

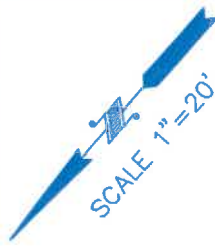
TITLE COMPANY:



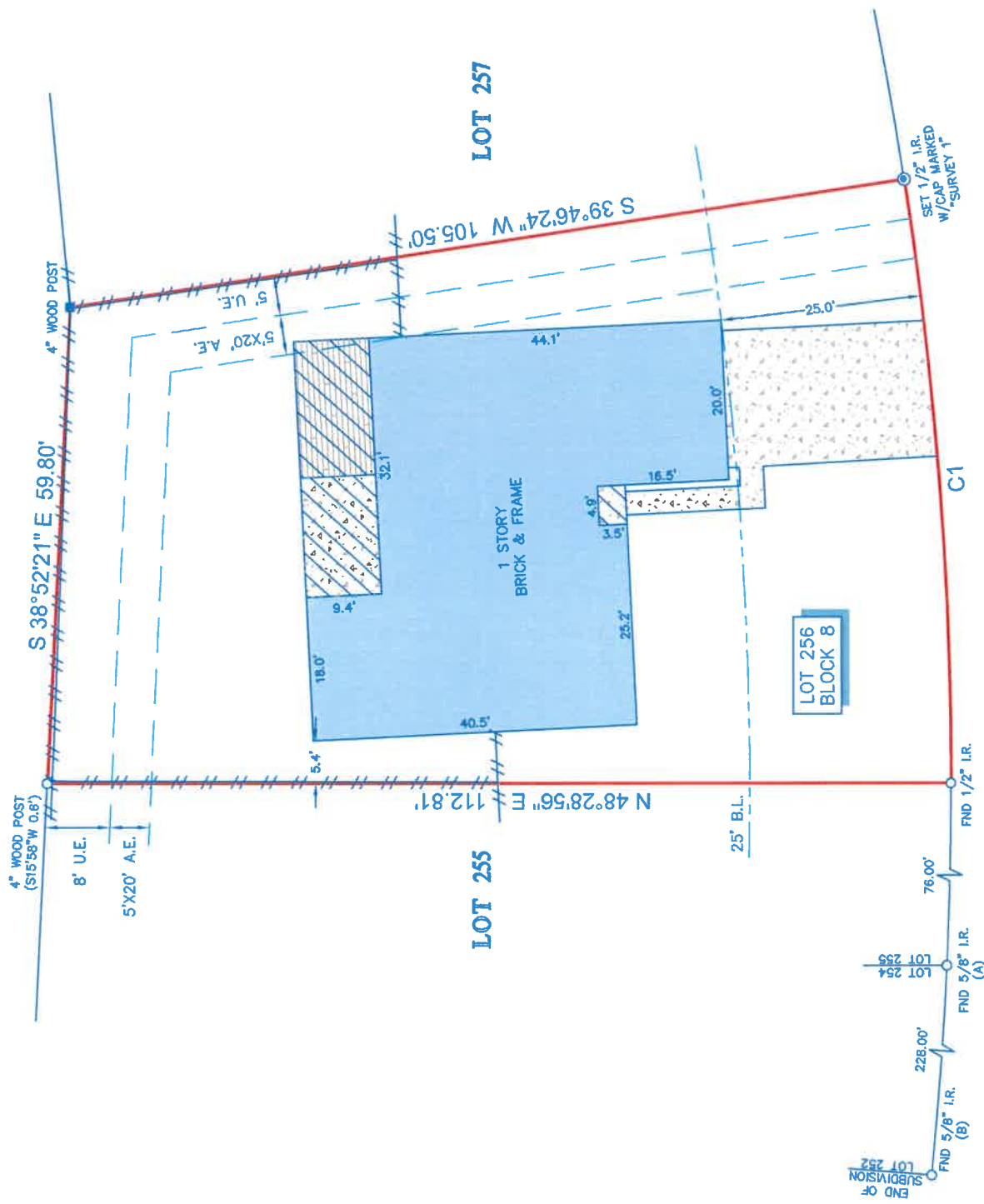
G.F. #: FTH-21-FAH23011158M

ISSUE DATE: OCTOBER 13, 2023

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	500.00'	76.00'	N 45°52'20" W	75.93'



LOT 259



BIGHORN STREET
(60' R.O.W.)

LEGEND

—	BUILDING LINE	▨	CONCRETE
- - -	UTILITY EASEMENT	▩	COVERED AREA
- · - · -	AERIAL EASEMENT	▧	WOOD DECK
—	FENCE	▨	FENCE
—	WOOD	▨	WOOD

NOTES:

- ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
- ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE. SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED SUBJECT PROPERTY.
- THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY; IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
- THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
- SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON OCTOBER 13, 2023, UNDER G.F. NO. FTH-21-FAH23011158M.
- TWO FOOT EASEMENT AS RECORDED UNDER C.F. NO. 0773384 O.P.R.H.C.
- THERE ARE NO AERIAL EASEMENT ENDRAGEMENTS

LEGAL DESCRIPTION: LOT 256, BLOCK 8, OF MEADOW LAKE SUBDIVISION, SECTION ONE, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 299, PAGE 74, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.



SURVEYORS CERTIFICATE:
IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON OCTOBER 27, 2023 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS, EXCEPT AS SHOWN.

Richard Fussell
RICHARD FUSSELL
RPLS# 4148

CLIENT: OFF MARKET LLC DBA BIG STATE HOME BUYERS AND/OR ASSIGNS
ADDRESS: 7606 BIGHORN STREET

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Survey 1, Inc.
Your Land Survey Company
Firm Registration No. 100758-00
P.O. Box 2543 | Alvin, TX 77512 | (281)393-1382

FIELD CREW: RF	TECH: SF
DRAFTER: JC	FINAL CHECK: EF
DATE: 11-01-2023	
JOB# 10-129087-23	