

ADDRESS: 30215 REAGANS RANCH DRIVE

AREA: 6,646 S.F. ~ 0.15 ACRES

PLAT NO. 20220096

MFE: 148.60'

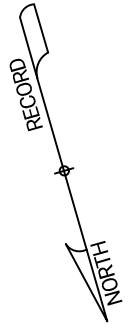
DRAINAGE TYPE: "A"

30' 0' 30'

GRAPHIC SCALE: 1" = 30'

Line	Bearing	Distance
L1	N 73°58'40" W	25.95'
L2	N 72°53'41" W	28.46'

Curve	Radius	Length	Chord	Chord Bearing
C1	2,620.00'	22.35'	22.35'	S 73°44'00" E
C2	25.00'	12.88'	12.74'	S 88°15'00" E
C3	50.00'	20.77'	20.62'	S 88°53'17" W



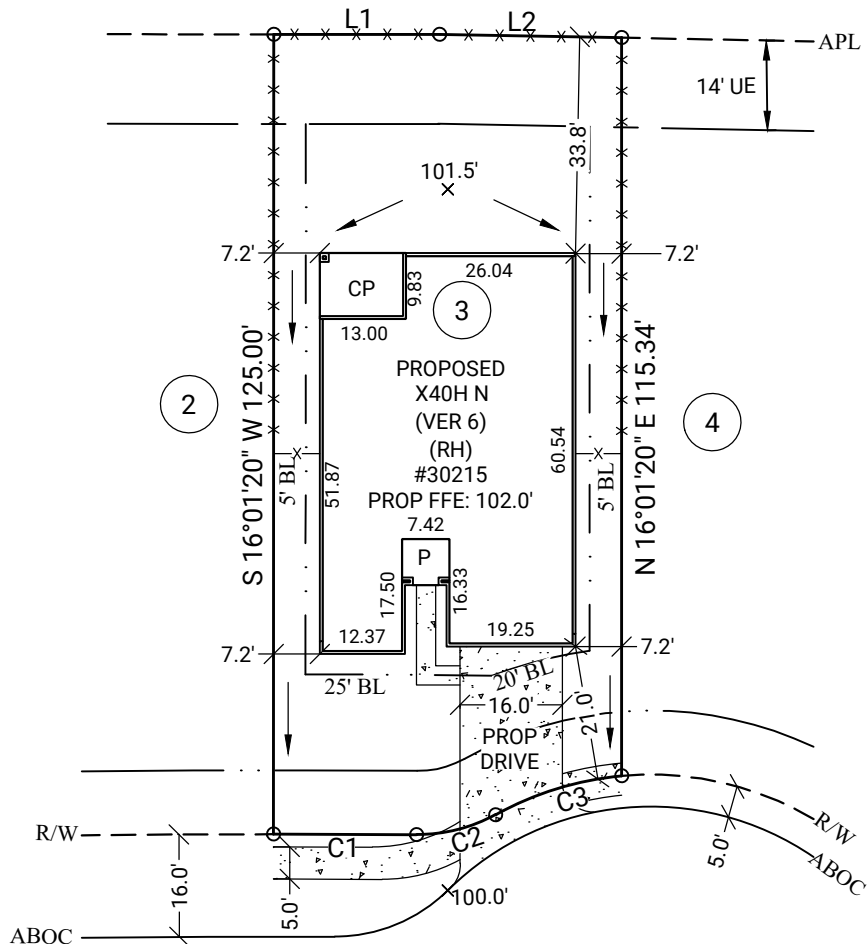
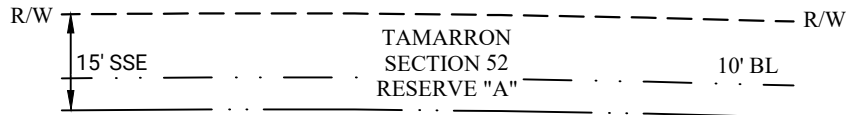
TOTAL FENCE	199 LF
FRONT	14 LF
LEFT	66 LF
RIGHT	65 LF
REAR	54 LF

AREAS	
LOT AREA	6,646 SF
SLAB	2,409 SF
LOT COVERAGE	36 %
INTURN	102 SF
DRIVEWAY	402 SF
PUBLIC WALK	197 SF
PRIVATE WALK	58 SF
REAR YARD AREA	256.1 SY
FRONT YARD AREA	191.9 SY

OPTIONS:
 4 SIDES BRICK,
 COVERED PATIO,
 FRAMING, FOUNDATION, & ROOF
 RAFTER DETAILS

TAMARRON POINT

60' R/W



REAGANS RANCH DRIVE

60' PUBLIC R/W

NOTE: BASE ELEVATION IS ASSUMED.
 (FOR REFERENCE ONLY)

NOTE: PLOT PLAN PREPARED WITHOUT BENEFIT OF TITLE.

This property lies within flood zone "X" according to FEMA FIRM#: 48157C0085M, effective on 01/29/2021.

- LEGEND**
- BL Building Line
 - APL Approximate Property Line
 - ABOC Approximate Back of Curb
 - R/W Right of Way
 - N/F Now or Formerly
 - UE Utility Easement
 - DE Drainage Easement
 - SSE Sanitary Sewer Easement
 - WLE Water Line Easement
 - STMSE Storm Sewer Easement
 - PROP Proposed
 - MFE Minimum Finished Floor Elevation
 - FFE Finished Floor Elevation
 - GFE Garage Floor Elevation
 - P Porch
 - CP Covered Patio
 - PAT Patio
 - S Stoop
 - CONC Concrete
 - X- Fence
 - TOF Top of Forms
 - RBF Rebar Found
 - RBS Rebar Set

GENERAL NOTES: No field work has been performed. This property is subject to additional easements or restrictions of record. Carter & Clark Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. Utility easement has not been field verified by surveyor. contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

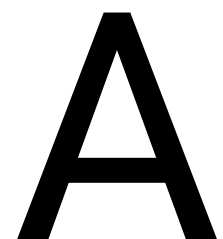
SUB: Tamarron SEC: 52
 LOT: 3 BL: 1

City of Fulshear, Fort Bend County, Texas

PLOT PLAN FOR:
D·R·HORTON
America's Builder

CARTER + CLARK
 SURVEYORS ■ PLANNERS ■ ENGINEERS

3090 Premiere Parkway, Suite 600
 Duluth, GA 30097
 866.637.1048
 www.carterandclark.com
 FIRM LICENSE: 10193759



ORDER DATE: 08/16/2022
 20220805399 DRH_HTX_S FC: N/A