

TITLE COMPANY:



TRADITION TITLE COMPANY

713-492-2912

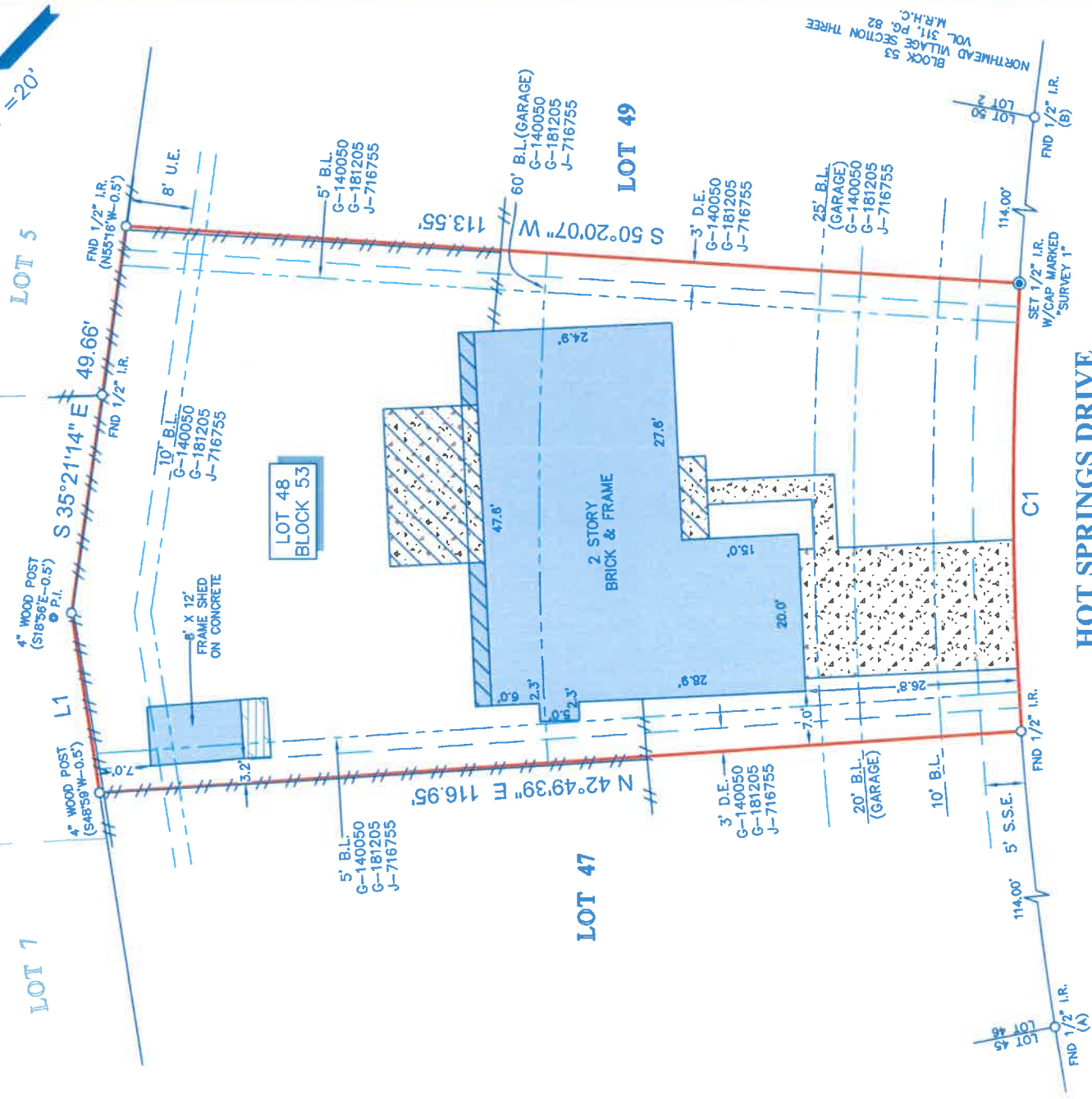
ISSUE DATE: DECEMBER 5, 2021

G.F. #: 21-70004362

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	435.00'	57.00'	N 43°25'07" W	56.96'

LINE	BEARING	DISTANCE
L1	S 52°18'11" E	23.16'

BLOCK 53
NORTHMEAD VILLAGE SECTION 3
VOL. 311, PG. 82
M.R.H.C.



HOT SPRINGS DRIVE (50' R.O.W.)

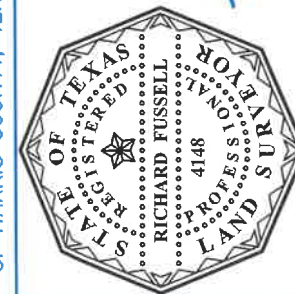
LEGEND

BL	BUILDING LINE	CONCRETE	2ND FLOOR ONLY
U.E.	UTILITY EASEMENT	COVERED AREA	WOOD DECK
S.S.E.	SANITARY SEWER EASEMENT	FENCE	WOOD

- NOTES:**
- ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
 - ALL INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE, SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED SUBJECT PROPERTY.
 - THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
 - THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
 - SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON DECEMBER 5, 2021, UNDER G.F. NO. 21-70004362.
 - AGREEMENT FOR UNDERGROUND/OVERHEAD ELECTRIC SERVICE WITH HOUSTON LIGHTING & POWER COMPANY RECORDED IN CLERK'S FILE NO. J-924885.
 - 2.00' EASEMENT CENTERED ALONG UNDERGROUND WIRE FOR AUDIO & VIDEO COMMUNICATION SERVICES AS RECORDED IN C.F. NO. G-140050.

LEGAL DESCRIPTION: LOT 48, IN BLOCK 53, OF COPPERFIELD MIDDLEGATE VILLAGE, SECTION THREE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 327, PAGE 30 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

SURVEYOR'S CERTIFICATE:
IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A REASONABLE SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION ON BEHALF OF THE CLIENT. THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS EXCEPT AS SHOWN.



CLIENT: PAUL REED
ADDRESS: 8514 HOT SPRINGS DRIVE
www.survey1inc.com
survey1@survey1inc.com

FIELD CREW: CD
TECH: ET

DRAFTER: MC(V)
FINAL CHECK: LT

DATE: DEC. 9, 2021
JOB#: 12-105611-21



Firm Registration No. 100758-00
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