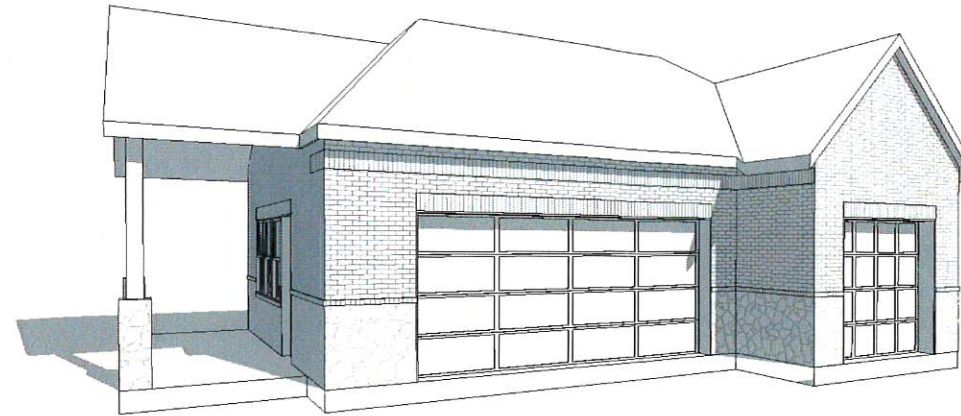


DETACHED GARAGE FOR:

RICHARD ZAPACH
3711 PASEO ROYALE BOULEVARD
RICHMOND, TEXAS 77406

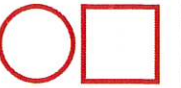


OWNER:

Richard Zapach
3711 Paseo Royale Boulevard
Richmond, Texas 77406
281.610.4263

ARCHITECT:

Circle + Square
600 Congress Avenue
14th Floor
Austin, Texas 78701
214.280.3627
inquiries@circleandsquaredesign.com



CIRCLE + SQUARE
600 Congress Avenue
14th Floor
Austin, Texas 78701
214.280.3627

PROJECT OWNER
RICHARD ZAPACH
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406
281.610.4263

PROJECT NAME
DETACHED GARAGE FOR:
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406

PAGE INDEX

A-000	COVER PAGE
A-100	ARCHITECTURAL SITE PLAN
A-110	FINISH + DIMENSIONED FLOOR PLAN
A-130	POWER + LIGHTING PLAN
A-140	ROOF PLAN
A-200	EXTERIOR ELEVATIONS
A-600	FRAMING SECTIONS + DETAILS

AREA CALCULATIONS:

GARAGE AREA: 1,045 SF
PATIO AREA: 176 SF

CONSTRUCTION TYPE:

V-B

MAXIMUM HEIGHT ABOVE GRADE:

21'-6"

EXTERIOR MATERIAL CALCULATIONS:

IN SQUARE FEET

FRONT ELEVATION:

STONE, MASONRY: 41 SF
BRICK, MASONRY: 187 SF

REAR ELEVATION:

STONE, MASONRY: 0 SF
BRICK, MASONRY: 371 SF

RIGHT SIDE ELEVATION:

STONE, MASONRY: 113 SF
BRICK, MASONRY: 184 SF

LEFT SIDE ELEVATION:

STONE, MASONRY: 180 SF
BRICK, MAONRY: 264 SF

TOTAL QUANTITIES:

STONE, MASONRY: 334 SF
BRICK, MASONRY: 1,006 SF

NOTE: MATERIAL QUANTITIES ARE APPROXIMATE AND DO NOT TAKE INTO CONSIDERATION WASTE OR ADDITIONAL MATERIALS. VERIFY QUANTITIES FOR BIDDING AND CONSTRUCTION.

COMMENTS:

11.27.2017

COVER PAGE

A-000



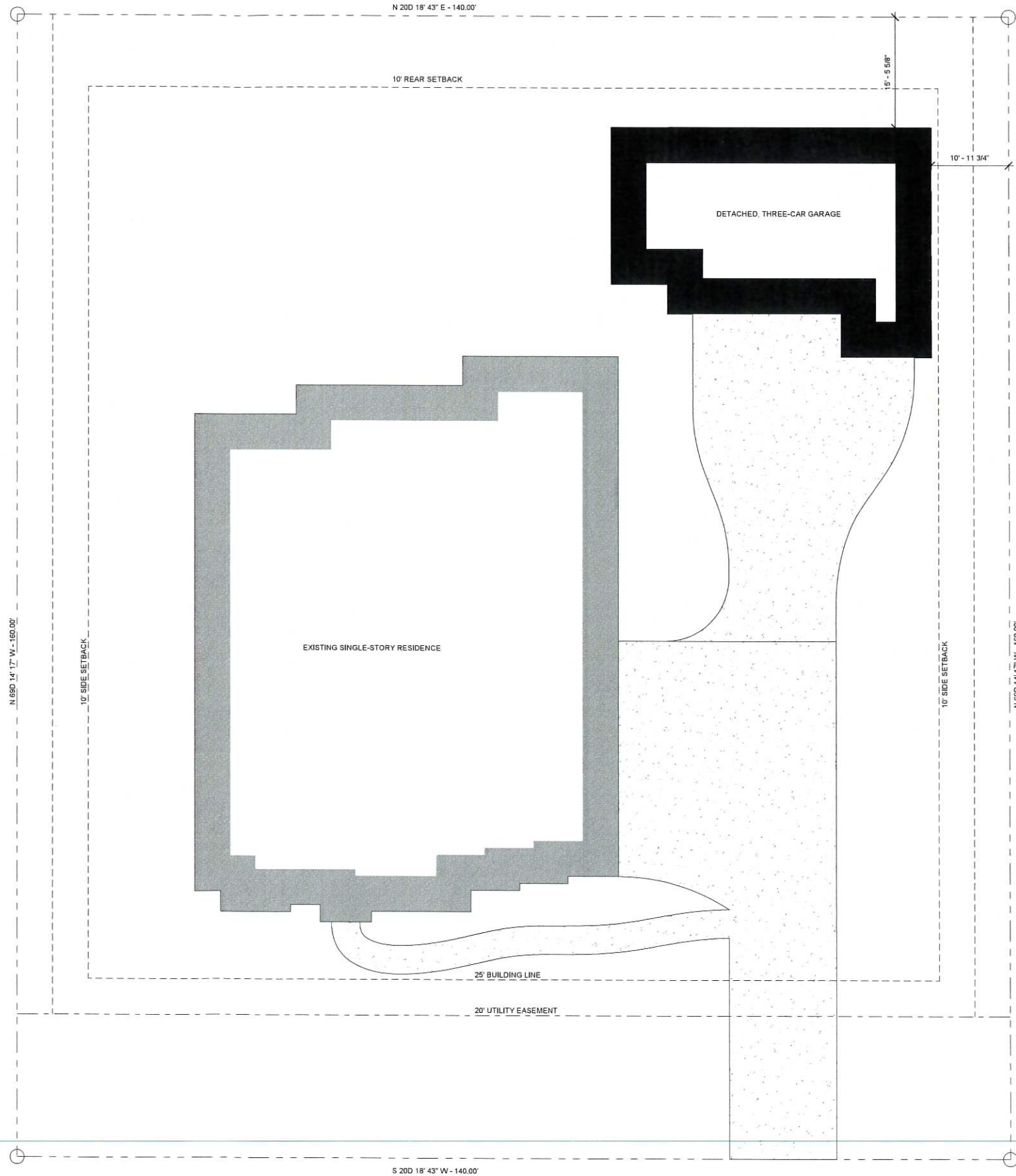
CIRCLE + SQUARE
 600 Congress Avenue
 14th Floor
 Austin, Texas
 214.280.3627

PROJECT OWNER
 RICHARD ZAPACH
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406
 281.610.4263

PROJECT NAME
 DETACHED GARAGE FOR
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406

COMMENTS:

11.27.2017
 ARCHITECTURAL
 SITE PLAN
 A-100



1 ARCHITECTURAL SITE PLAN
 1/8" = 1'-0"

PASEO ROYALE BOULEVARD



CIRCLE + SQUARE
 600 Congress Avenue
 14th Floor
 Austin, Texas
 214.280.3627

PROJECT OWNER
 RICHARD ZAPACH
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406
 281.610.4263

PROJECT NAME
 DETACHED GARAGE FOR:
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406

COMMENTS:

11.27.2017

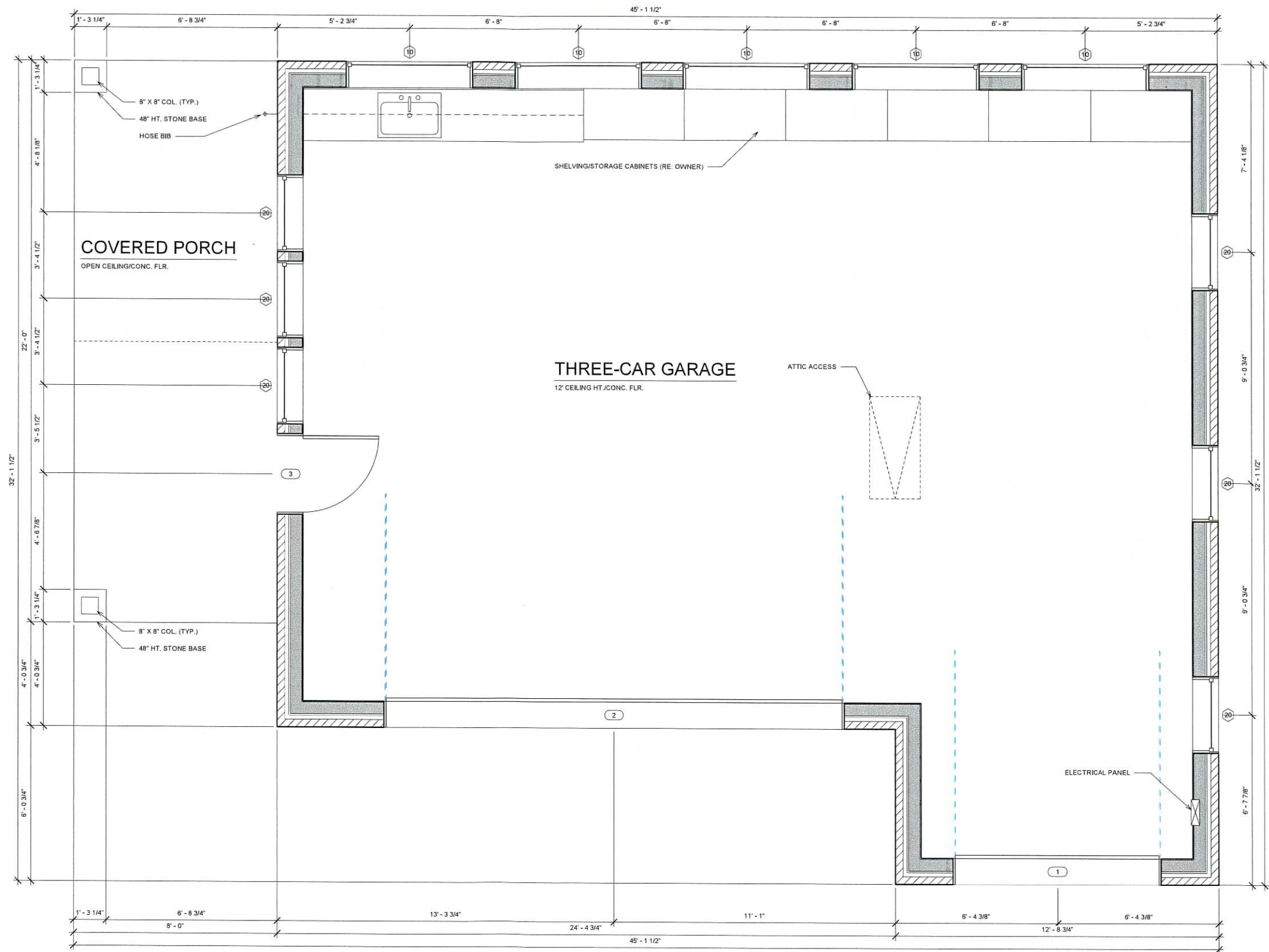
FINISH +
 DIMENSIONED
 FLOOR PLAN

A-110

DOOR SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
1	8' - 0"	8' - 0"	OVERHEAD
2	18' - 0"	8' - 0"	OVERHEAD
3	3' - 0"	8' - 0"	GLAZED ENTRY DOOR

WINDOW SCHEDULE			
MARK	WIDTH	HEIGHT	DESCRIPTION
10	5' - 0"	1' - 0"	FIXED GLASS
10	5' - 0"	1' - 0"	FIXED GLASS
10	5' - 0"	1' - 0"	FIXED GLASS
10	5' - 0"	1' - 0"	FIXED GLASS
10	5' - 0"	1' - 0"	FIXED GLASS
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG
20	3' - 0"	5' - 0"	SINGLE HUNG

NOTE: ALL WINDOWS AT A HEADER HEIGHT OF 8'-0".



NOTE: APPX. AREA OF GYPSUM WALL BOARD:
 2,250 SF. (WALLS + CEILING)

1 FINISH + DIMENSIONED FLOOR PLAN
 1/2" = 1'-0"



CIRCLE + SQUARE
 600 Congress Avenue
 14th Floor
 Austin, Texas
 214.280.3627

PROJECT OWNER
 RICHARD ZAPACH
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406
 281.610.4263

PROJECT NAME
 DETACHED GARAGE FOR:
 3711 PASEO ROYALE BLVD.
 RICHMOND, TEXAS 77406

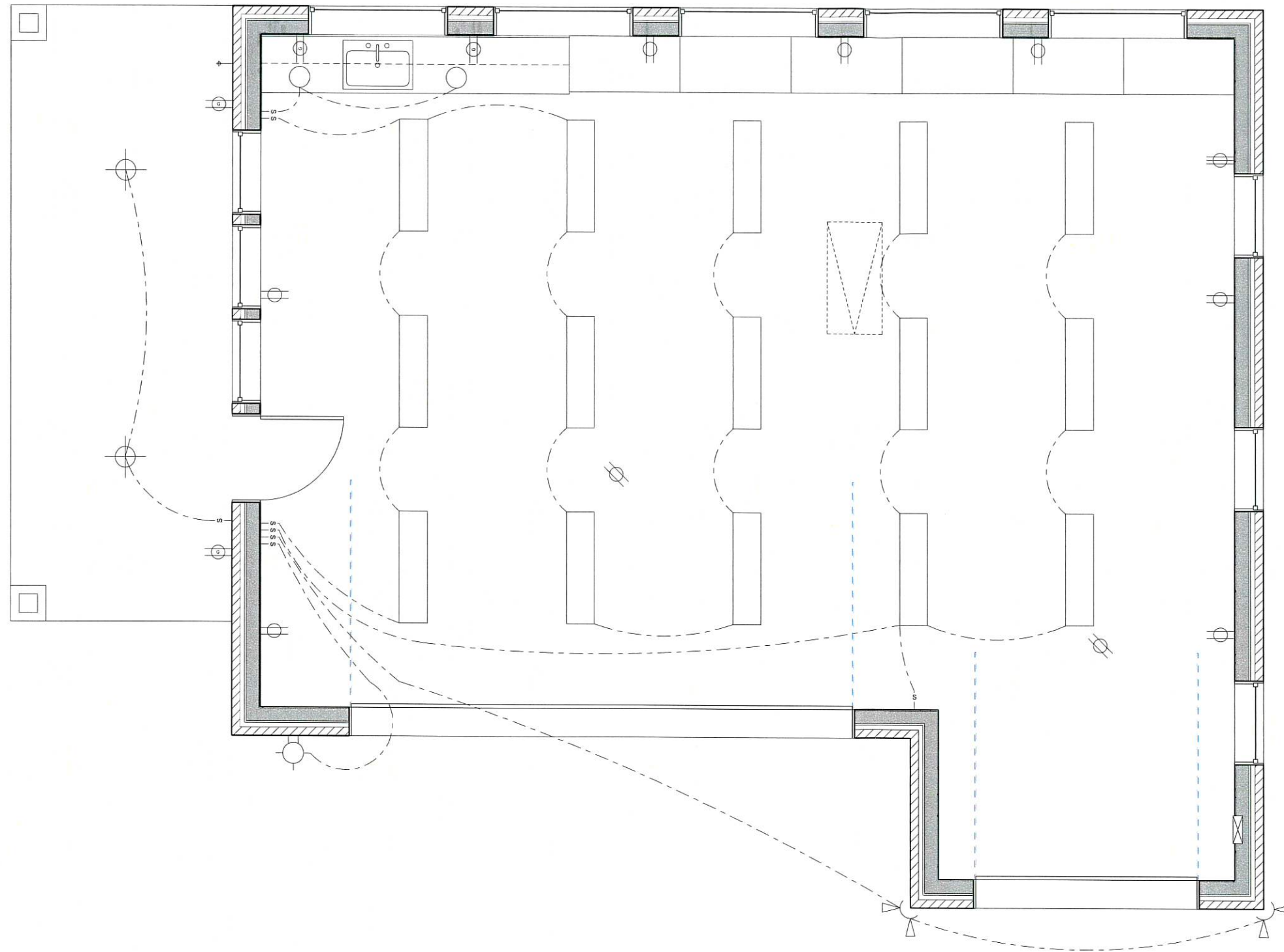
COMMENTS:

11.27.2017

POWER +
 LIGHTING PLAN

A-130

	WALL SWITCH
	USB PORT
	ETHERNET PORT
	110 V. G.F.I. OUTLET
	110V ELECTRICAL OUTLET
	220V OUTLET
	CABLE OUTLET
	TELEPHONE JACK
	EXTERIOR FLOOD LIGHT
	WALL SCONCE
	WALL MOUNT LANDSCAPE LIGHT
	SMOKE ALARM
	CEILING FAN
	EXHAUST FAN
	CEILING MOUNT FIXTURE
	4\"/>
	DIRECTIONAL RECESSED LIGHT
	VAPOR PROOF RECESSED LIGHT
	4\"/>



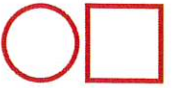
1 POWER + LIGHTING FLOOR PLAN
 1/2" = 1'-0"

ROOFING NOTES:

- MIN. 2" X 6" ROOF RAFTERS AT 24" O.C., NO. 2 LUMBER OR BETTER.
- MIN. 2" X 8" RIDGE/VALLEY MEMBERS, NO. 2 LUMBER OR BETTER.
- MIN. 2" X 6" PURLINS, WHERE REQ'D., NO. 2 LUMBER OR BETTER.
- MIN. 1/2" O.S.B. DECKING.
- 30 YR. COMP ROOF (MATCH TO EXST. RESIDENCE)
- 12" PLATE HEIGHT.
- REFER TO 2012 I.B.C.
- ROOF AREA: 1,682 SF



1 ARCHITECTURAL SITE PLAN
1/2" = 1'-0"



CIRCLE + SQUARE
600 Congress Avenue
14th Floor
Austin, Texas
214.280.3627

PROJECT OWNER
RICHARD ZAPACH
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406
281.610.4263

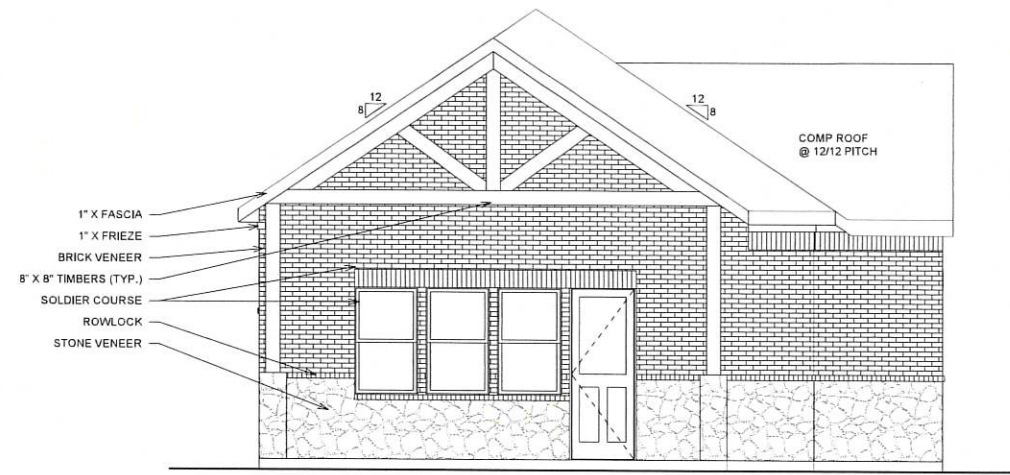
PROJECT NAME
DETACHED GARAGE FOR:
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406

COMMENTS:

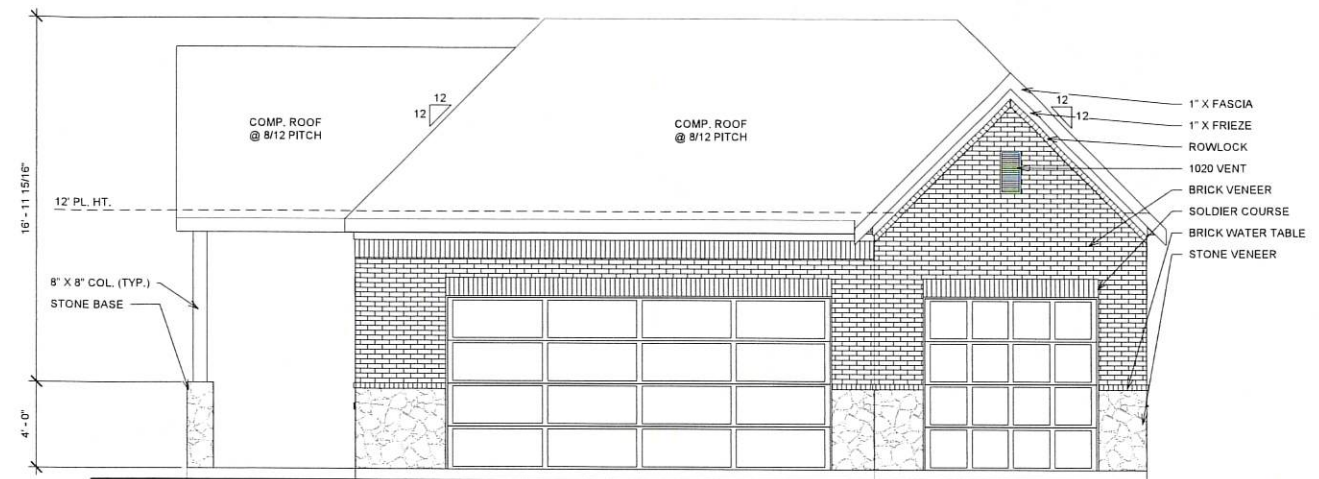
11.27.2017

ROOF PLAN

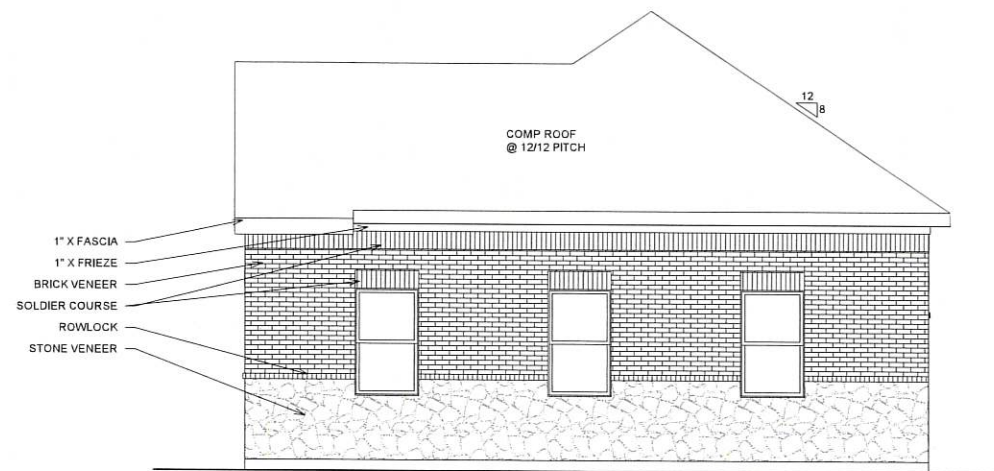
A-140



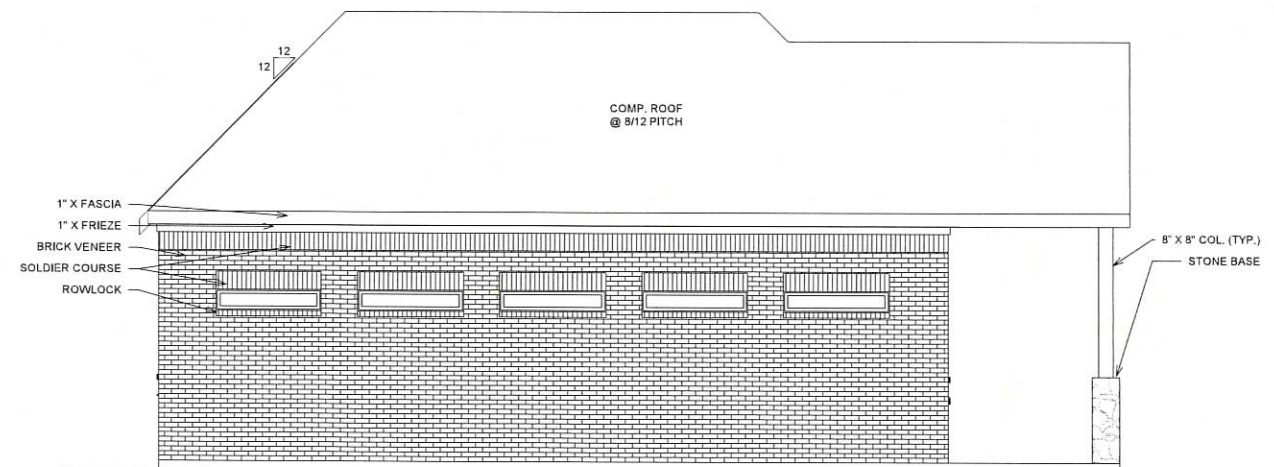
③ LEFT SIDE ELEVATION
1/4" = 1'-0"



① FRONT ELEVATION
1/4" = 1'-0"



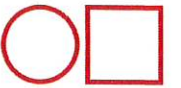
④ RIGHT SIDE ELEVATION
1/4" = 1'-0"



② REAR ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH NOTES:

- MATCH BRICK TO BRICK ON EXISTING RESIDENCE (ACME - MOCHA BROWN ANTIQUE - ELGIN PLANT - KING SIZE BRICK)
- MATCH STONE TO STONE ON EXISTING RESIDENCE (JACOBS STONE PRODUCTS - SAN SABA LOCATION - BLACK AND GOLD BUILDERS FLAG)
- MATCH FASCIA, FRIEZE, SOFFIT AND ANY OTHER TRIMS TO EXISTING RESIDENCE (PPG - SUMMER WHEAT - PPG ATC-87)
- MATCH COMPOSITION ROOF TO EXISTING RESIDENCE (RE. OWNER FOR ANY PRODUCT DOCUMENTATION)



CIRCLE + SQUARE
600 Congress Avenue
14th Floor
Austin, Texas
214.280.3627

PROJECT OWNER
RICHARD ZAPACH
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406
281.610.4263

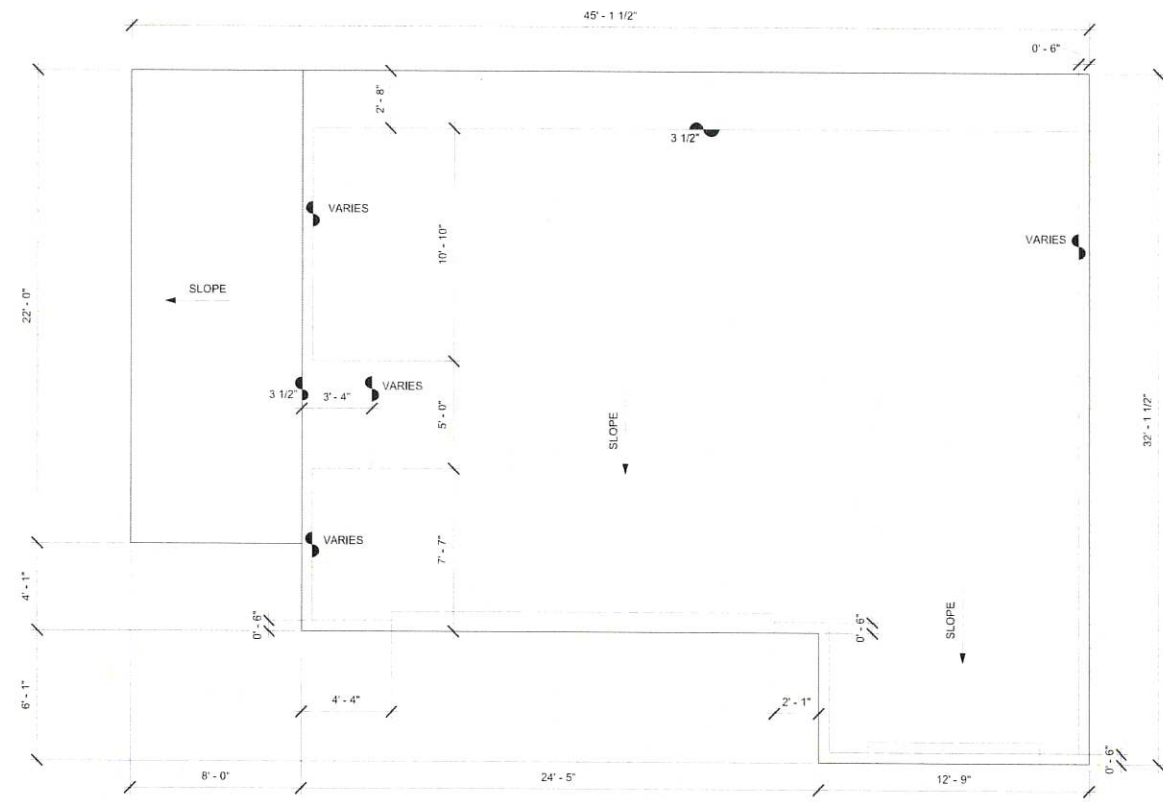
PROJECT NAME
DETACHED GARAGE FOR:
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406

COMMENTS:

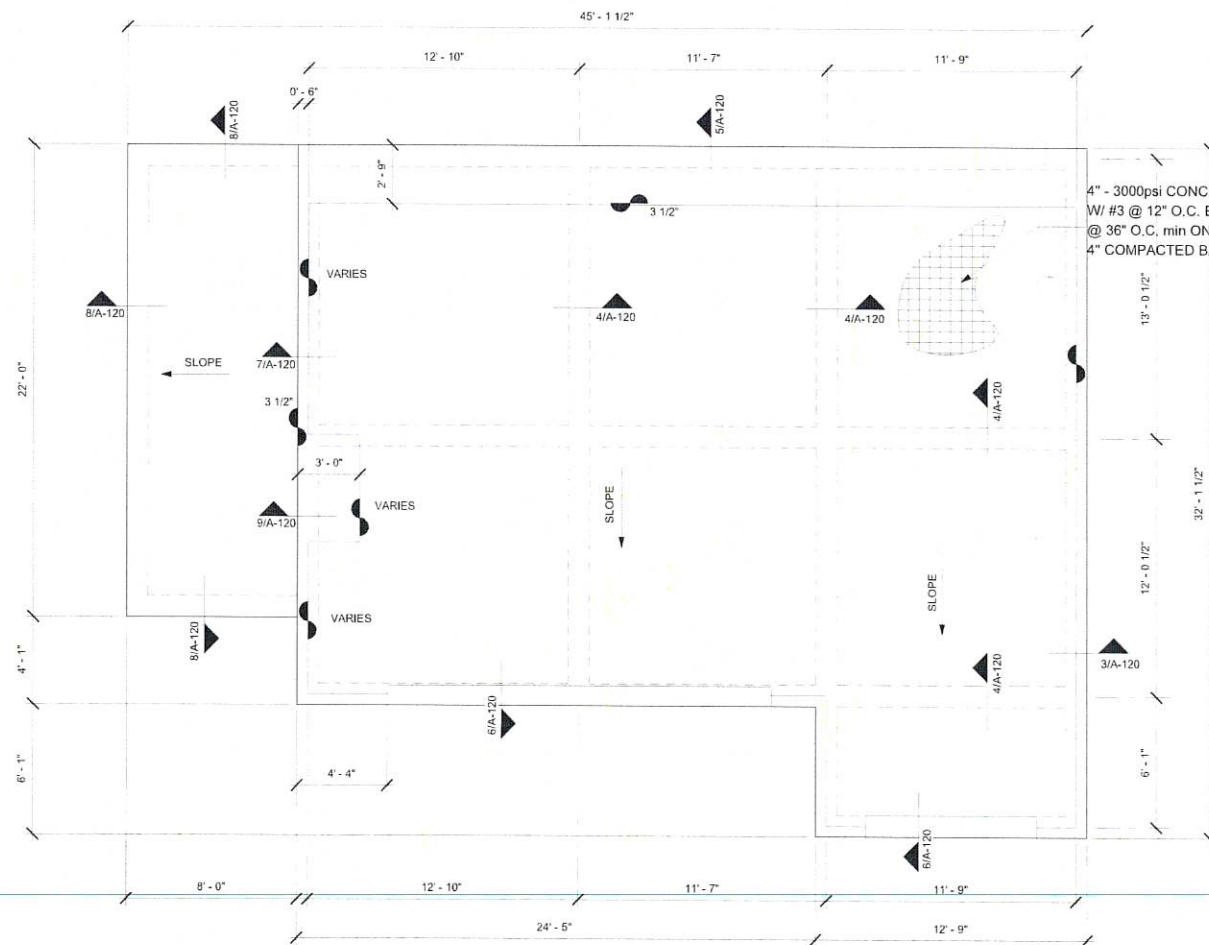
11.27.2017

EXTERIOR ELEVATIONS

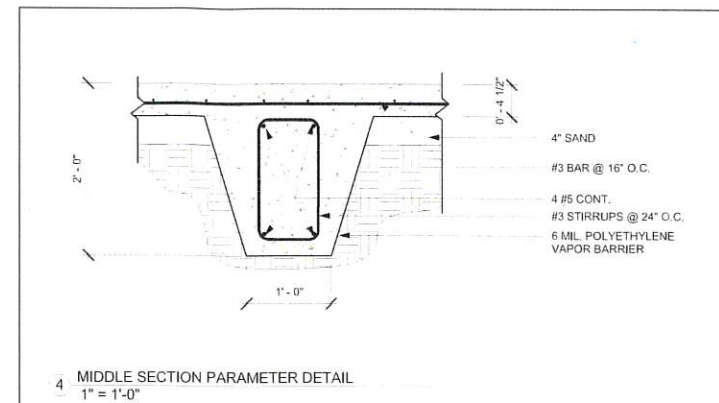
A-200



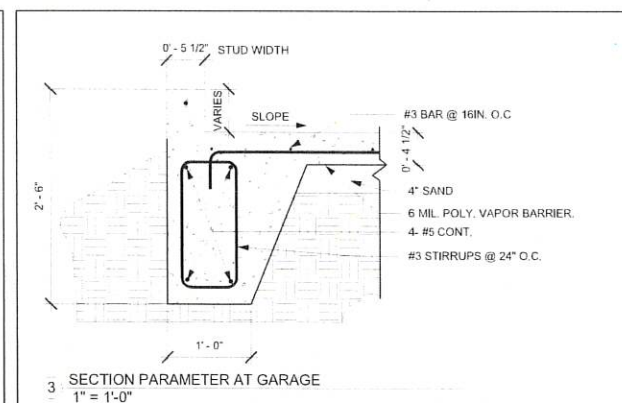
1 SLAB LAYOUT PLAN
1/4" = 1'-0"



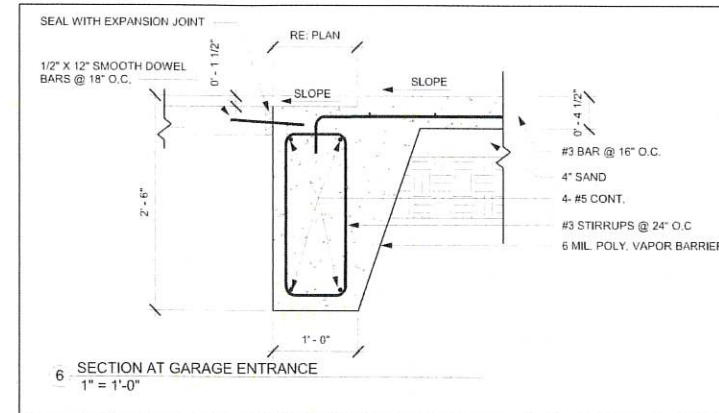
2 FOUNDATION PLAN
1/4" = 1'-0"



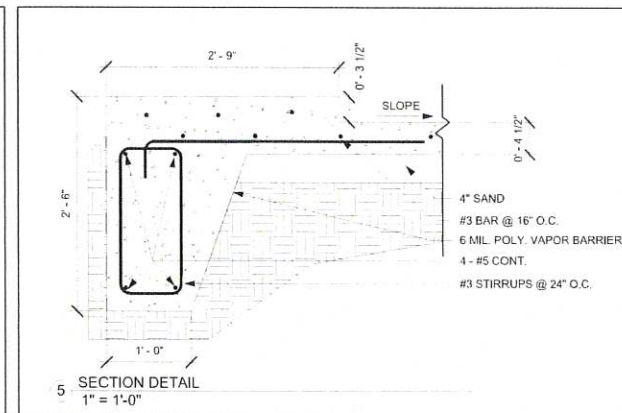
4 MIDDLE SECTION PARAMETER DETAIL
1" = 1'-0"



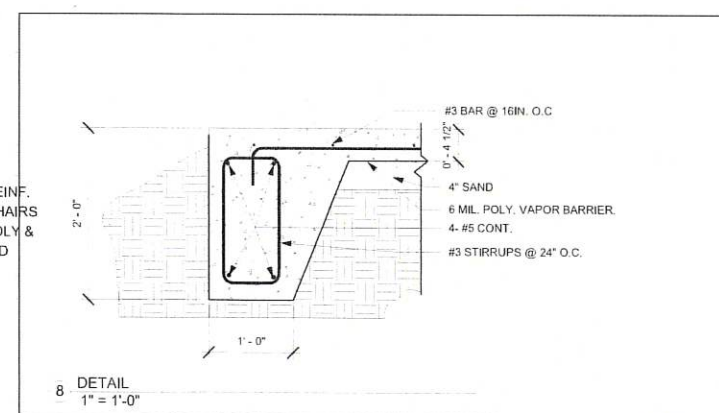
3 SECTION PARAMETER AT GARAGE
1" = 1'-0"



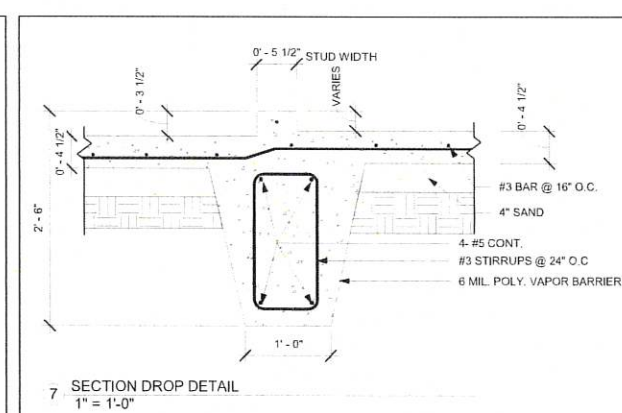
6 SECTION AT GARAGE ENTRANCE
1" = 1'-0"



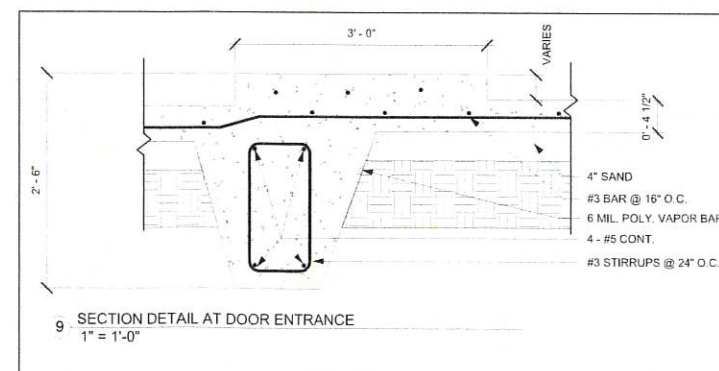
5 SECTION DETAIL
1" = 1'-0"



8 DETAIL
1" = 1'-0"



7 SECTION DROP DETAIL
1" = 1'-0"



9 SECTION DETAIL AT DOOR ENTRANCE
1" = 1'-0"

- GENERAL NOTES:**
- CLEAN HOLES WITH OIL FREE, MOISTURE FREE COMPRESSED AIR.
 - HOLES AND DOWELS SHALL BE DRY AND FREE OF DUST, DIRT, GREASE, OIL AND ANY OTHER FOREIGN CONTAMINANTS.
 - ALLOW EPOXY TO HARDEN BEFORE PLACING CONCRETE.
 - PALCE BARS A MINIMUM OF 2" FROM EXPOSED SURFACES.
 - HOLE DEPTH AND DIAMETER ARE AS PER EPOXY MANUFACTURER'S RECOMMENDATIONS (OTHERWISE 6" DEEP AND 1/4" LARGER THAN BAR DIAMETER).
 - 3000 PSI CONCRETE IN 28 DAYS.



CAL3DESIGNS, LLC

CLAUDE A. LEWIS III
CLAUDE@CAL3DESIGNS.COM
WWW.CAL3DESIGNS.COM
281.704.6922

PROJECT OWNER

RICHARD ZAPACH,
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406
281.610.4263

PROJECT NAME

DETACHED GARAGE FOR:
3711 PASEO ROYALE BLVD.
RICHMOND, TEXAS 77406

COMMENTS

12/06/2017

SLAB +
FOUNDATION PLAN

A-120

SOLUTIONS
engineering llc
TEXAS FIRM #13167
6101 LONG DR, HOUSTON, TX 77067
(713) 943-8800
HOWARD@SOLUTIONS.COM



