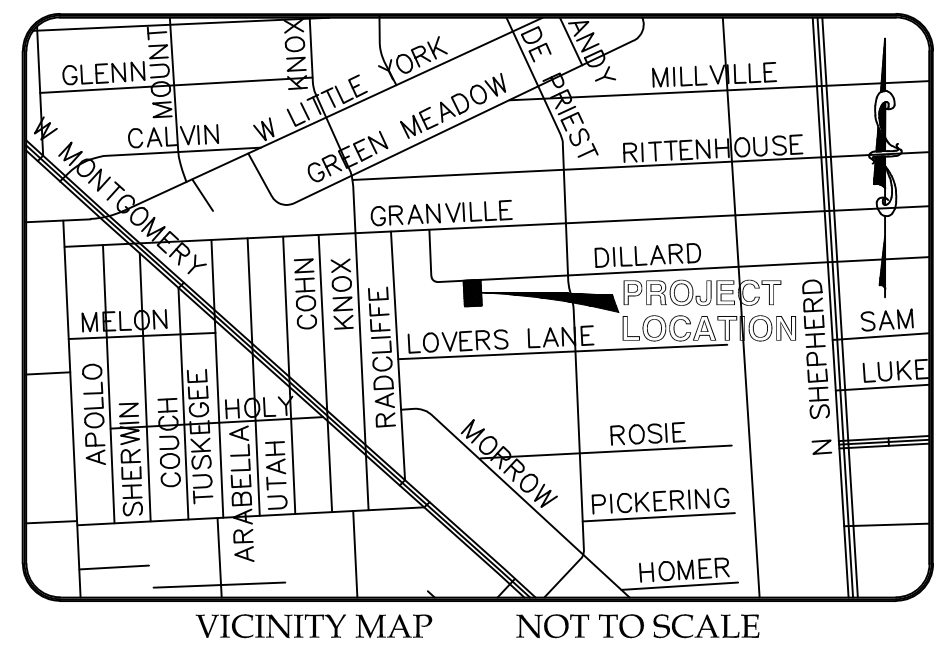




NOTES:

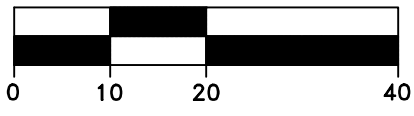
- 1) BEARINGS BASED ON GRID TEXAS SOUTH CENTRAL 4204 NAD 83.
- 2) THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- 3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. SURVEYOR HAS NOT ABSTRACT SUBJECT PROPERTY.
- 4) BUILDER/CONTRACTOR MUST VERIFY ALL EXISTING BUILDING LINES, EASEMENTS, DRAINAGE EASEMENTS, UTILITY EASEMENTS, BUILDING LINE RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES, IF ANY, THAT MUST AFFECT SUBJECT PROPERTY, BEFORE STARTING CONSTRUCTION. MAY REQUIRE A REPLAT AT TIME OF CONSTRUCTION.
- 5) ADDRESS: 0 DILLARD STREET, HOUSTON, TEXAS 77091

LEGEND:
 AC. - ACRES
 B.L. - BUILDING LINE
 ESMT. - EASEMENT
 FC - FENCE
 FC - FENCE CODE
 HCCF - HARRIS COUNTY CLERKS FILE
 HCDR - HARRIS COUNTY DEED RECORDS
 HCMR - HARRIS COUNTY MAP RECORDS
 R.O.W. - RIGHT OF WAY
 SQ. FT. - SQUARE FEET
 C.L.F. - CHAIN LINK FENCE
 - - - - - FENCE
 - - - - - GUY
 - - - - - POWER POLE
 - - - - - SCHOOL ZONE SIGN

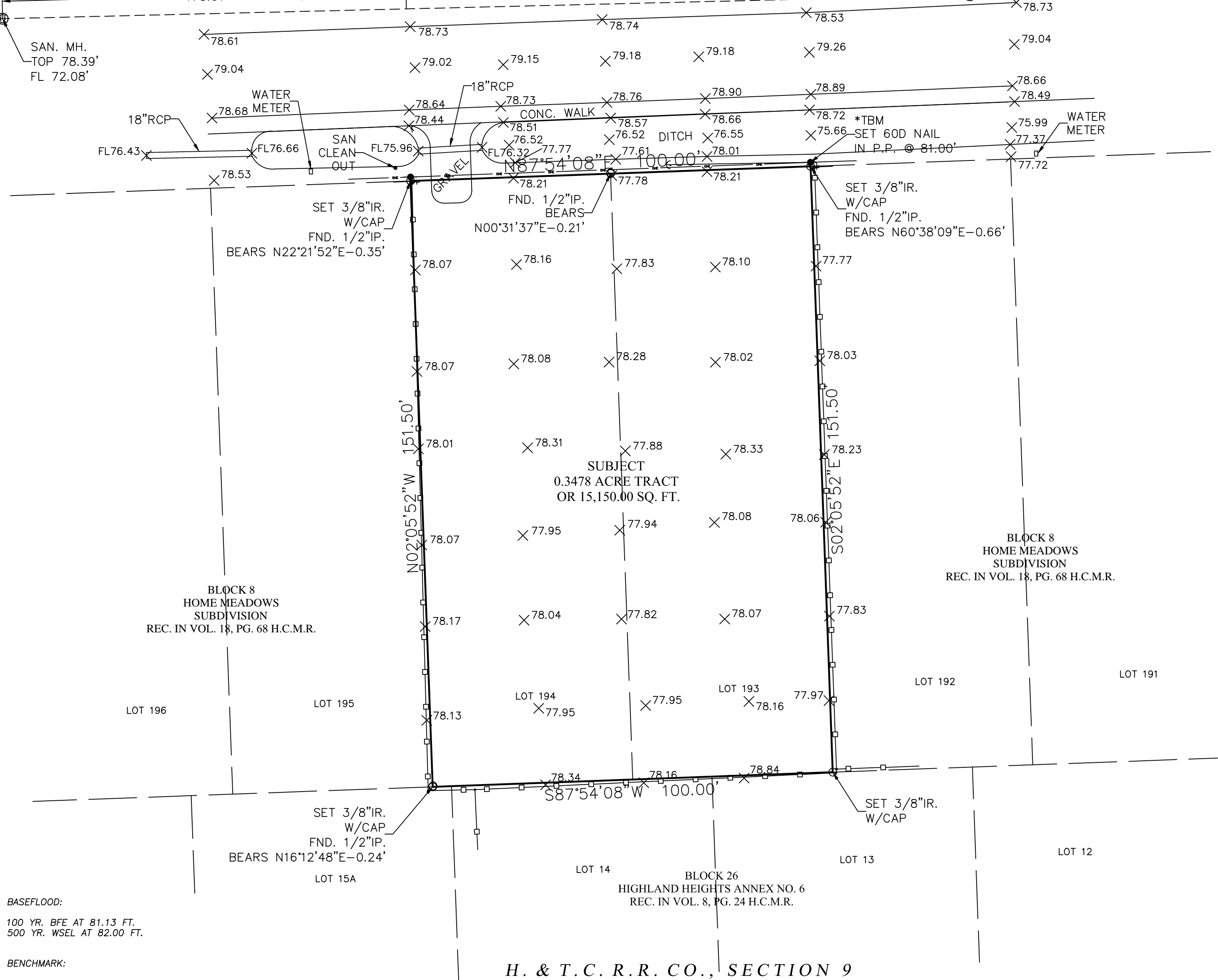


GRAPHIC SCALE

SCALE: 1" = 20'-0"



DILLARD STREET
(60' R.O.W. WIDTH - ASPH.)



BASEFLOOD:
 100 YR. BFE AT 81.13 FT.
 500 YR. WSEL AT 82.00 FT.

BENCHMARK:
 USED FLOODPLAIN RM NO. 050180, BRASS DISC, STAMPING E101 BM25, NORTHING 13879670.66, EASTING 3104723.16, FROM THE INTERSECTION OF W. LITTLE YORK AND N. SHEPHERD, SOUTH ALONG N. SHEPHERD 0.25 MILES TO MILLVILLE. WEST ALONG MILLVILLE 0.1 MILES TO THE BENCHMARK ON THE LEFT, ELEVATION AT 80.98 FT., NAVD88 2001 ADJUSTMENT.

FLOOD INFORMATION
 *THIS TRACT OR LOT _____ IS _____ IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE "AE" AS LOCATED BY FEDERAL INSURANCE ADMINISTRATION DESIGNATED FLOOD HAZARD AREA BY COMMUNITY No. 480296, MAP No. 48201C, PANEL No. 0660M, DATED 06/09/2014.
 *THIS INFORMATION IS BASED ON GRAPHICAL PLOTTING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.

OWNER(S):
 CLEVELAND B. & SHEILA HUBBARD
SURVEYOR:
 TIMELINE SURVEY, LLC
 C. PAUL JONES, SR., R.P.L.S. 5480
 P.O. BOX 701
 FRIENDSWOOD, TEXAS 77549
 PHONE: (713)473-3502
 EMAIL: info@timesurvey.com

I, C. PAUL JONES, SR., A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY.

C. PAUL JONES, SR.
 R.P.L.S. 5480
 STATE OF TEXAS
 LICENSE/REGISTRATION NO. 10194684



BOUNDARY & TOPOGRAPHICAL SURVEY

OF 0.3478 ACRE OR 15,150.00 SQUARE FEET OF LAND BEING ALL OF LOTS 193 & 194, BLOCK 8 OF HOME MEADOWS, A SUBDIVISION IN HARRIS COUNTY, TEXAS RECORDED IN VOLUME 18, PAGE 68 OF THE HARRIS COUNTY MAP RECORDS IN THE H. & T.C. R.R. CO., SECTION 9 HARRIS COUNTY, TEXAS

SCALE: 1" = 20' DATE: JULY 13, 2022