

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 11-13-23 GF No. _____
Name of Affiant(s): Kristin Tiger
Address of Affiant: 12227 Trail Hollow Drive, Montgomery, Texas, 77356
Description of Property: S945507 - WALDEN 07, BLOCK 16, LOT 8 U/R REPLAT
County Montgomery, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since July 7, 2018 there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

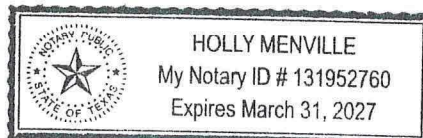
EXCEPT for the following (If None, Insert "None" Below:)

NONE

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

SWORN AND SUBSCRIBED this 13th day of November, 2023.

Holly Menville
Notary Public
(TXR 1907) 02-01-2010

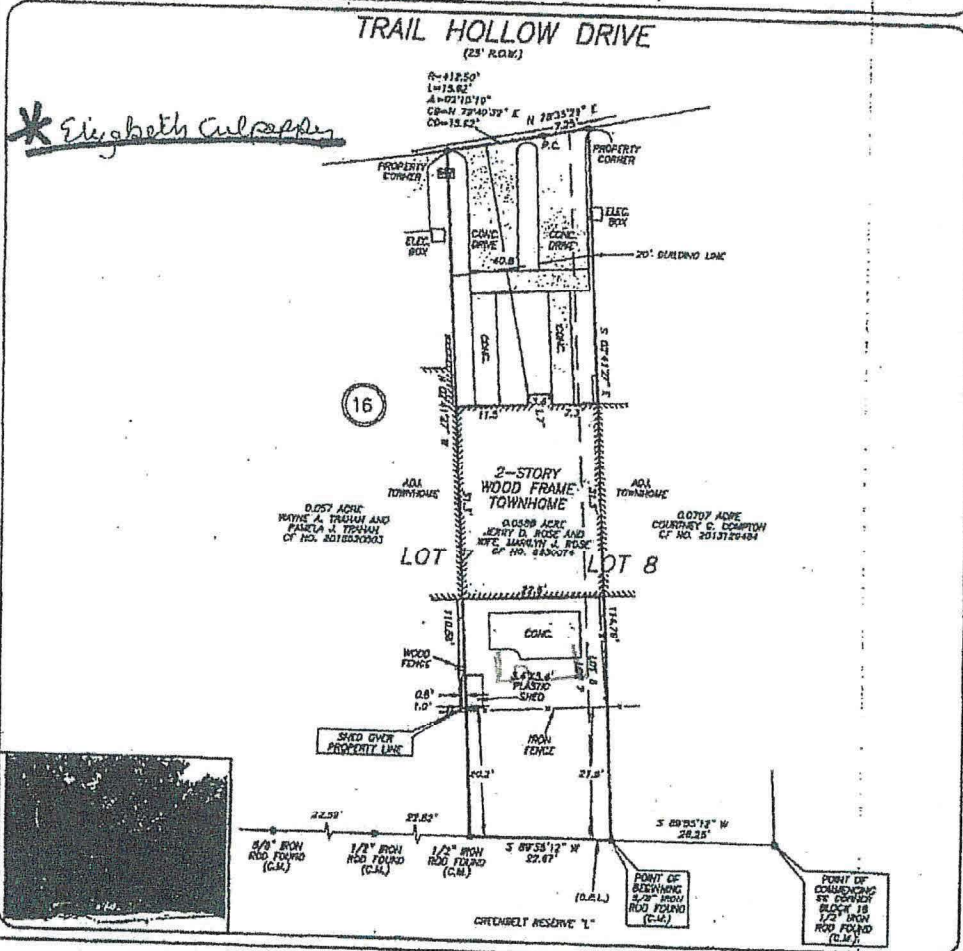


GF NO. 2148909-H043 FIRST AMERICAN TITLE
 ADDRESS: 12227 TRAIL HOLLOW DRIVE
 MONTGOMERY, TEXAS 77356
 BORROWER: LAWRENCE R. CULPEPPER AND
 ELIZABETH A. CULPEPPER

0.0585 ACRE
 OUT OF LOTS 7 AND 8, BLOCK 16
 WALDEN ON LAKE CONROE, SECTION 7

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
 IN CABINET A, SHEET 113-A (FORMERLY VOLUME 11, PAGE 17)
 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS
 (SEE ATTACHED METES AND BOUNDS)

SCALE: 1" = 20'



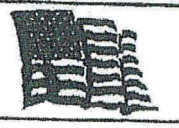
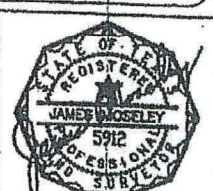
THIS PROPERTY DOES NOT LIE WITHIN THE
 100 YEAR FLOOD PLAIN AS PER FIRM
 PANEL NO. 10332C DATES 0
 MAP REVISION: 04/18/2014
 ZONE X
 BASED ONLY ON VISUAL EXAMINATION OF MAPS
 REPRODUCTIONS OF FEMA MAPS PREVENT EXACT
 DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION
 WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
 RECORD BEARING: EARL A. SHEET 113-A M.C.M.S.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 ON THE GROUND, THAT THIS PLAT CORRECTLY
 REPRESENTS THE FACTS FOUND AT THE
 TIME OF SURVEY AND THAT THERE ARE NO
 ENCUMBRANCES APPARENT ON THE GROUND,
 EXCEPT AS SHOWN HEREON. THIS SURVEY IS
 CERTIFIED FOR THIS TRANSACTION ONLY AND
 NO OTHER RIGHTS OR INTERESTS ARE
 DERIVED FROM THE ABOVE.
 REFERENCED TITLE COMMITMENT WAS REVIEWED
 UPON THE PREPARATION OF THIS SURVEY.

JAMES E. MOSELEY
 PROFESSIONAL LAND SURVEYOR
 NO. 5912
 JOB NO. 18-08184
 JULY 07, 2018



PRECISION
 surveyors

281-496-1586 FAX 281-496-1867 210-829-4941 FAX 210-829-1555
 350 HANCOCK STREET SUITE 150 HOUSTON, TEXAS 77079 1772 MC LOOP 410 SUITE 200 DFW AIRPORT, TEXAS 75217
 WWW.PRECISIONSURVEYORS.COM PHONE NO. 10083700