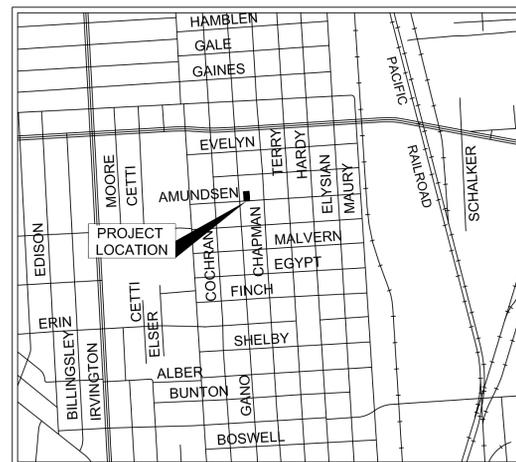


A PROPOSED SINGLE-FAMILY RESIDENCE AT 1307 AMUNDSEN STREET HOUSTON, TEXAS 77009



VICINITY MAP
N.T.S.
KEY MAP #453-Z

PROP. RESIDENCE	_____	2,155	⊕
PROP. PORCH	_____	122	⊕
PROP. PATIO	_____	132	⊕
PROP. GARAGE	_____	365	⊕
TOTAL COVERED	_____	2,774	⊕

HARDI PLANK EXTERIOR
SLAB AND GRADE CONC. FOUNDATION
SINGLE FAMILY RESIDENCE
36'-0" WIDE x 84'-0" DEEP
11'-0" CEILING HEIGHT



107 N. Milby St. Suite B Phone: 281-501-2949
Houston, TX 77003 E-mail: info@plan-express.com

OCTOBER 2020



107 N. Milby Street Ste. B
Houston, Texas 77003
Ph: (281)501-2949
info@plan-express.com
www.plan-express.com

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
2	-	-

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OWNER:

JAYNATA
BANDYOPADHYAY

A PROPOSED
SINGLE FAMILY RESIDENCE
LOCATED
AT
1307 AMUNDSEN STREET
HOUSTON, TEXAS 77009

DRAWING TITLE:

COVER
SHEET

DATE: 10/19/2020

DESIGN: JCB

DRAWN: GE

SCALE: N.T.S.

JOB No: 10091092

FILE: P:\2020\20091092\1307 AMUNDSEN

DRAWING
C-S

REVISIONS		
No.	DATE	DESCRIPTION
1	-	-
2	-	-

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OWNER:
JAYNATA BANDYOPADHYAY

A PROPOSED SINGLE FAMILY RESIDENCE LOCATED AT 1307 AMUNDSEN STREET HOUSTON, TEXAS 77009

DRAWING TITLE:
SITE PLAN

DATE:
10/19/2020

DESIGN:
JCB

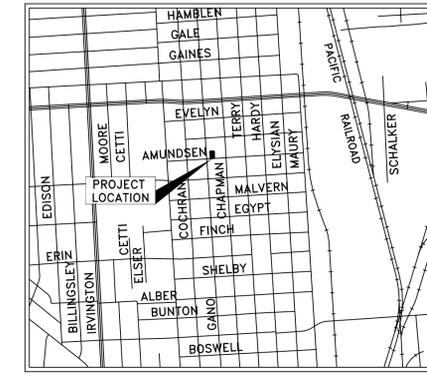
DRAWN:
GE

SCALE:
1 : 10

JOB No:
10091092

FILE:
P:\2020\20091092\1307 AMUNDSEN RD

DRAWING
C-1



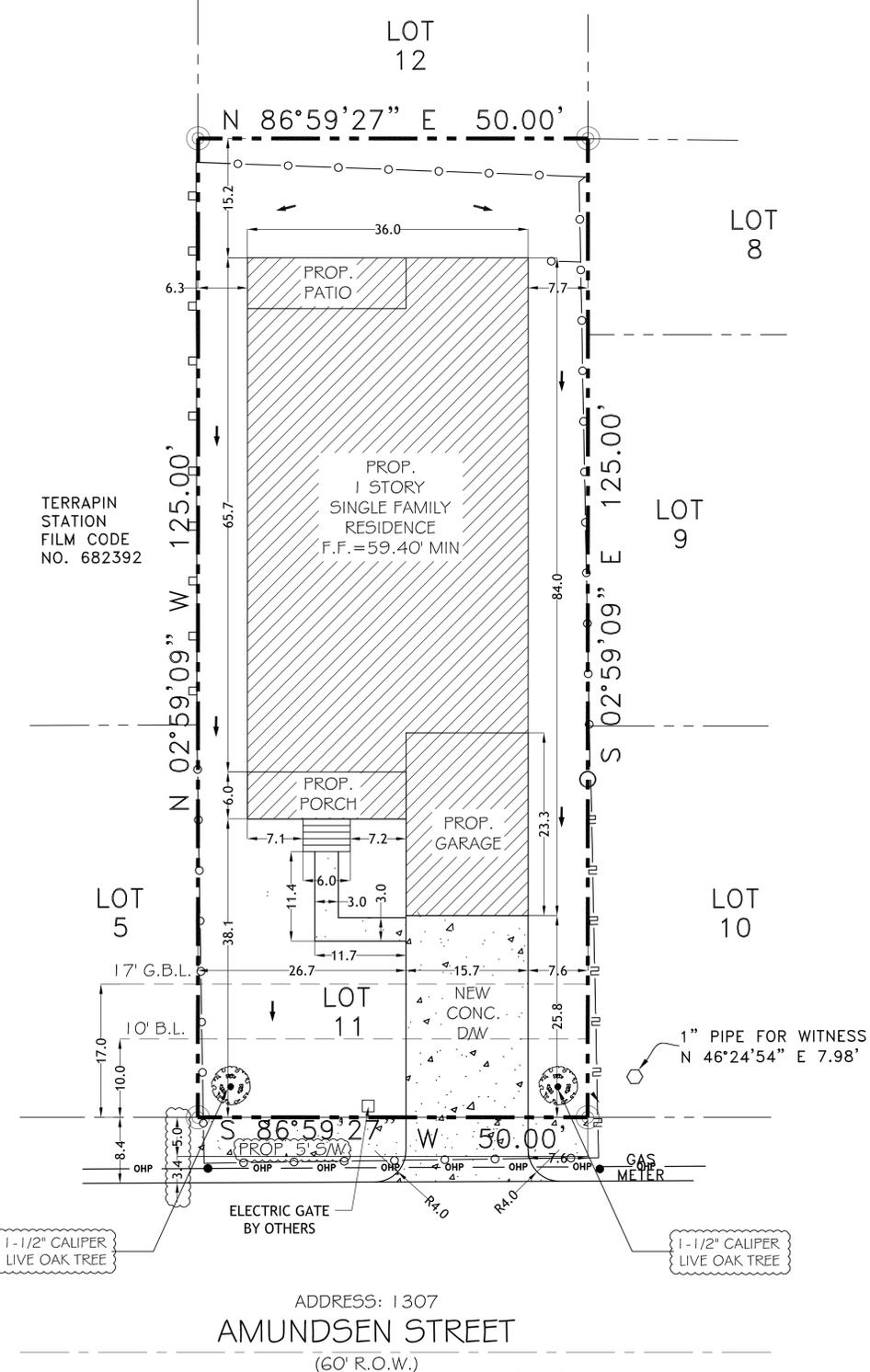
VICINITY MAP
N.T.S.
KEY MAP #453-Z

LEGAL DESCRIPTION
LOT: 11 BLOCK: 112
SUBDIVISION: RYON ADDITION
HARRIS COUNTY
1307 AMUNDSEN STREET
HOUSTON, TEXAS 77009



SQUARE FOOTAGES

PROP. RESIDENCE=	2,155 SQ.FT.
PROP. PORCH=	122 SQ.FT.
PROP. PATIO=	132 SQ.FT.
PROP. GARAGE=	365 SQ.FT.
TOTAL COVERED AREA=	2,774 SQ.FT.



ADDRESS: 1307
AMUNDSEN STREET
(60' R.O.W.)

SAN. SWR. M.H.
RIM ELEV. = 58.40'

RECOMMENDED APPROVAL
PLANNING AND DEVELOPMENT DEPARTMENT
DEVELOPMENT SERVICES
Edward Buckley 8/16/2021
LANDSCAPING REQUIRED

NOTE:
THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET AWAY FROM THE FOUNDATION. A SWALE IS REQUIRED WHERE A PHYSICAL BARRIER DOES NOT ALLOW A 6 INCH DROP IN THE FIRST 10 FEET.

NOTE:
ANY DRIVEWAY NOT PROVIDING ACCESS TO THE PROPERTY SHALL BE REMOVED.

IMPROVEMENT TYPE	AREA OF EXISTING IMPERVIOUS COVER	AREA OF FINAL IMPERVIOUS COVER
BUILDING(S)	1,370 SF	2,798 SF
PARKING LOT/DRIVEWAY	1,290 SF	404 SF
SIDEWALKS/PATIO	78 SF	86 SF
DETENTION POND/POOLS	0 SF	0 SF
TOTAL AREA	2,738 SF	3,288 SF

$3,288_{SF}$ (TOTAL IMPERVIOUS COVER) / $6,250_{SF}$ (SIZE OF LOT) * 100 = **52.60% IMPERVIOUS COVER**
NOTE: DETENTION STORAGE IS NOT REQUIRED FOR THIS PROJECT.

NOTE PRIOR TO CONSTRUCTION:
ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE CONSTRUCTION MAY BEGIN. IN CASE OF ANY DISCREPANCY OR ERROR CONTACT THE PROJECT ENGINEER IMMEDIATELY.

APPROVAL NOTES:
IF A BUILDING PERMIT IS NOT ISSUED AND CONSTRUCTION HAS NOT BEGUN, THE DEVELOPER WILL BE REQUIRED TO RESUBMIT THE SITE PLAN FOR APPROVAL.

NOTES:
THE ELEVATION OF FINISHED FLOOR SHALL BE 1'-0" ABOVE NEAREST MANHOLE COVER (PER 2012 I.R.C. & CITY OF GALENA PARK BUILDING CODE) DO NOT DRAIN TO ADJACENT PROPERTY.
IT IS THE BUILDERS OR CONTRACTOR RESPONSIBILITY TO VERIFY ALL SLAB CONFIGURATIONS AND DROPS, UTILITY EASEMENTS, AERIAL EASEMENTS, BUILDING LINES & SUCH FOR ENCROACHMENTS, ACCURACY & COMPLIANCE TO CODES
BUILDER/CONTRACTOR TO VERIFY ALL INFORMATION ON THIS SITE PLAN & BE RESPONSIBLE FOR ITS ACCURACY.

1-1/2" CALIPER LIVE OAK TREE

1-1/2" CALIPER LIVE OAK TREE



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 Houston, Texas 77003
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 info@plan-express.com
 www.plan-express.com

REVISIONS		
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2	-	-

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OWNER:

JAYNATA
 BANDYOPADHYAY

A PROPOSED
 SINGLE FAMILY RESIDENCE
 LOCATED
 AT
 1307 AMUNDSEN STREET
 HOUSTON, TEXAS 77009

DRAWING TITLE:

FLOOR
 PLAN

DATE:
 10/19/2020

DESIGN:
 JCB

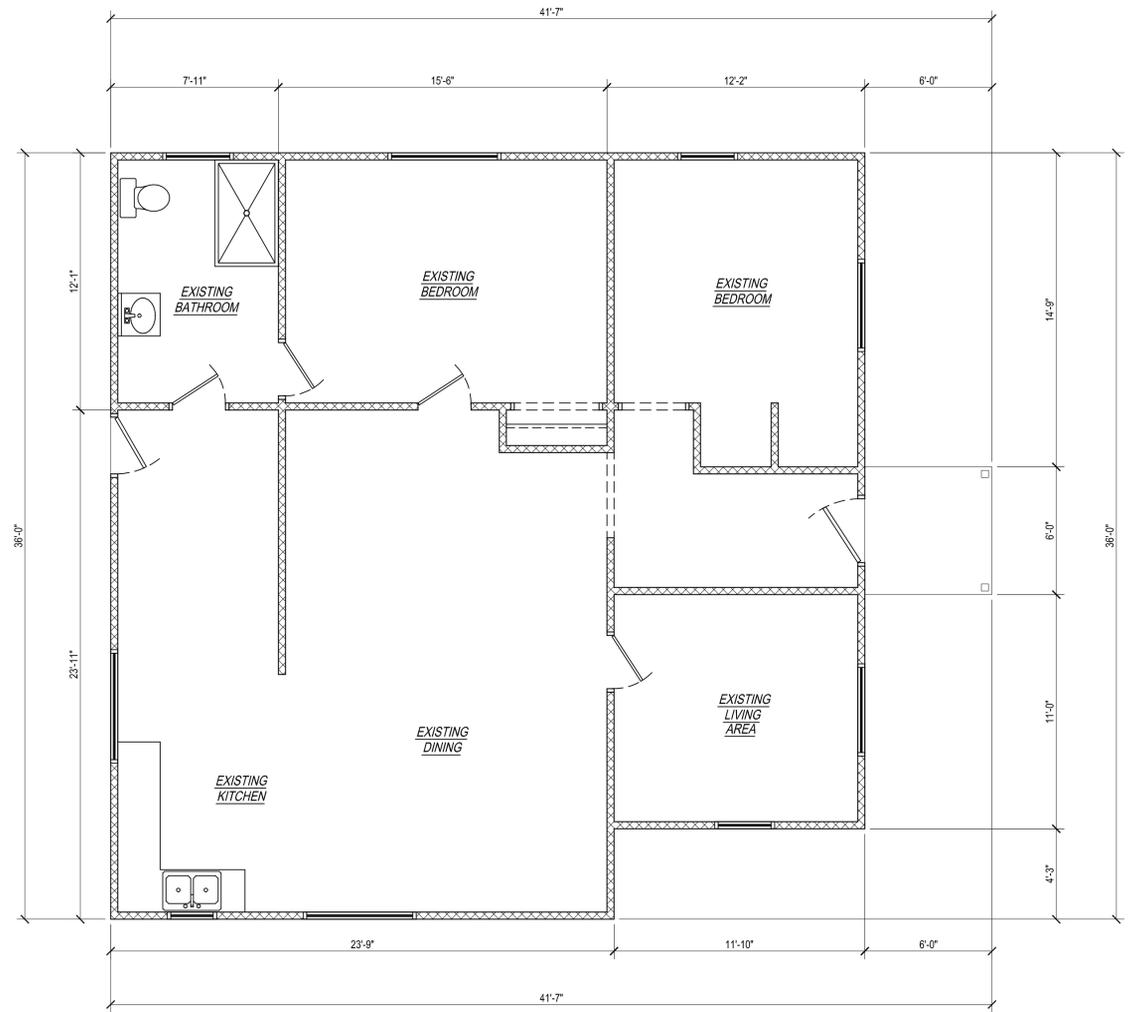
DRAWN:
 GE

SCALE:
 1/4" = 1'-0"

JOB No:
 10091092

FILE:
 P:\2020\20091092\1307 AMUNDSEN

DRAWING
 A-1



EXISTING FLOOR PLAN

WALL LEGEND	
EXISTING WALLS=	———
PROPOSED WALLS=	//////
DEMO WALLS=	XXXXXX

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
2	-	-

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 BANDYOPADHYAY

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 LOCATED
 AT
 1307 AMUNDSEN STREET
 HOUSTON, TEXAS 77009

DRAWING TITLE:

FLOOR
 PLAN

DATE: 10/19/2020

DESIGN: JCB

DRAWN: GE

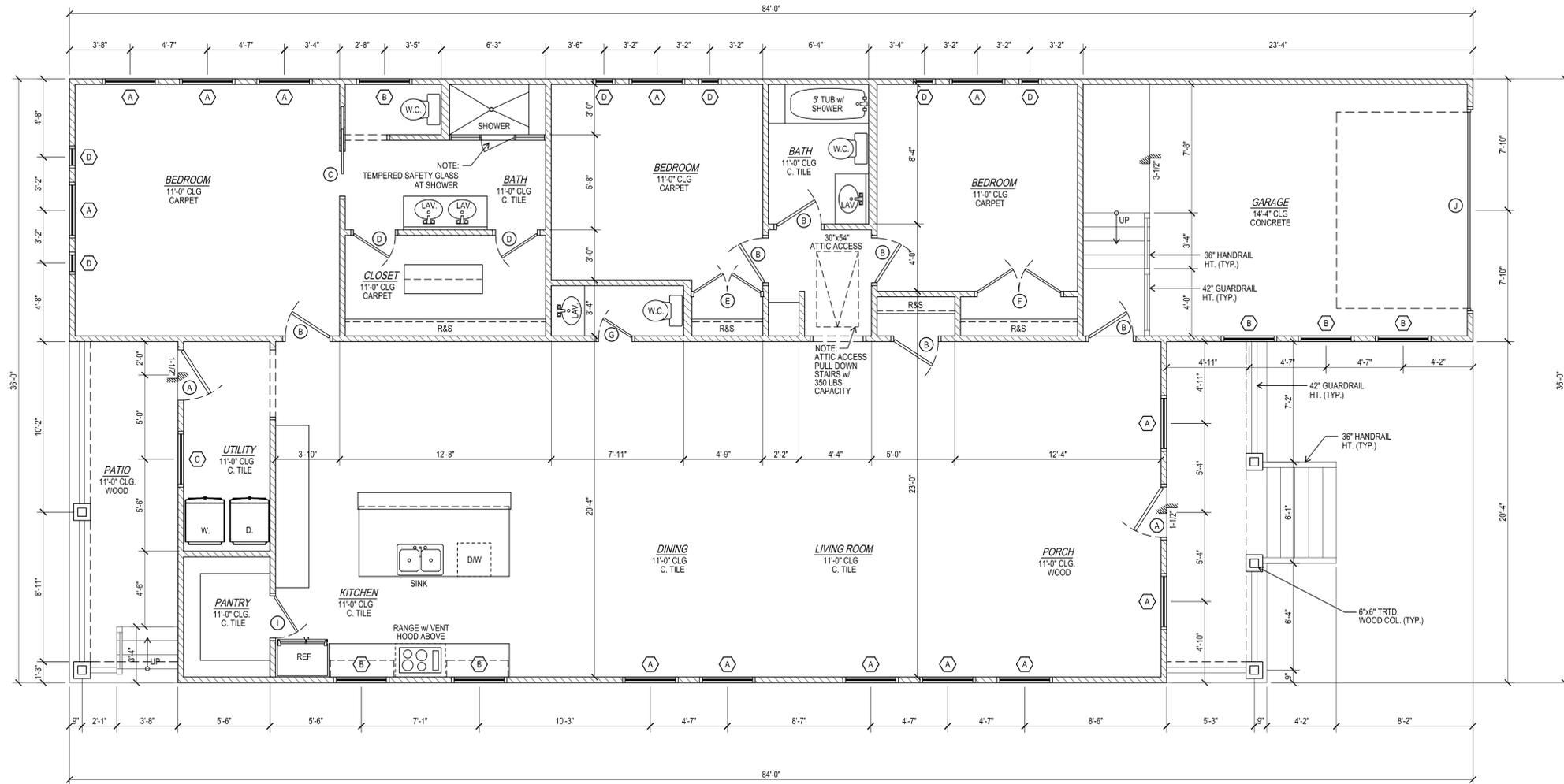
SCALE: 1/4" = 1'-0"

JOB No: 10091092

FILE: P:\2020\20091092\1307 AMUNDSEN

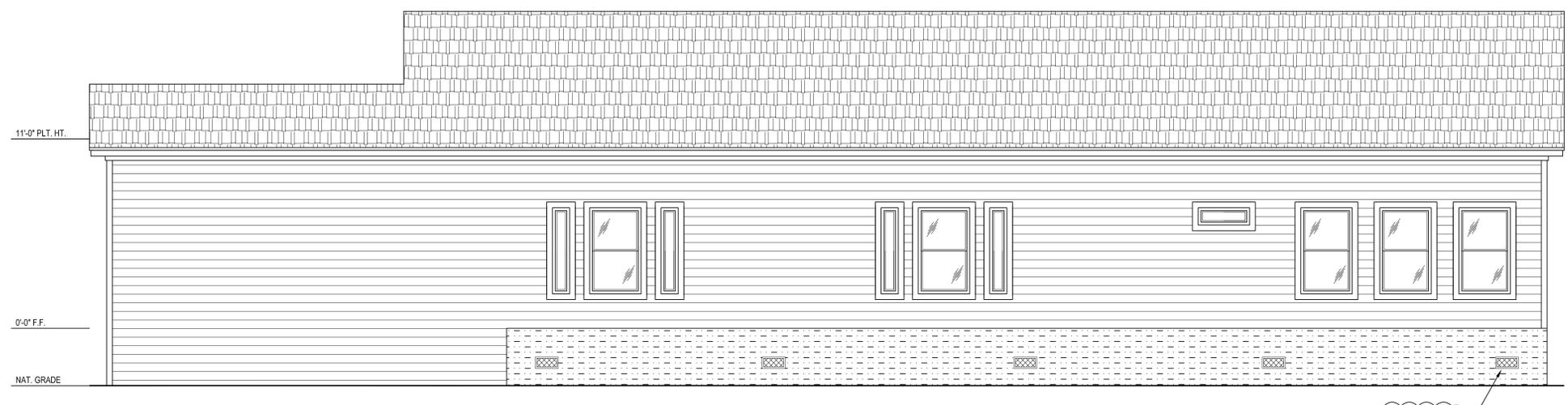
DRAWING

A-2



PROPOSED FLOOR PLAN

WALL LEGEND	
EXISTING WALLS=	———
PROPOSED WALLS=	▨▨▨▨
DEMO WALLS=	▣▣▣▣



RIGHT ELEVATION

NOTE: CRAWLSPACE VENTILATION R408.1
 AT LEAST 1 Sq.Ft. OF VENT FOR EACH 150 Sq.Ft. OF CRAWLSPACE

VENT,
 SPECS ON SHEET A-4

MATERIAL:

12" MAX. FROM FINAL GRADE

CORROSION-RESISTANT WIRE MESH, WITH THE LEAST DIMENSION BEING 1/8 INCH (3.2 MM). REF: R408.2 (COORDINATE WITH ARCHITECT)

VENT AREA
 AS PER SECTION R-408.1 OF IRC 2012

NET VENT OPENING	=	16'-1/4" x 8'-1/4"
=	0.93 Sq.Ft. MIN.	
TOTAL AREA OF CRAWL SPACE	=	2,184 Sq.Ft.
REQ. VENT AREA	=	2,184 Sq.Ft. / 150 Sq.Ft. = 14.56
TOTAL NO. OF VENTS PROVIDED	=	16 VENTS
NET VENT AREA PROVIDED	=	16 x 0.93 = 14.88 Sq.Ft.
		PROVIDED AREA > REQ. AREA

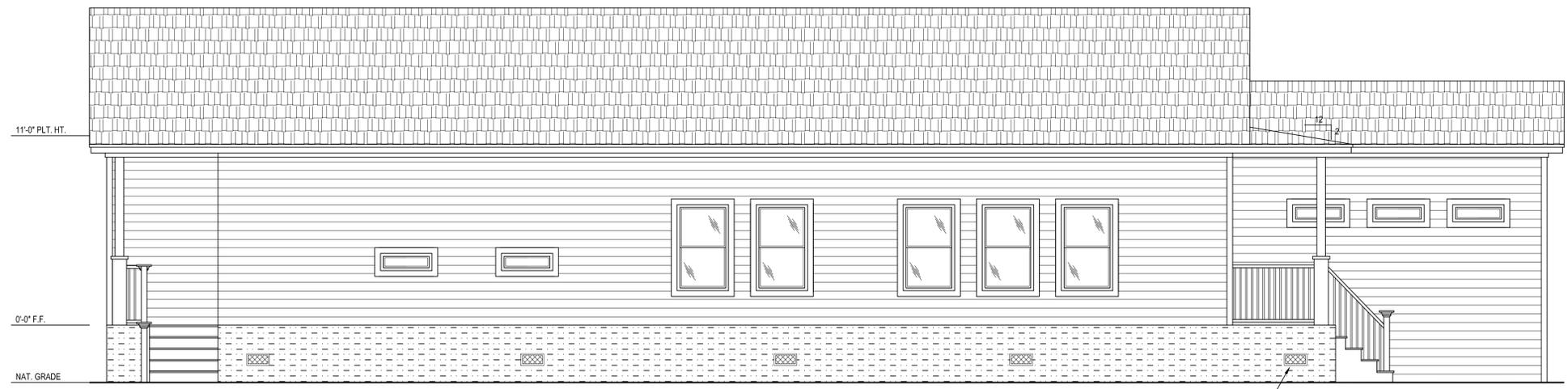


FRONT ELEVATION



REAR ELEVATION

NOTE: CRAWLSPACE VENTILATION R408.4
 ACCESS OPENING THROUGH A PERIMETER WALL SHOULD BE A MINIMUM OF 16"x24"



LEFT ELEVATION

VENT,
 SPECS ON SHEET A-4

REVISIONS

No.	DATE	DESCRIPTION
1	-	-
2	-	-

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A PROPOSED
 SINGLE FAMILY RESIDENCE
 LOCATED
 AT
 1307 AMUNDSEN STREET
 HOUSTON, TEXAS 77009

DRAWING TITLE:
EXTERIOR ELEVATION

DATE:
 10/19/2020

DESIGN:
 JCB

DRAWN:
 GE

SCALE:
 1/4" = 1'-0"

JOB No:
 10091092

FILE:
 P:\2020\20091092\1307 AMUNDSEN

DRAWING
A-4



1307 Amundsen Street

Lot Eleven (11), in Block One-Hundred-Twelve (112) of RYON ADDITION to the City of Houston, Harris County, Texas, according to the Map or Plat thereof, recorded in Volume Z, Page 601 of the Deed Records of Harris County, Texas.

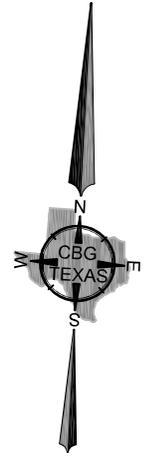
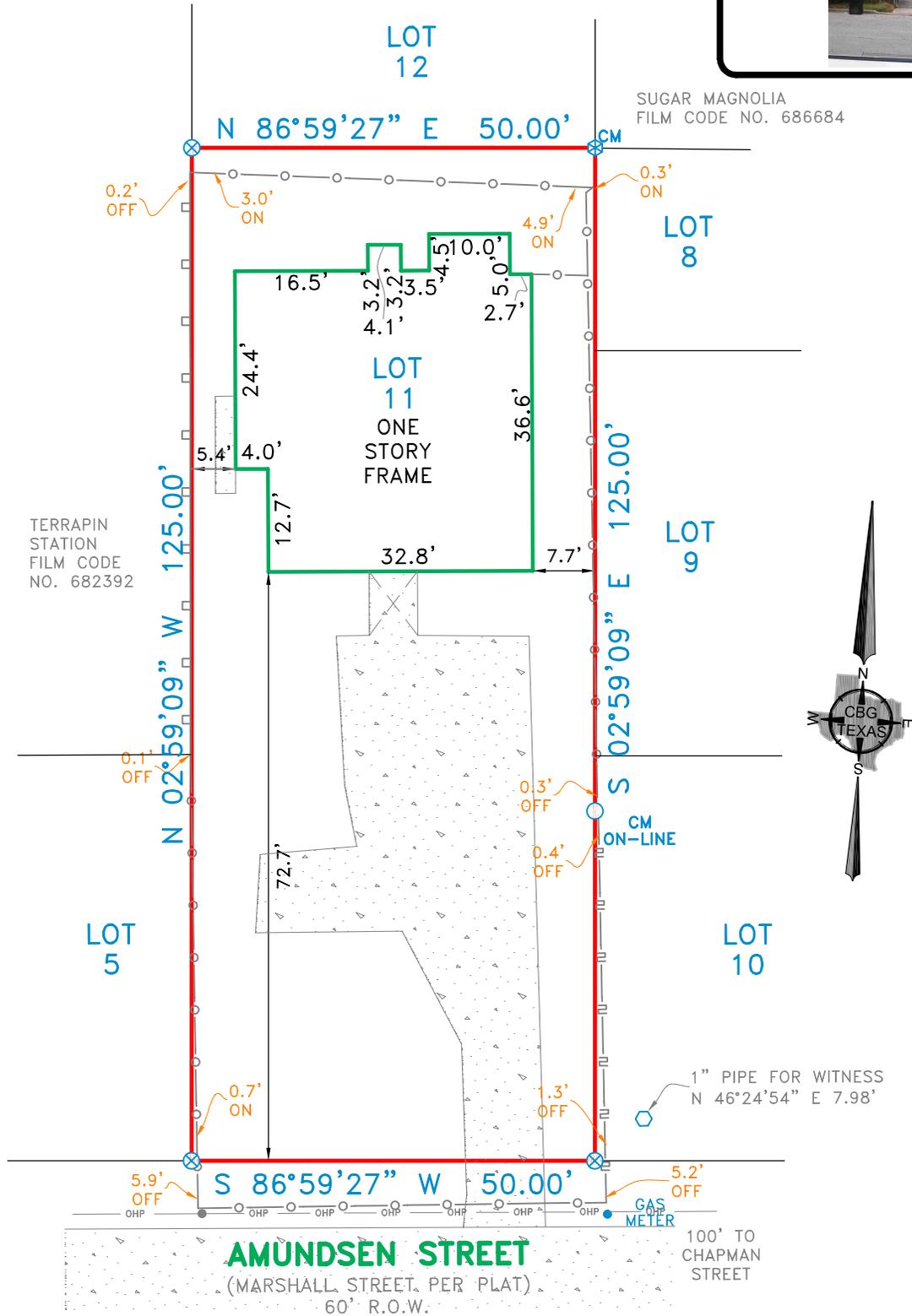


Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 08/15/21



LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// EDGE OF ASPHALT
- ▲ EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



EXCEPTIONS:

NOTE: CONTROL MONUMENTS SHOWN HEREON ARE THE BASIS FOR DIRECTIONAL CONTROL.

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

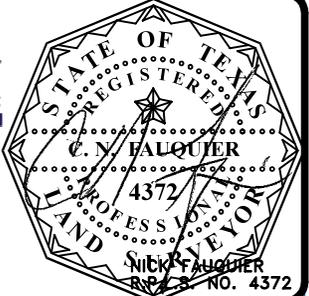
FLOOD NOTE: According to the F.I.R.M. No. 48201C0690N, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Old Republic Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: SN
 Scale: 1" = 20'
 Date: 08/15/19
 GF No.: 19006576
 Job No.: 1916330

CBG
 SURVEYING TEXAS LLC
 PROFESSIONAL LAND SURVEYORS
 DFW - Houston - East Texas - Austin - San Antonio

321 Century Plaza Dr., Ste. 105
 Houston, TX 77073
 P 281.443.9288
 F 281.443.9224
 Firm No. 10194280
 www.cbgtllc.com



Accepted by: _____
 Purchaser
 Date: _____
 Purchaser