

**ADDRESS: 4003 PIERCE PLACE LANE**

AREA: 7,741 S.F. ~ 0.18 ACRES

PLAT NO. 20220096

MFE: 148.60'

30' 0' 30'

GRAPHIC SCALE: 1" = 30'

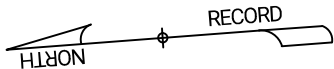
DRAINAGE TYPE: "A"

<b>TOTAL FENCE</b>	214 LF
FRONT	23 LF
LEFT	64 LF
RIGHT	64 LF
REAR	63 LF

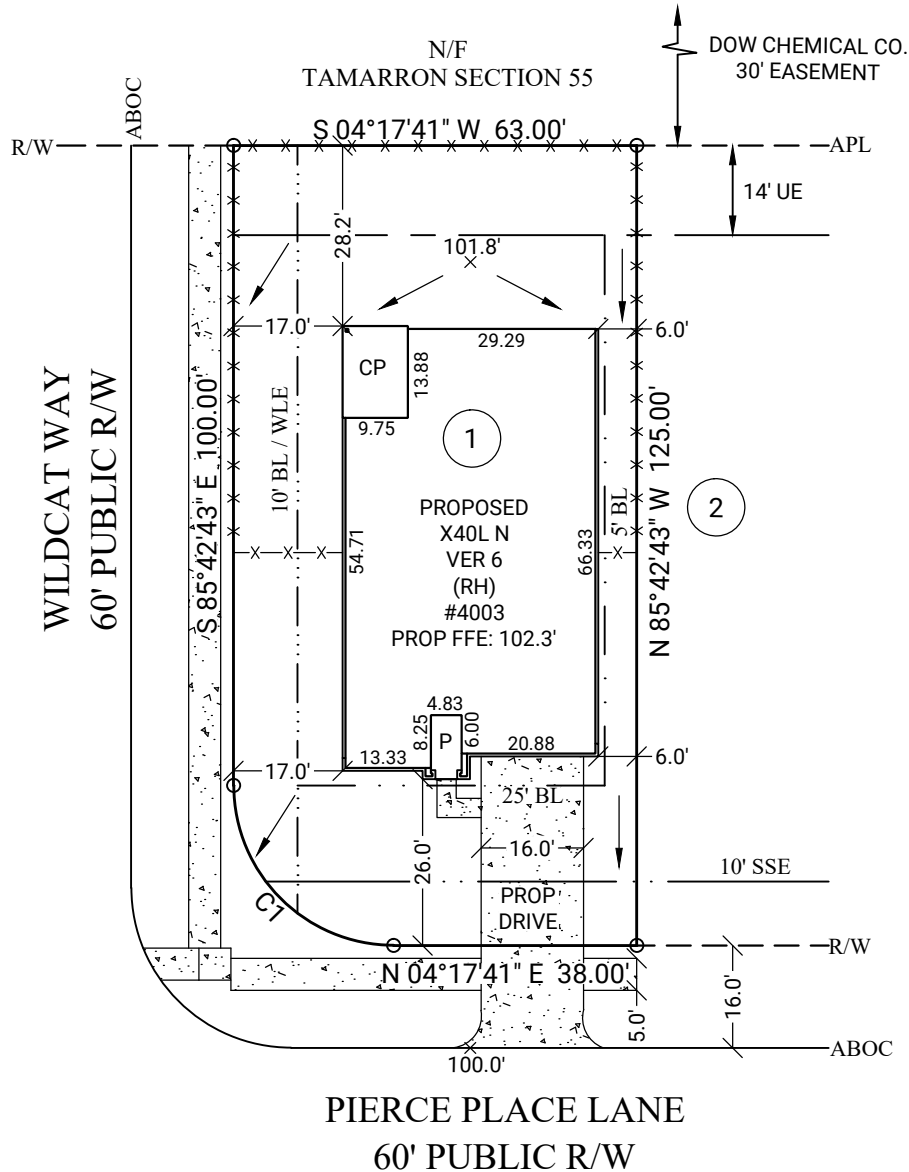
<b>AREAS</b>	
LOT AREA	7,741 SF
SLAB	2,728 SF
LOT COVERAGE	35 %
INTURN	267 SF
DRIVEWAY	473 SF
PUBLIC WALK	927 SF
PRIVATE WALK	30 SF
REAR YARD AREA	289.6 SY
FRONT YARD AREA	442.0 SY

**OPTIONS:**  
3 SIDES BRICK, COVERED PATIO  
FRAMING, FOUNDATION, & ROOF  
RAFTER DETAILS

Curve	Radius	Length	Chord	Chord Bearing
C1	25.00'	39.27'	35.35'	N 49°17'29" E



- LEGEND**
- BL Building Line
  - APL Approximate Property Line
  - ABOC Approximate Back of Curb
  - R/W Right of Way
  - N/F Now or Formerly
  - UE Utility Easement
  - DE Drainage Easement
  - SSE Sanitary Sewer Easement
  - WLE Water Line Easement
  - STMSE Storm Sewer Easement
  - PROP Proposed
  - MFE Minimum Finished Floor Elevation
  - FFE Finished Floor Elevation
  - GFE Garage Floor Elevation
  - P Porch
  - CP Covered Patio
  - PAT Patio
  - S Stoop
  - CONC Concrete
  - X- Fence
  - TOF Top of Forms
  - RBF Rebar Found
  - RBS Rebar Set



**PIERCE PLACE LANE**  
60' PUBLIC R/W

NOTE: BASE ELEVATION IS ASSUMED.  
(FOR REFERENCE ONLY)

NOTE: PLOT PLAN PREPARED WITHOUT BENEFIT OF TITLE.

This property lies within flood zone "X" according to FEMA FIRM#: 48157C0085M, effective on 01/29/2021.

**GENERAL NOTES:** No field work has been performed. This property is subject to additional easements or restrictions of record. Carter & Clark Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. Utility easement has not been field verified by surveyor. contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. City sidewalks, driveway approaches, and other improvements inside the city's right of way are provided for demonstration purposes only. consult the development plans for actual construction. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet.

**SUB: Tamarron SEC: 52**  
LOT: 1 BL: 2

City of Fulshear, Fort Bend County, Texas

PLOT PLAN FOR:



ORDER DATE: 08/03/2022  
20220801364 DRH\_HTX\_S FC: N/A



3090 Premiere Parkway, Suite 600  
Duluth, GA 30097  
866.637.1048  
www.carterandclark.com  
FIRM LICENSE: 10193759

