

**LEGEND**

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- || || WOOD FENCE
- - - CHAINLINK FENCE
- - - OVERHEAD ELECTRIC
- PROPERTY CORNER
- FOUND IRON ROD
- FENCE POST
- ⊕ ELECTRIC METER
- ⊙ GAS METER
- ⊕ POWER POLE
- CM CONTROL MONUMENT

**SURVEYOR'S NOTE(S):**

THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS AND EASEMENTS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME OF THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY GF NO. SW0004466 ISSUED ON 11/10/23.

**FLOOD INFORMATION**  
FIRM: 48201C PANEL: 1010 M  
REV. DATE: 05/02/2019  
ZONE: "X" & SHADED "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

**GRAPHIC SCALE**



I, **DONALD MATT COOKSTON**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to **SECURED TITLE OF TEXAS, LLC** and **NAVDEZ INDUSTRIAL LLC**

that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower/Owner: **NAVDEZ INDUSTRIAL LLC**  
Address: **14139 BUFFALO SPEEDWAY, HOUSTON TX 77045** GF No. **SW0004466**

**Legal Description of the Land:**  
North 58 feet of Lot Three (3), Block Fourteen (14), MEREDITH MANOR ADDITION, an addition in Harris County, Texas, according to the map or plat thereof recorded in Volume 49 at Page 6 of the Map Records of Harris County, Texas

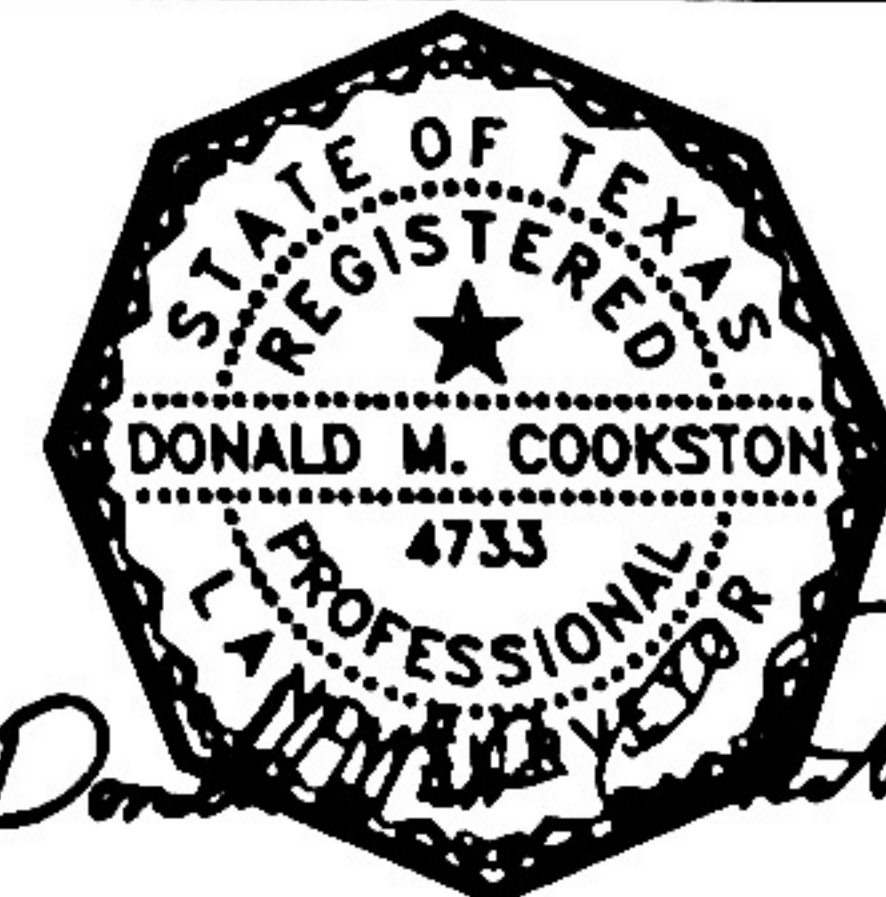
SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 49, PAGE 6, MAP RECORDS, HARRIS COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



**LAND TITLE SURVEY**

JOB NO.:	2311041968	NO.	REVISION	DATE
DATE:	11/17/23			
DRAWN BY:	PD/IM			
APPROVED BY:	DMC			



**Overland Consortium Inc. Surveyors**

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FIRM REGISTRATION NO. 10180700

**DONALD MATT COOKSTON, R.P.L.S.**  
Registered Professional Land Surveyor  
Registration No. **4733**

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