommended to be properly repaired or replaced as needed.</li> </ul>
<b>ELECTRICAL SYSTEMS</b>		
Page 21 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> <li>• Circuit panel is not properly or completely labeled. It is recommended to be properly labeled designating which breaker is for which circuit.</li> <li>• Circuit panel is missing several attaching screws. It is recommended to install the approved screws as needed.</li> <li>• White electrical wires connected to circuit breakers are not marked with black or red electrical tape to identify them as HOT. IT is recommended to be properly repaired by a licensed electrician as needed.</li> </ul>

Page 24 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> <li>• <b>GFCI</b> (ground fault circuit interrupter) inoperable or not installed, in kitchen, bathrooms, garage and exterior outlets. It is recommended to be properly repaired by a licensed electrician. [210.8]</li> <li>• Arc Fault Circuit Interrupter (<b>AFCI</b>) breakers were not observed in service panels for one or more areas servicing kitchens, family room, dining room, living room, parlor, library, dens, bedrooms, sunrooms, recreation room, closets, hallways, and laundry room outlets. This type of protection is designed to detect electrical arcing, which is a potential fire hazard. Although AFCI protection was not required at the time the home was originally constructed, as general knowledge of safe building practices has improved with the passage of time, building standards have changed to reflect current understanding. We recommend considering updating the existing electrical to provide AFCI protection. Arc-fault protection can be provided using AFCI circuit breakers installed at the main electrical panel which provide this protection to all non-AFCI outlets on the circuit controlled by that AFCI breaker. Combination-type AFCI are required for 15A &amp; 20A branch circuits supplying outlets in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways &amp; similar rooms or areas. [3902.11]16 {210.12A}</li> <li>• Smoke alarms were inoperative or missing in residence. Smoke alarms are required in each sleeping room and adjoining areas, with a minimum of one detector on each story. The alarms are to be interconnected so that activation of one alarm sets off all alarms.[313.1, 313.2]</li> <li>• There are missing carbon monoxide alarms in the home. Carbon monoxide alarms should be installed in accordance with current standards, as follows: 2009 International Residential Code R315.2.1 New construction. Carbon monoxide alarms shall be provided in dwelling units when either or both of the following conditions exist. 1. The dwelling unit contains a fuel- fired appliance. 2. The dwelling unit has an attached garage with an opening that communicates with the dwelling unit. R315.3 Location. Carbon monoxide alarms in dwelling units shall be installed outside each separate sleeping area in the immediate vicinity of the bedrooms. When a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom. Carbon monoxide is an odorless, colorless, and tasteless gas that is near impossible to identify without a proper detector. It is caused by fuels not burning completely, including wood, gasoline, coal, propane, natural gas, gasoline, and heating oil. This unburned fuel can come from anything from clothes dryers, water heaters, and ovens to ranges, a fire-burning fireplace, or a car left running in a closed garage.</li> </ul>
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**PLUMBING SYSTEMS**

Page 30 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> <li>• Home is equipped with galvanized water pipe. Galvanized plumbing has a life expectancy of 40-50 years and may deteriorate from the inside out. One indication of galvanized plumbing can be rusty water when faucets first turned on. It is recommended to be reviewed and evaluated further by licensed plumber. Repairing as needed.</li> <li>• Insulation on exterior faucet and pipes is deteriorating or missing. It is recommended to be replaced as needed.</li> <li>• Anti-siphon device missing on exterior faucets. Anti-siphon devices keep contaminated water from entering the potable water of the house plumbing. These devices are cheap and can be found in most home improvement stores. It is recommended to be properly installed as needed.</li> <li>• Bathtub and shower grout and caulk has minor separation in several locations. It is recommended to be cleaned and replaced as needed.</li> <li>• Bathtub and sink drain stop in bathrooms are inoperative/loose/missing. It is recommended to be properly installed or replaced as needed.</li> <li>• Toilet seat on several toilets are loosely attached. It is recommended to properly secure or replace seat as needed.</li> <li>• Toilet in bath continually running. The flushing mechanism is not operating properly. It is recommended to be properly repaired or replaced as needed. Observed in spare bathroom upstairs.</li> <li>• Caulking at the base of one or more toilets is separating or cracking. It is recommended to clean and caulk as needed.</li> <li>• The shower door handle is loosely attached in the spare bathroom. It is recommended to be properly adjusted or replaced as needed.</li> <li>• Water leak from toilet tank in half bath. It is recommended to be evaluated further and properly repaired as needed by a licensed plumber.</li> </ul>
Page 33 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> <li>• The water temperature at the kitchen sink was &gt;125F. Temperatures at the point of use in excess of 120F are considered to be a hazard. It is recommended to properly adjust temperature at the water heater.</li> <li>• Insufficient <b>combustion air</b> ventilation for water heater. Closet door does not have a grate or screen to allow combustion air in to unit. It is recommended to add ventilation as needed to prevent premature failure of water heater.</li> </ul>
Page 35 Item: D	Hydro-Massage Therapy Equipment	<ul style="list-style-type: none"> <li>• An opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish was missing from the whirlpool bath. It is recommended to properly install an adequate access opening so that the unit can be serviced or repaired.</li> </ul>

**APPLIANCES**

Page 35 Item: A	Dishwashers	<ul style="list-style-type: none"> <li>• Lack of a proper <b>air gap</b> noted and/or high loop drain line at dishwasher. In the event of a sewer backup this device prevents sewer matter from entering into dishwasher. It is recommended having a qualified plumber install an air gap to prevent possible contamination.</li> </ul>
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Page 37 Item: G	Garage Door Operators	<ul style="list-style-type: none"><li>• Garage door opener safety sticker is missing from button area. It is recommended to install sticker as needed.</li><li>• The laser photo sensor for the garage door was installed at a height greater than 6 inches. Safety standards designed to protect small children limit the maximum mounting height for garage door photo sensors at 6 inches. It is recommended to be properly installed no more than 6 inches above ground level.</li></ul>
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