



RESIDENTIAL INSPECTION REPORT

2755 Longleaf Pines Ln
Humble, TX 77339



Inspector

Gonzales Dowdell

TREC #23532

(866) 484-8318

office@inspectorteam.com



Agent

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RE/MAX Associates Northeast

281-460-7817

andrea.deane@remax.net



PROPERTY INSPECTION REPORT FORM

Tristan Hair <i>Name of Client</i>	07/08/2023 9:00 am <i>Date of Inspection</i>
2755 Longleaf Pines Ln, Humble, TX 77339 <i>Address of Inspected Property</i>	
Gonzales Dowdell <i>Name of Inspector</i>	TREC #23532 <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family

Access Provided By: Seller

In Attendance: Buyer

Occupancy: Occupied and Furnished

Weather Conditions: Clear, Dry, Hot, Humid

Temperature (approximate): 84 Fahrenheit (F)

Storage Items/Occupied Home:

The home was occupied and/or furnished at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual observation of components. Items blocked by storage/furnishings were not inspected.



Thank you for choosing Bryan & Bryan Inspections

Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this webpage includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.

Office Use: Order # 58641

I=Inspected

NI=Not Inspected

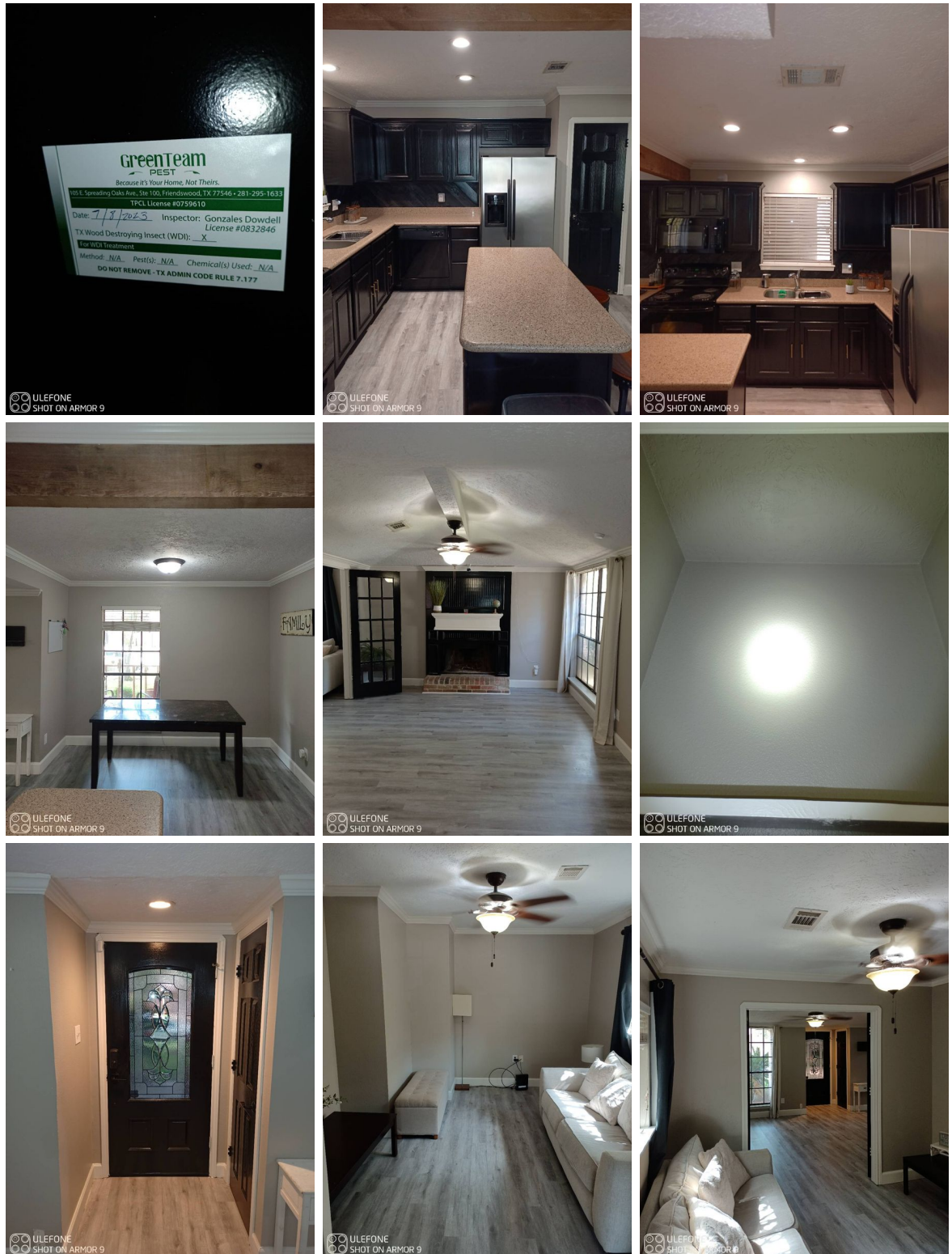
NP=Not Present

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I NI NP D

I. STRUCTURAL SYSTEMS

General Photos of Interior:



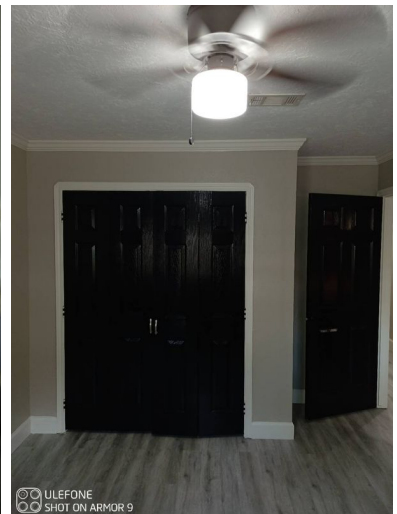
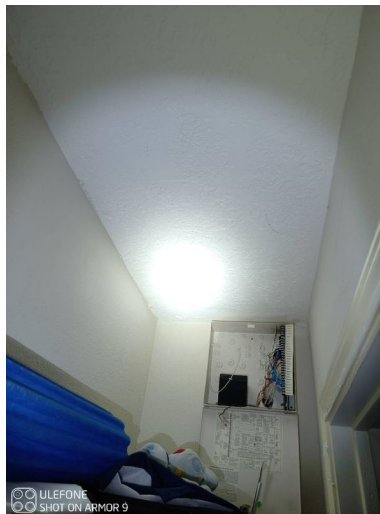
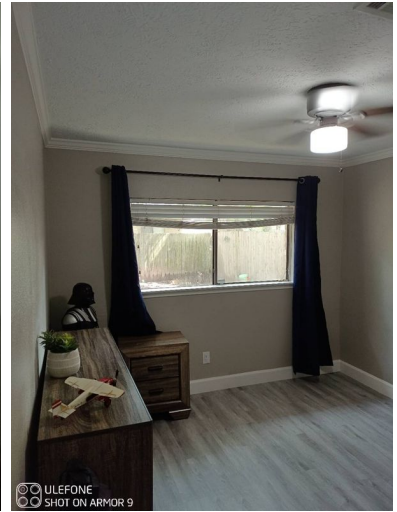
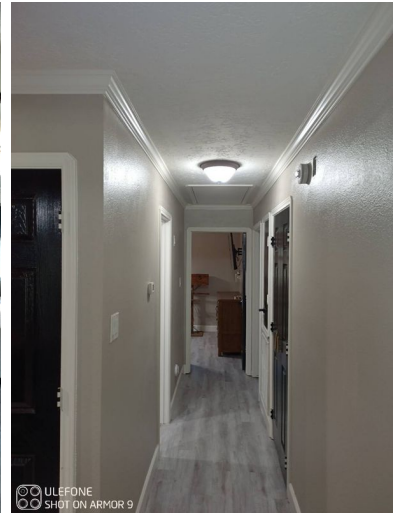
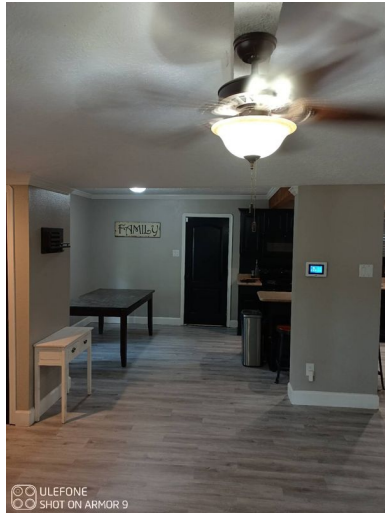
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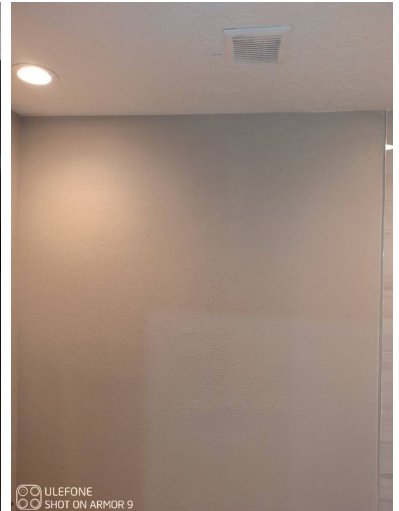
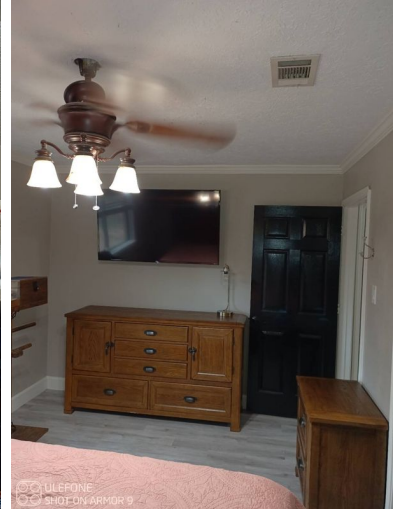
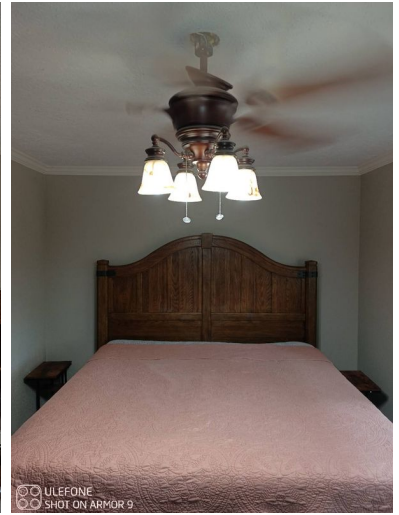
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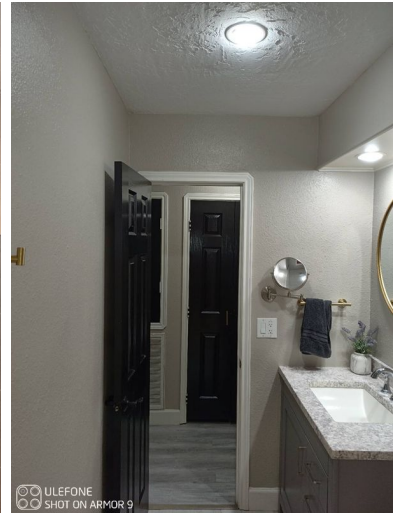
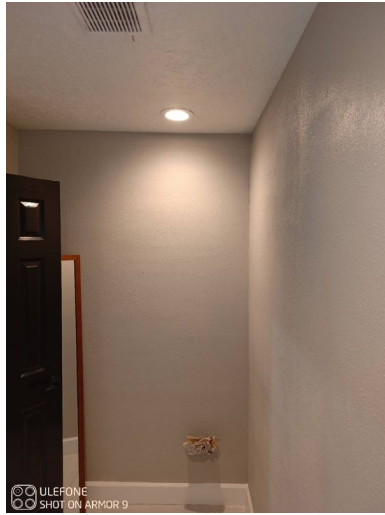
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General Photos of Structure:



General Photos of Roof Covering:

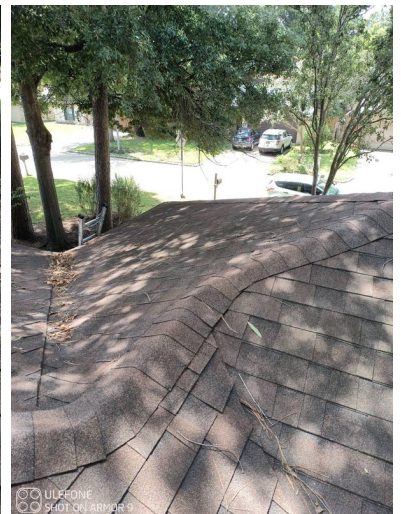
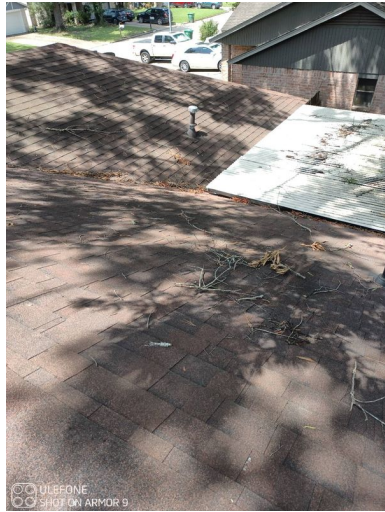
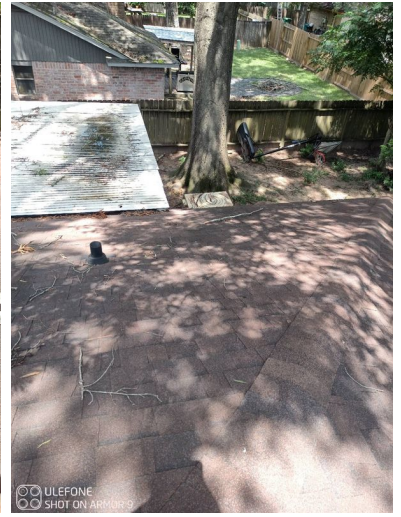
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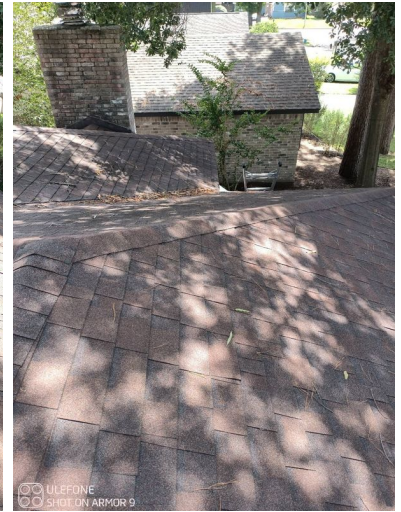
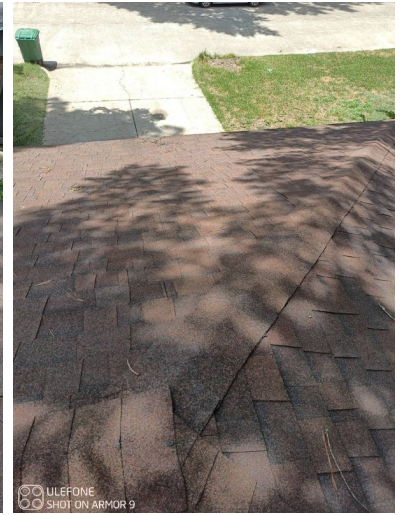
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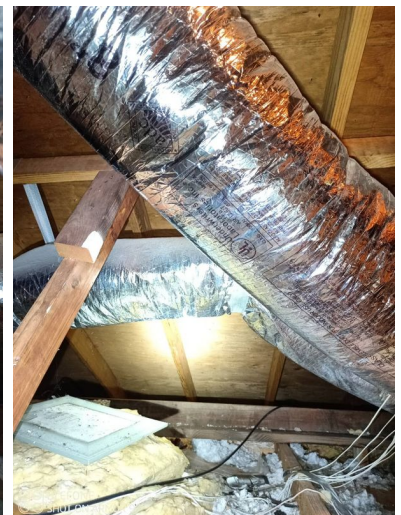
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General Photos of Attic:



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A. Foundations

Type of Foundation: Slab on Grade

Crawl Space Viewed From: N/A

Performance Opinion: Functioning as Intended with Some Deficiencies :

Some deficiencies were noted, but they do not appear to be adversely affecting the performance of the foundation at this time.

Note: The statements included in this report regarding the performance of the foundation are the inspector's OPINION. If buyer desires a second opinion or further analysis a foundation company or structural engineer should be contacted.

Digital Level Pictures:

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there were elevation variations that indicated excessive movement of the foundation.

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Comments:

1: Slab: Minor Surface Irregularities

[Maintenance Item/Note](#)

These conditions are typically cosmetic and not associated with structural movement. Examples include, but are not limited to, shear cracks, corner pops and minor cracks.



Shear Crack/ Front Exterior

2: Large Trees Too Close

[Recommendation](#)

Right Exterior

Root systems of large trees planted too close to the foundation can cause foundation problems. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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B. Grading and Drainage

Comments:

1: Grading & Drainage: Inadequate

🔴 **Recommendation**

Rear Exterior

Low spots, ruts, soil erosion, negative grading, standing water and/or damaged sod were present at the time of inspection. Evaluation and remediation by a qualified landscaping contractor or foundation contractor so that water flows away from the home is recommended.

Recommendation: Contact a qualified landscaping contractor



Negative grading / rear exterior



Soil erosion/ rear exterior

2: Gutters & Downspouts: Defects Present

🔴 **Recommendation**

Rear Exterior

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I NI NP D

Gutters and/or downspouts had one or more defects at the time of the inspection. Examples include, but are not limited to:

- Poor slope
- Loose
- Damaged
- Clogged
- Corroded
- Missing components
- Leaking

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Missing elbow/ rear exterior

C. Roof Covering Materials

Types of Roof Covering: Composition Shingles

Viewed From: Binoculars, Ladder

Comments:

Roof Fastening Not Verified:

The roof fastening method was not verified as determining this may cause damage to the roofing material. In addition, the inspector does not determine if the roof fastening meets current wind storm codes/ratings.

1: Equipment on Roof

🔴Recommendation

Equipment was mounted to the roof, including, but not limited to satellite dishes, solar panels and HVAC equipment. The inspector was unable to determine if the equipment was installed per manufacturer’s specifications. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.

I=Inspected

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2: Tree Limbs On/Near Roof

🔴 Recommendation

Tree limbs that were in contact with roof or hanging near roof should be trimmed to prevent damage to the roofing materials. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



3: Debris on Roof

🔴 Recommendation

Debris was present on roof surface. The condition of the roof covering underneath could not be determined. Removal of debris and evaluation of the roofing materials underneath is recommended.

Recommendation: Contact a qualified professional.

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I	NI	NP	D
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4: Popped Up Nails

🔴 Recommendation

Popped up nail heads were observed. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.



5: Shingles: Damaged/Torn/Missing

🔴 Recommendation

Roof shingle material was missing, damaged, or torn in areas. Evaluation and/or repair by a qualified roofing professional is recommended.

Recommendation: Contact a qualified roofing professional.

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6: Metal Roof: Corrosion

➤ Recommendation

Corrosion was observed on a metal roof. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.



7: Flashing Deficiencies

➤ Recommendation

Corroded, Lifted -

Deficiencies with the flashings were present at the time of inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.

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Corroded flashing



Lifted flashing

-
-
-
-

D. Roof Structure and Attic

Viewed From: Decked Areas of Attic

Approximate Average Depth of Insulation: 6 Inches

Attic Access Method: Pull Down Ladder

Type of Attic/Roof Ventillation: Soffit Vent, Ridge and Soffit Vents



Type of Insulation Material: Blown Fiberglass

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Comments:

Only Accessible Areas Were Entered:

Only accessible areas of the attic were inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible. In addition, insulation can hide or obstruct deficiencies.

1: Rodent Activity

🔴 Recommendation

There was evidence of prior and/or current rodent activity in one or more areas of the home. Pest control services are available through our sister company, Green Team Pest, and can be scheduled through our office. If you have any concerns regarding rodent infestation we strongly recommend you schedule this service.

Recommendation: Contact a qualified pest control specialist.

2: Pull-down Stairs/Ladder: Defects Present

🔴 Recommendation

The pull-down ladder/stairs had one or more defects at the time of the inspection. Examples include, but are not limited to:

- Lack of weatherstripping/insulation
- Improper seal
- Missing/loose nuts/bolts
- Improper slope
- Lack of fire rating in a garage

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

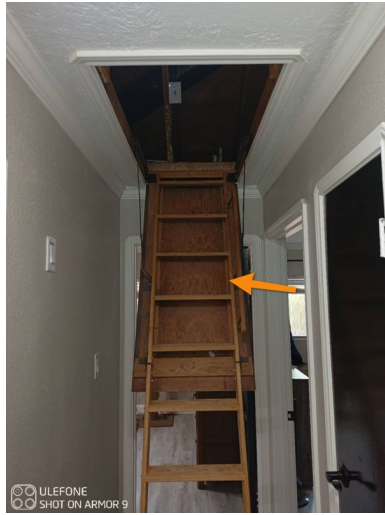
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Missing weather stripping / insulation



Improper slope

3: Insulation: Insufficient

👉 Recommendation

Insulation depth was inadequate. Generally, 10 inches of insulation is considered adequate. Installation of additional insulation by a qualified insulation contractor is recommended.

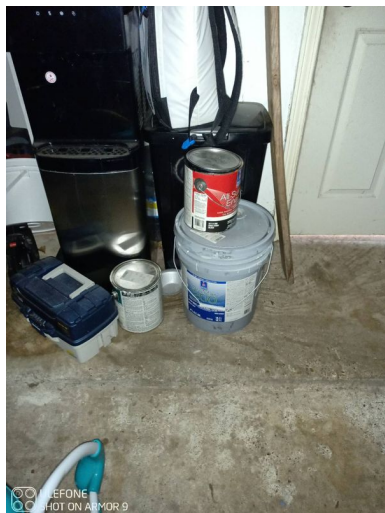
Recommendation: Contact a qualified insulation contractor.

E. Walls (Interior and Exterior)

Comments:

Fresh Paint:

Fresh paint and new finishes can hide defects from the inspector.



1: Exterior: Seal Wall Fixtures

👉 Recommendation

All Exterior Wall Penetrations, Trim Boards, Electrical Distribution Panel(s), Service Panel(s) -

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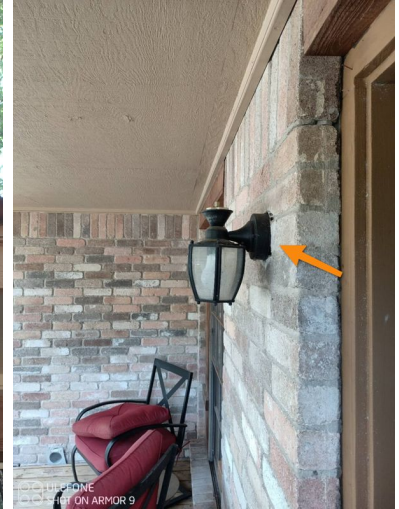
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One or more areas were not properly sealed/caulked. Most exterior sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



2: Masonry: Seal Expansion Joints

➡ Recommendation

Sealant in the expansion joints is missing or has deteriorated. Evaluation and remediation is recommended.

Recommendation: Contact a qualified masonry professional.

I=Inspected

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Rear Exterior

3: Exterior Walls: Foliage Too Close

🔴 Recommendation

Multiple Locations

Foliage that is too close to siding materials can cause moisture buildup and deterioration. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Right Exterior



Front Exterior



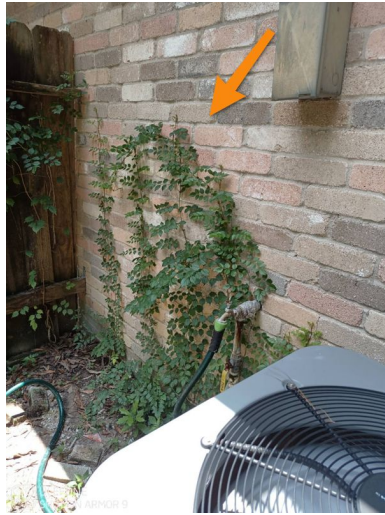
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Right Exterior

4: Exterior: Evidence of Wood Rot

🔴 Recommendation

Multiple Locations

Wood rot/deterioration was observed. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Front Exterior



Left Exterior



Left Exterior

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage



5: Interior Walls: Evidence of Previous Moisture Contact

➡Recommendation

Return Chase

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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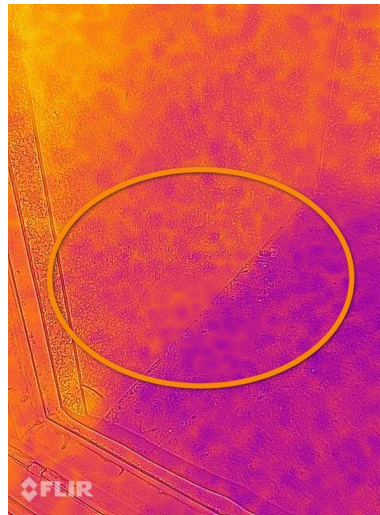
NP=Not Present

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Return Chase



Return Chase

F. Ceilings and Floors

Comments:

1: Ceiling: Damage

🔴 **Recommendation**

Master Closet

Ceiling damage was present. Evaluation and repair by a qualified drywall or licensed structural engineer is recommended.

Recommendation: Contact a qualified professional.



Master Closet

2: Ceiling: Evidence of Previous Moisture Contact

🔴 **Recommendation**

Guest Bed

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Ceiling showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Guest Bed

3: Ceiling: Missing Drywall in Garage

⚠️ Safety Hazard

Garage

There was missing drywall on the ceiling in the attached garage. This is important for fire safety. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



4: Ceiling: Sagging Drywall

👉 Recommendation

Ceiling drywall sagged visibly at the time of the inspection. The exact cause was not determined, but this condition is typically caused by prior moisture damage. Evaluation and remediation is recommended.

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I	NI	NP	D
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Recommendation: Contact a qualified professional.



Garage

5: Flooring: Damaged

👉Recommendation

Flooring had damage visible at the time of the inspection. Evaluation by a qualified flooring contractor is recommended.

Recommendation: Contact a qualified professional.



Living Room

G. Doors (Interior and Exterior)

Comments:

1: Doors: Sticks/Difficult to Operate

👉Recommendation

Guest Closet

The doors were sticking and/or were difficult to operate. Evaluation and remediation is recommended.

I=Inspected

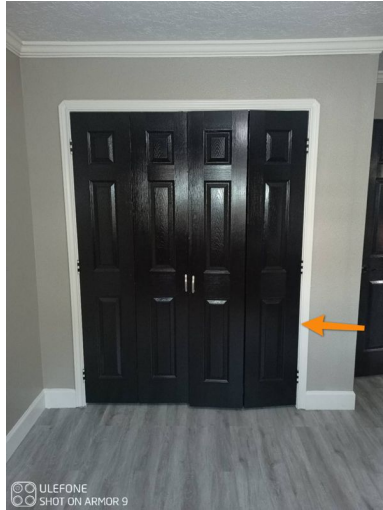
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Recommendation: Contact a handyman or DIY project



Guest Closet

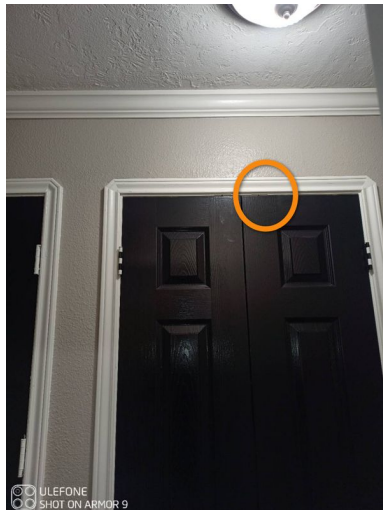
2: Door Hardware: Does Not Latch

👉 Recommendation

Hall Closet

Doors did not latch properly. Evaluation and remediation is recommended.

Recommendation: Contact a qualified handyman.



Hall Closet

3: Garage Door into Living Space: Self-Closing Mechanism Not Present/Operative

👉 Recommendation

Entry door between the garage and living space should have a functioning self-closing mechanism. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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H. Windows

Comments:

1: Windows: Missing/Damaged Screens

🔴 Recommendation

One or more windows were missing a screen or had a damaged screen. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.

2: Windows: Cracked/Broken Glass Panes

🔴 Recommendation

Cracked or broken glass panes were present. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



Rear Exterior

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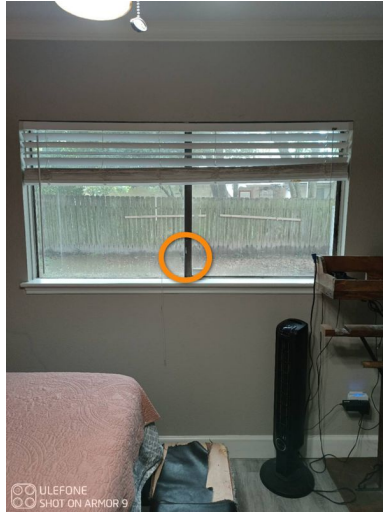
3: Hardware: Missing or Damaged

🔴 Recommendation

Master Bed

Window hardware was missing or damaged. Evaluation and remediation is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



Master Bed

4: Windows: Caulking Missing/Damaged

🔴 Recommendation

Multiple Locations

Caulking around window frames was missing or deteriorated. Most sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Right Exterior

I. Stairways (Interior and Exterior)

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D=Deficient

I	NI	NP	D
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Comments:

J. Fireplaces and Chimneys

Comments:

Limited Access/Visibility:

There was limited access and visibility to safely inspect chimney flue.

1: Cleaning of Fireplace is Recommended

 Maintenance Item/Note

The firebox was dirty at the time of inspection. Cleaning of the firebox is recommended before use.

Recommendation: Contact a qualified chimney sweep.

2: Fireplace: Inoperative

 Recommendation

The fireplace would not light. Evaluation and remediation is recommended.

Recommendation: Contact a qualified fireplace contractor.



3: Damper: No Clip

 Recommendation

No apparent safety clip on the damper. Typically when gas logs are present, a safety clip must be installed on the damper to keep it from closing fully. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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4: Firebox: Firewall Cracked/Deteriorated

🔴 Recommendation

The brick lining of the fireplace was cracked or deteriorated in one or more places. This could lead to chimney damage or toxic fumes entering the home. Evaluation and/or repair by a qualified fireplace contractor is recommended.

Recommendation: Contact a qualified fireplace contractor.



5: Chimney: Liner Dirty

🔴 Recommendation

Chimney liner had layer of creosote dust. As a result, the underlying structure couldn't be inspected for cracks. Inspection and/or cleaning by a qualified chimney sweep company is recommended.

Recommendation: Contact a qualified chimney sweep.

6: Cap: Masonry Deterioration

🔴 Recommendation