

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Masonry at the chimney cap was cracked, damaged, and/or deteriorated. This may allow for moisture penetration. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



K. Porches, Balconies, Decks, and Carports

Comments:

Patio/Roof Attachment:

Unable to determine the attachment means of the patio/roof to the structure. Proper installation methods of the patio roof and its integrity are not covered under the scope of this inspection.



1: Handrails/Guardrails: Inadequate

▲ Safety Hazard

Loose -

All decks 30 inches or higher above grade require a handrail/guardrail that:

- is at least 36 inches in height from the deck surface
- is not climbable

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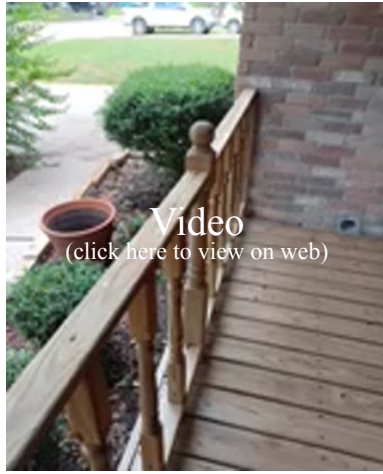
NP=Not Present

D=Deficient

I NI NP D

- has spindle gaps that are no greater than 4 inches

Recommendation: Contact a qualified professional.



2: Components Loose/Rotted/Damaged

🔴Recommendation

One or more components of the deck/structure were loose, rotted or damaged. Evaluation and/or repair by a qualified contractor is recommended.

Recommendation: Contact a qualified professional.



Rotted



Rotted

3: Wood to Ground Contact

🔴Recommendation

This condition is generally considered to be conducive to certain wood destroying insects and rot. Preventive treatment of wood destroying insects is available through our sister company, Green Team Pest, and can be scheduled through our office. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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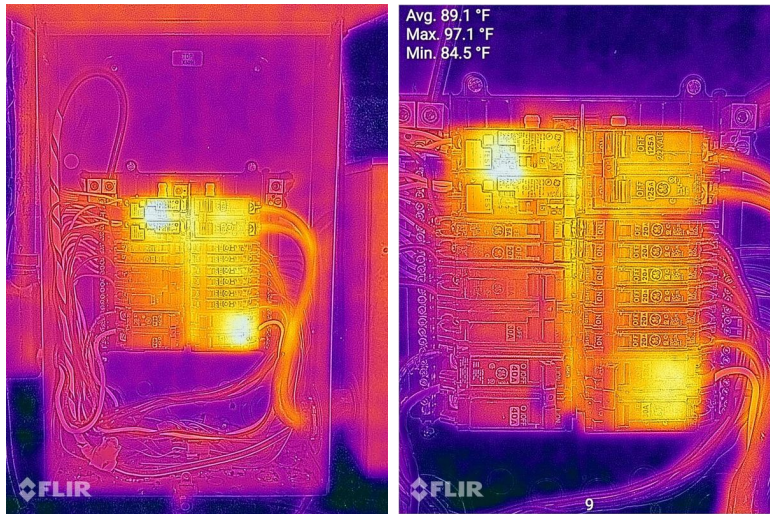
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II. ELECTRICAL SYSTEMS

General Photos of Distribution Panels:



General Infrared Photos of Distribution Panels:



General Photos of Grounding Systems:

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A. Service Entrance and Panels

Main Disconnect/Service Box Types and Locations: Breakers - Exterior Wall

Service Entrance Cable Location: Underground



Service Size: 125 Amps

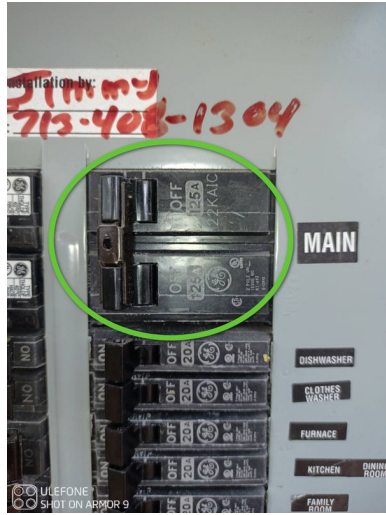
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Comments:

Unable to Verify Copper Water Line Bonding:



Unable to Verify Gas Line Bonding:

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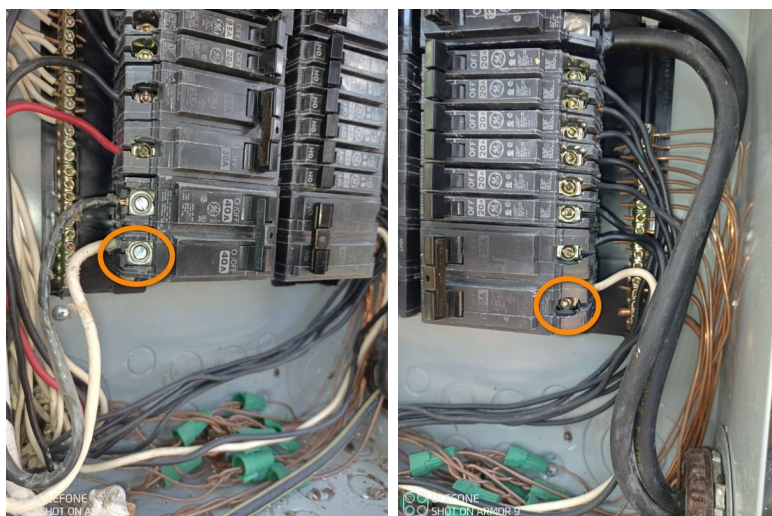


1: White Wires Not Marked

Recommendation

White wires connected to breakers were not marked with black or red electrical tape to indicate that they are "hot". Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Smoke Alarm Testing Method:

Accessible smoke/carbon monoxide alarms (units within an arm's reach of the inspector) were tested by pushing the test button. Test buttons only confirm that the battery, electronics, and alert systems are working. It does not mean that the smoke sensors are working.

Restriction to Receptacles:

Not all receptacles were accessible due to usage or furniture location.

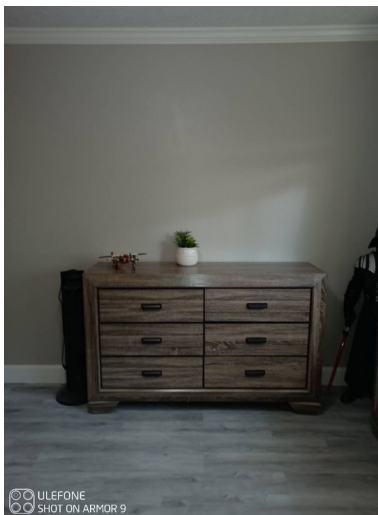
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1: Smoke/Carbon Monoxide Detectors Defective

🚫Recommendation

Not Present in Required Location -

Smoke detectors are required in all bedrooms, hallways to bedrooms, and living areas on every level of the home. These devices should be changed every 10 years for safety. Evaluate the units in the home and remedy as needed.

As gas appliance(s) were installed in the living portion of the home, installation of carbon monoxide detectors is recommended for safety. Evaluation and remediation is recommended.

Note: The inspector does not disassemble devices to check for expiration dates.

Recommendation: Contact a qualified professional.

2: Wiring: Exposed Ends & Splices

🚫Recommendation

Attic

Exposed wire connections, splices, and ends were present. All wire connections and charged wires with exposed ends and splices should be covered in junction boxes for safety. Evaluation and remediation by a

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licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



3: Wiring: Gaps in Conduit

🔴 Recommendation

Kitchen

There were gaps in conduit. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Kitchen

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

General Photos of HVAC Equipment:



General Photos of Accessible Return Chases/Media Filters:

General Photos of Thermostats:



General Infrared Photos of HVAC Equipment:

A. Heating Equipment

Type of System: Furnace

Energy Source: Natural Gas

Older Equipment: Heating:

Operation of the unit shows the unit was heating at the time of the inspection. Due to the age of the system, routine maintenance is recommended.

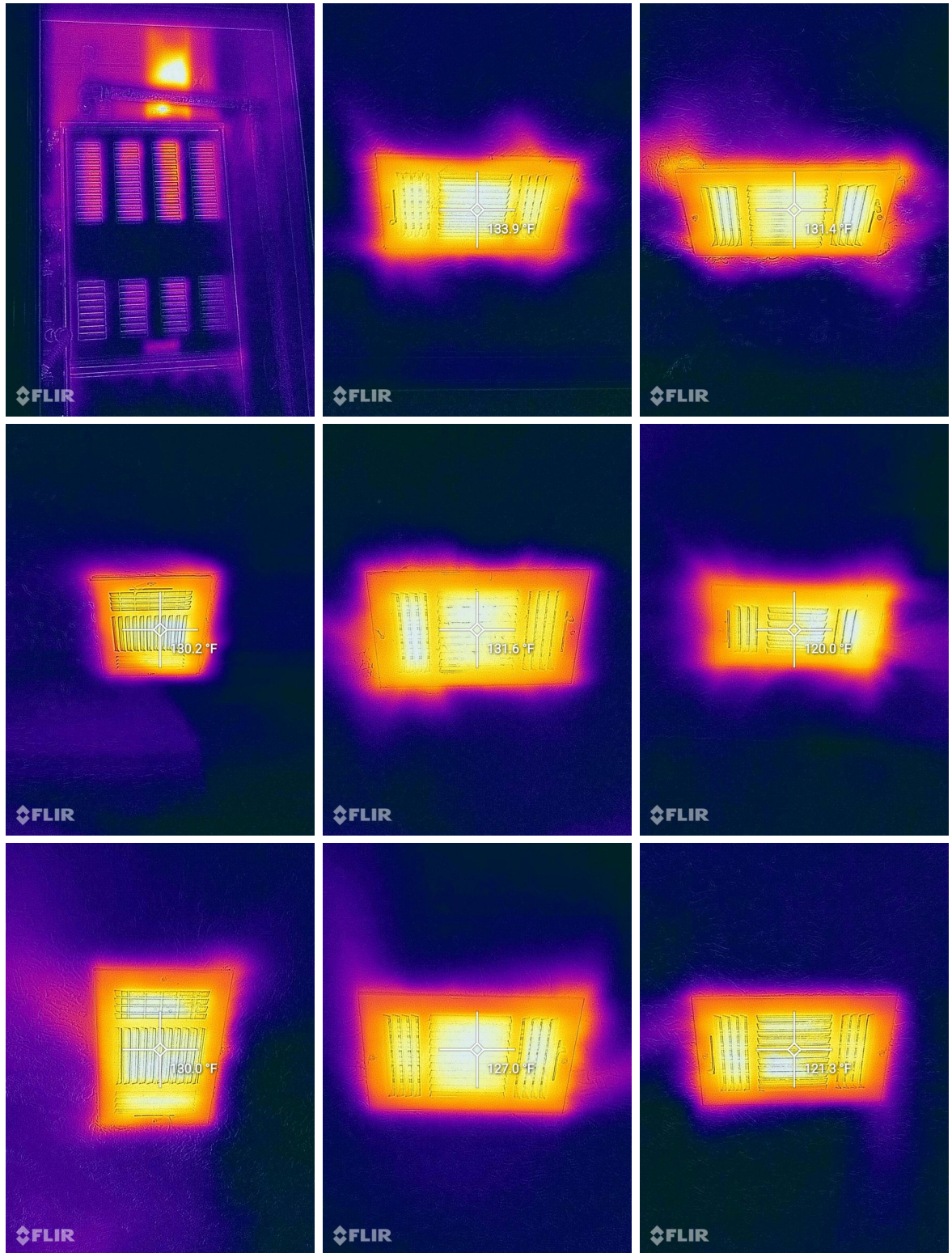
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I NI NP D



Comments:

Furnace/Air Handler Cover:

Inspector does not remove furnace/air handler covers.

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1: Venting: Defects Present

Recommendation

Furnace venting had one or more defects at the time of the inspection. Examples include, but are not limited to:

- Support strapping was not installed
- Single wall vent pipe
- Metal piercing screws installed in vent pipe
- Collar was missing/loose where the flue passes through the ceiling

Evaluation and remediation is recommended.

Recommendation: Contact a qualified HVAC professional.



Missing vent strap

-

B. Cooling Equipment

Type of System: Central Air Conditioner

Type of Refrigerant: R410A (Puron)

Older Equipment: Cooling:

Operation of the unit shows the unit was cooling at the time of the inspection. Due to the age of the system, routine maintenance is recommended.

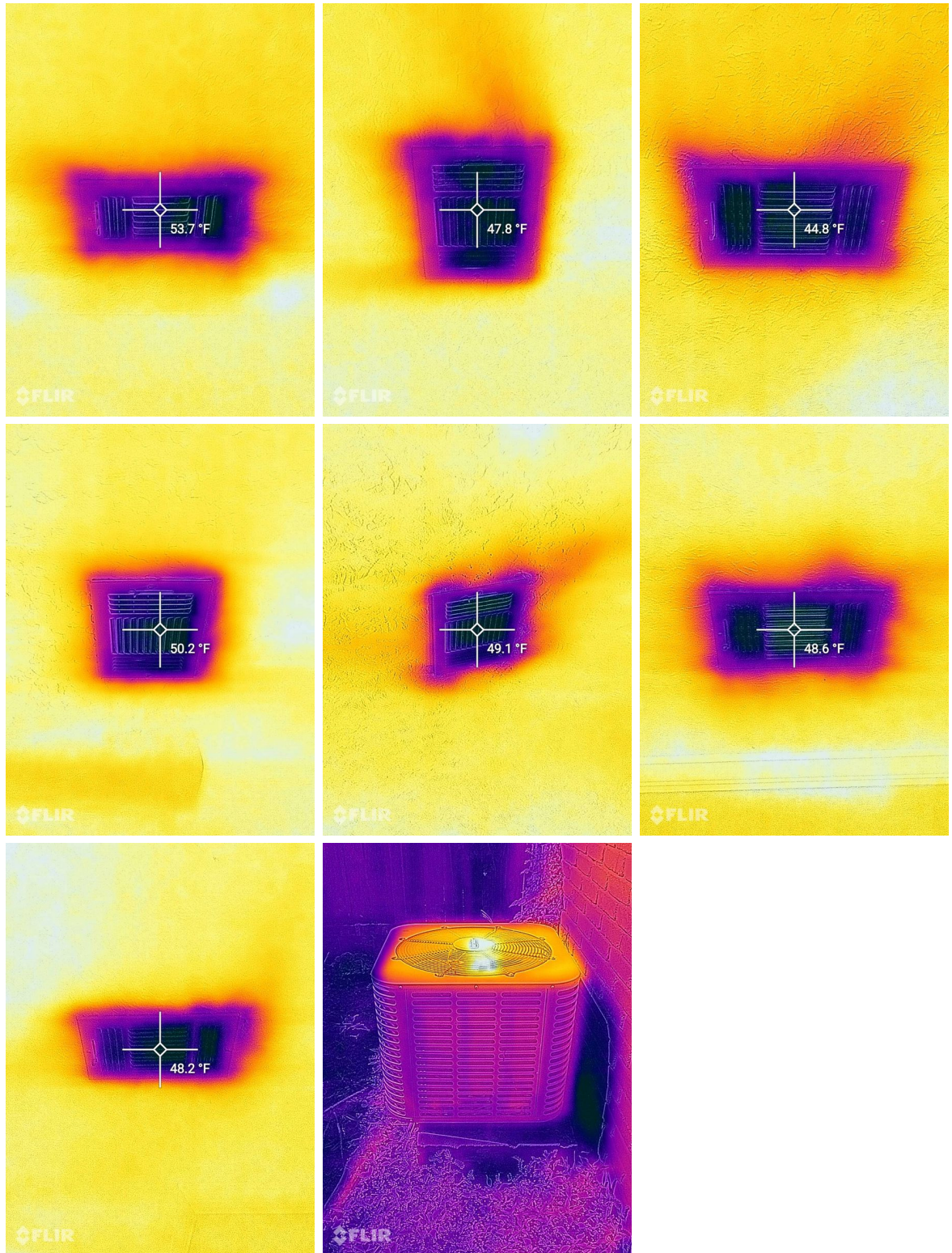
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Temperature Difference (Delta) - First Floor: 20°

Comments:

No Access to Internal Coils:

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D=Deficient

I NI NP D

There were no removable panels/covers to provide viewing access to the internal evaporator coils.

C. Duct Systems, Chases, and Vents

Comments:

Return Chases in Ceilings:

Inspector does not access return chases in ceilings.

1: Filters: Require Replacement or Missing

🔴 Recommendation

The furnace filters may have been beyond their expected lifespan or were missing. In addition, inspector cannot determine what effect this has on the temperature readings. Replacement is recommended.

Recommendation: Recommended DIY Project



2: Registers: Visible Substance Observed

🔴 Recommendation

Multiple Locations

A dark substance was observed on air supply registers in the home. Servicing and cleaning of the system by a qualified HVAC contractor is recommended, as this can be a result of excessive water vapor/humidity in the conditioned air.

Unless otherwise contracted, the Inspector does not test these areas to determine the presence of microbial growth.

Recommendation: Contact a qualified HVAC professional.

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I NI NP D



Kitchen



Breakfast Area



Living Room

3: Return Air System: Wiring/Plumbing in Chase

🔴 Recommendation

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



4: Return Air System: Dust/Debris In/On Chase

🔴 Recommendation

Dust particles can clog cooling coils and may lead to coil corrosion over time. Proper cleaning and evaluation of the return air shaft, ducts, and coils is recommended.

Recommendation: Contact a qualified HVAC professional.

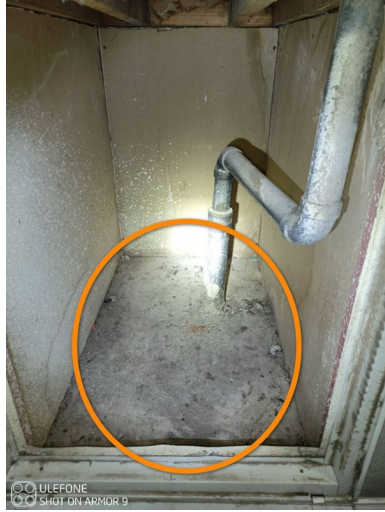
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5: Ducts: Defects Present

🔴 Recommendation

The HVAC ducts had one or more defects present at the time of the inspection. Examples include, but are not limited to:

- Sections of ducting were resting on the attic floor
- Ducts were in contact with each other
- Non-approved duct tape has been used on sections of ducting
- Ducts were pinched/restricted, leaking or damaged
- Insulation was loose, missing or damaged on various pieces of ducting

Evaluation and remediation is recommended.

Recommendation: Contact a qualified HVAC professional.



Ducks resting on attic floor

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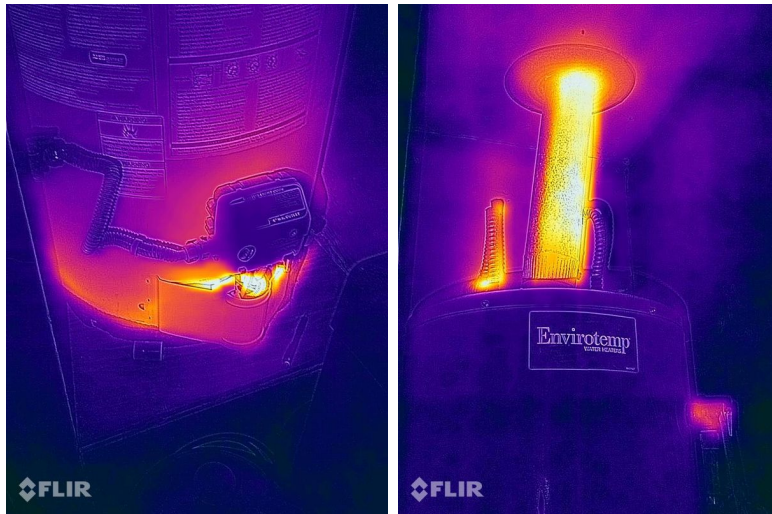
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IV. PLUMBING SYSTEMS

General Photos of Water Heating Equipment:



General Infrared Photos of Water Heating Equipment:



General Photos of Plumbing Fixtures:

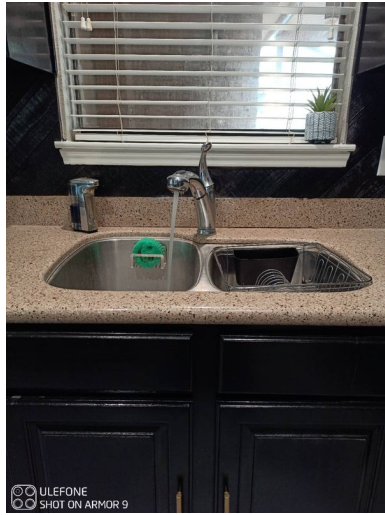
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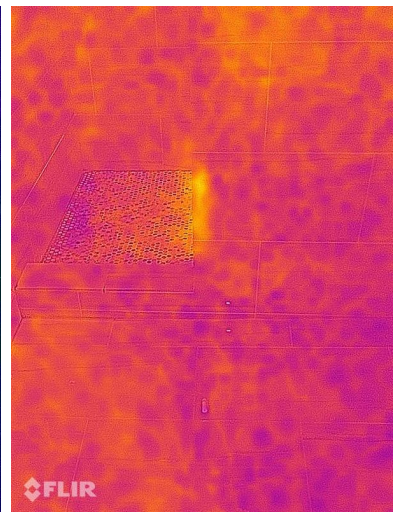
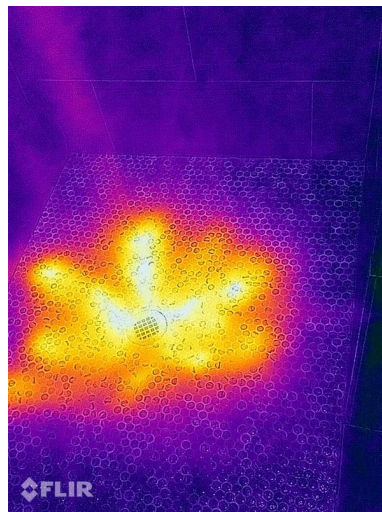
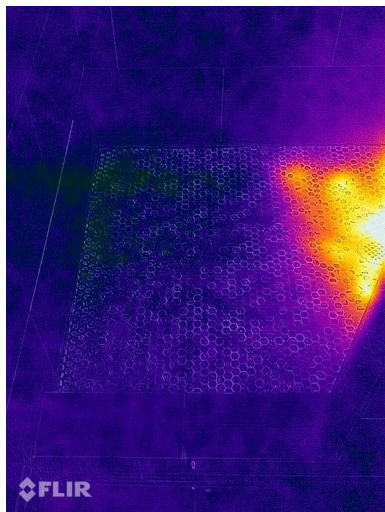
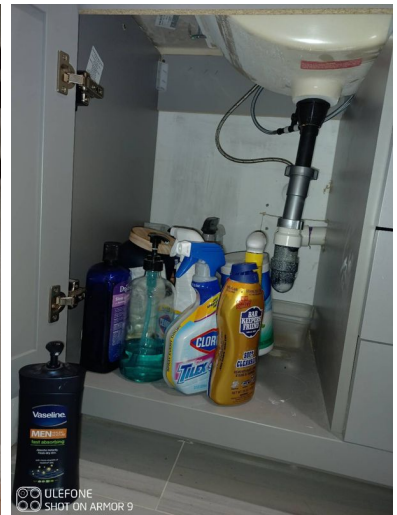
NP=Not Present

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General Photos of Gas Meter:
General Photos of Drain Lines:



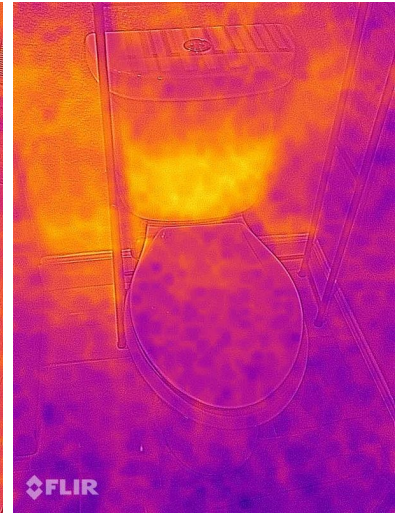
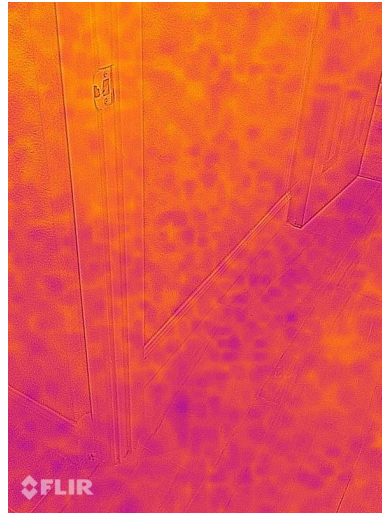
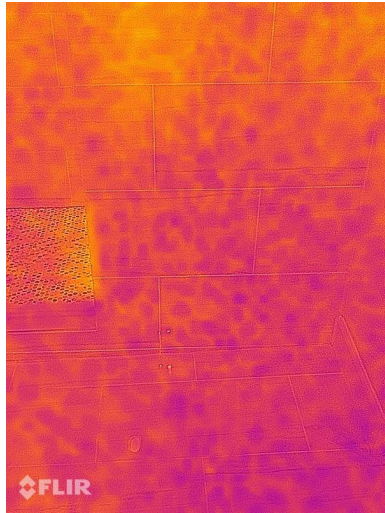
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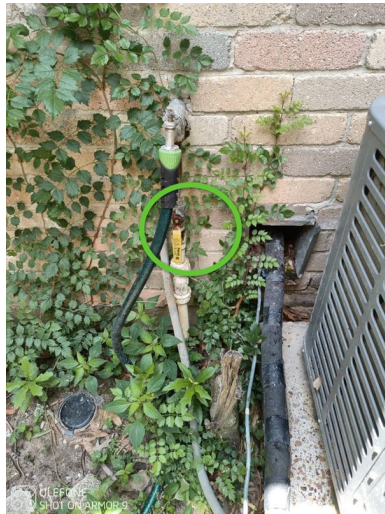
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I NI NP D



- A. Plumbing Supply, Distribution Systems, and Fixtures**
- Location of Water Meter: Front Yard Near Street*
- Location of Main Water Supply Valve: Exterior Wall - Rear*



Static Water Pressure Reading: 60 PSI

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Type of Supply Piping Material: Galvanized Steel

Comments:

No Plumbing Access:

There was not an access panel at one or more bathrooms to observe bath drain lines.

1: Supply Piping: Corrosion on Galvanized Pipes

🔴Recommendation

Multiple Locations

Galvanized water supply piping was corroded. The extent of rusting on the piping is not determined.

Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



Laundry Area



Kitchen



Attic

-
-
-
-

B. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Water Heating Equipment

Energy Source: Natural Gas

Capacity: 40 Gallons



Location: Garage

Year of Manufacture: 2016

Comments:

Inspector Does Not Test TPR Valve or Open/Remove Burner Covers:

The inspector does not test TPR valves or remove the burner compartment covers due to safety reasons and risk of damage to the property.

1: Annual Maintenance Flush Recommended

[Maintenance Item/Note](#)

Water heaters should typically be flushed annually to prevent sediment buildup and maintain efficiency. It is recommended that you refer to the manufacturer's manual for maintenance schedules specific to this device and make any service appointments as needed.

Recommendation: Contact a qualified plumbing contractor.

2: Hot Water Temperature Exceeds 140 Degrees F

▲ Safety Hazard

The hot water temperature was measured and exceeds 140 degrees F, which can cause burns from scalding in a very short time. Refer to the Operating Instructions in the manual for this specific unit for detailed instructions on setting the proper water temperature for your needs. Contact a licensed plumber for further information.

Recommendation: Contact a qualified plumbing contractor.

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3: Tank: Missing Drain Pans

🔴 Recommendation

Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



4: TPR Valve Note: Replacement May Be Needed

🔵 Maintenance Item/Note

The manufacturer recommends replacement of the pressure relief valve every three years to ensure proper emergency function. The inspector does not test TPR valves due to safety hazard or possible damage to unit.

Recommendation: Contact a qualified plumbing contractor.

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I	NI	NP	D
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5: Venting System: Defects Present

🔴 Recommendation

The water heater venting system had defects present at the time of the inspection. Examples include, but are not limited to:

- Combustion vent pipe was not properly supported/secured with strapping
- Collar was missing/loose where the flue passes through the ceiling
- Metal piercing screws are installed in the water heater vent pipe
- A single wall vent pipe was in use

Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



Loose Callor

D. Hydro-Massage Therapy Equipment

Comments:

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D=Deficient

I	NI	NP	D
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E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Right Exterior

Type of Gas Distribution Piping Material: Black Iron

Comments:

1: Missing/Improper Sediment Traps (Drip Legs)

👉 **Recommendation**

Water Heater

Sediment traps are installed to help prevent sediment in the gas piping from getting into the gas valve or burner area of an appliance and causing problems. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



Water Heater

2: Gas Piping: Old Style Valves

👉 **Recommendation**

Multiple Locations

Older style valves were installed at gas lines. This type of connection is considered beyond its service life. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.

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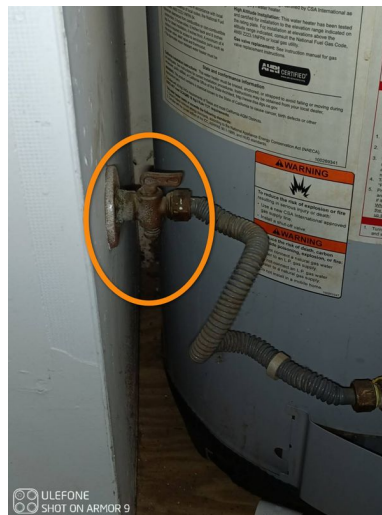
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D=Deficient

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Laundry Area



Water Heater



3: Gas Piping: Copper Tubing Present

🔴Recommendation

Current building standards prohibit the use of copper tubing for natural gas lines. Chemical additives in natural gas can deteriorate copper tubing over time. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



Right Exterior

4: Gas Piping: Corroded Lines

🔴Recommendation

Fireplace

The gas service lines were corroded. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.

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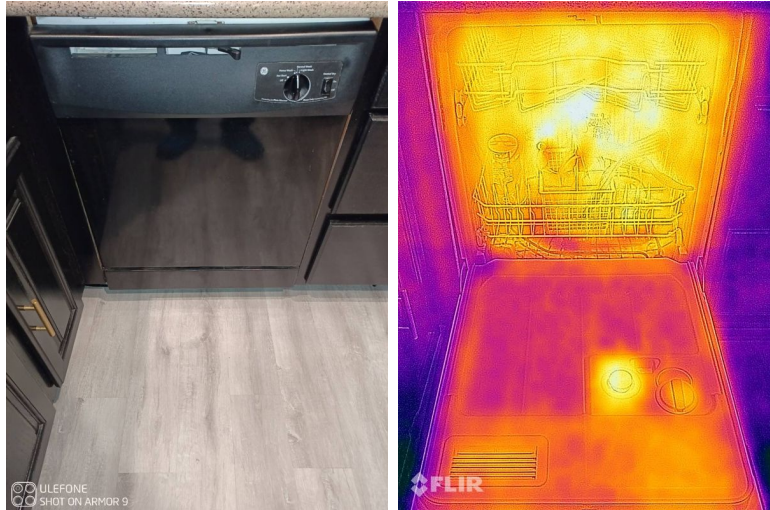
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V. APPLIANCES

General Photos of Dishwashers:



General Photos of Food Waste Disposers:



*General Photos of Range Hood/Exhaust Systems:
General Photos of Ranges, Cooktops and/or Ovens:*

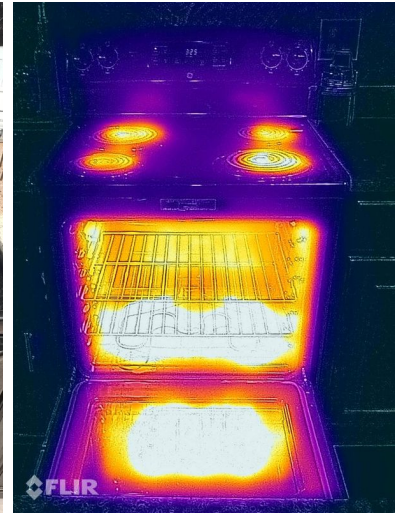
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General Photos of Microwave Ovens:



*General Photos of Garage Door Operators:
General Photos of Dryer Exhaust System:*

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NP=Not Present

D=Deficient

I NI NP D



A. Dishwashers

Comments:

1: Door: Defects Present

👉 **Recommendation**

The door appeared to be broken/damaged, and was not operating properly. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Door Springs Damaged

B. Food Waste Disposers

Comments:

1: Wire Clamp Not Installed

👉 **Recommendation**

No wire clamp had been installed at the base of the unit. Evaluation and remediation is recommended.

I=Inspected

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I NI NP D

Recommendation: Contact a qualified professional.



C. Range Hood and Exhaust Systems

Exhaust Hood Type: Re-circulate

Comments:

1: Filter: Greasy or Missing

👉 Recommendation

Kitchen exhaust filter had excessive grease build-up or was missing. Clean and/or replace as needed.

Recommendation: Contact a qualified professional.



2: Exhaust Light: Inoperative or Missing Cover

👉 Recommendation

The light did not function at the kitchen exhaust or it was missing a cover. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

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Inoperative

D. Ranges, Cooktops, and Ovens

Energy Source: Electric

Comments:

1: Missing Anti-Tip Device

▲ Safety Hazard

There was no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



E. Microwave Ovens

Comments:

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I	NI	NP	D
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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:



1: Dirty/Loose Vent Covers

🔴 Recommendation

Cleaning or resealing of the exhaust vent cover is needed to ensure proper air flow. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Dirty

2: Vent Ducts Terminate in Attic

🔴 Recommendation

The exhaust fans discharged into the attic. Bathroom exhaust fans should terminate to the exterior of the structure. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

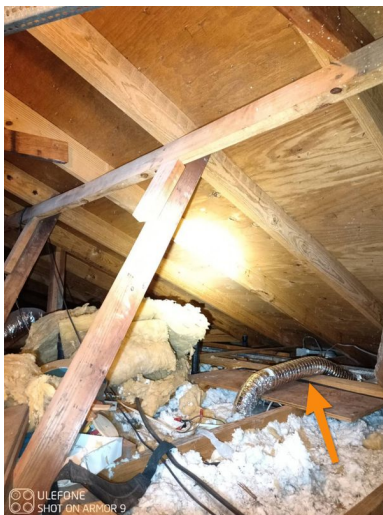
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G. Garage Door Operators

Comments:

Contact Reversal Test Not Performed:

The inspector does not perform a contract reversal test for safety reasons and risk of damage to the property.

1: Locks Installed/Not Disabled with Door Openers

🔴 **Recommendation**

A secondary locking mechanism was installed. Secondary locking mechanisms should be removed or disabled to prevent damage to the door and/or opener. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



H. Dryer Exhaust Systems

Comments:

1: Cleaning Vent Recommended

🔧 **Maintenance Item/Note**

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I NI NP D

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line.

Recommendation: Contact a qualified professional.

2: Vent Cover Missing/Damaged/Loose

🔴 Recommendation

The dryer exhaust vent cover was missing, damaged or loose. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Missing