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Property Inspection Report

3806 Country Rd, Pasadena, TX, 77505

Inspector: Nick Bishop

TREC License: 24950

Agent:

Property Size: 1544

Property Age: 1981

Inspection Date: 2/28/2024

Inspection Time: 1:30 PM

Prepared For: Omar Ayala

Order ID: 28674

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PROPERTY INSPECTION REPORT FORM

<u>Omar Ayala</u>	<u>2/28/2024</u>
<i>Name of Client</i>	<i>Date of Inspection</i>
<u>3806 Country Rd, Pasadena, TX 77505</u>	
<i>Address of Inspected Property</i>	
<u>Nick Bishop</u>	<u>24950</u>
<i>Name of Inspector</i>	<i>TREC License #</i>
<u> </u>	<u> </u>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure. Inspection may be limited by vegetation and personal possessions. Depending upon the age of the property, some items like GFCI outlets may not be installed. **This report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety and liability purposes, we recommend that licensed contractors evaluate and repair any critical concerns and defects. Note that all appliances are tested in a normal mode only for a limited time for proper operation at time of inspection. **Appliances 10 years of age and older have a limited life and could fail at any time.** If there are concerns about appliances, we recommend that you have them checked by a specialist for the condition and possible life expectancy of the appliance.

Exterior Notes: Proper drainage and soil moisture contents should be maintained around the foundation to help minimize future foundation problems. Underground drainage systems are not inspected and should be maintained for proper drainage. Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. More damage has probably resulted from moisture and expansive soil than from most natural disasters. There should be gutters and downspouts with splash blocks installed that discharge water away from the building. In the past, we have discovered evidence of moisture intrusion inside structures when it was raining that would not have been apparent otherwise. Minor settlement or "hairline" cracks in driveways, walkways or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Tripping hazards may occur from uneven surfaces or gaps in pavement and should be addressed as needed. As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal.

Note that although most roofs are walked by the inspector, some roofs may not be walked due to conditions existing which could be dangerous to the inspector, such as too high, or too steep a roofing pitch. Rain could make the surfaces of the roof too slippery to walk on safely. This may require the roof to be observed with the aid of a drone, from lower portions of the roof, the edge of the roof or the ground with binoculars. As such, our inspection may be considered a limited inspection with observations and conclusions drawn from what was visible using a limited view of the roofing materials.

Note that any siding, but especially composition or hardboard siding must be closely monitored. A classic example is the older style Louisiana Pacific siding, where the failure and deterioration provided grounds for a class action lawsuit. Even modern composition siding and, especially, trim, is particularly vulnerable to moisture damage. All seams must remain sealed, and paint must be applied periodically (especially the lower courses at ground level). It is imperative that continuous moisture be kept from it, especially from sprinklers, rain splash back or wet grass. Swelling and deterioration may otherwise result. Vegetation too close to the home can contribute to damage through root damage to the foundation, branches abrading the roof and siding, and leaves providing a pathway for moisture and insects into the home. Although rails are not required around drop-offs less than 30", consider your own personal needs and those of your family and guests. By today's standards, spindles at decks and steps should be spaced no more than 4" apart for the safety of children.

Interior Notes: Interior areas consist of bedrooms, baths, kitchen, laundry, hallways, foyer, and other open areas. All exposed walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Although excluded from inspection requirements, we will inform you of obvious broken gas seals in windows. Please realize that they are not always visible, due to temperature, humidity, window coverings, light source, etc. Your inspection will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas as the inspector may not move personal items. Note that cosmetic settlement cracks may not be noted in the report.

Electrical Notes: Note that only accessible GFCI outlets are tested and tripped. Some baths may have non-GFCI outlets which are protected by a GFCI outlet in a remote area (garage, another bath, etc.). Also, note that most electricians agree that smoke detectors are good for about 5 years, and the breakers in your panel box have an expected life of about 20 years. Therefore, if this home was built more than 20 years previous, consider having the panel box and breakers evaluated by a licensed electrician, as an overheated breaker can result in a structural fire. If your home does not have a carbon monoxide detector (few do!), we recommend making that investment. Any home that has a Bulldog Pushmatic, Sylvania, Zinsco or Federal Pacific Electric panel should have it evaluated by a licensed electrician, as these older types of panels and breakers have been known to overheat and cause house fires. Unable to inspect underground services.

Heating / Air Conditioning Notes: The heating, ventilation, air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality and ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas but can also be powered by other sources such as butane, oil, propane, solar panels, or wood. The inspector will test the heating and air conditioning system using the thermostat or other controls. Units are not inspected for cleanliness and/or rust. Recommend proper maintenance of the unit and filter. Units are not inspected for proper size or efficiency. A more thorough investigation of the system, including the heat ("firebox") exchanger, should be conducted by a licensed HVAC service person every year. Failure to do so may result in carbon monoxide escaping through cracks in a heat exchanger or flue pipe, resulting in death.

Plumbing Notes: Bathrooms can consist of many features from hydrotherapy tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible, but some problems may be undetectable due to problems within the walls or under the flooring.

Unable to test washer utility drains when appliances are connected. Sink and tub overflow drains are not tested for leaks during inspection. Water heaters are not tested for recovery rates or temperature. If a large tub is present recommend buyer test volume of hot water to tub. A 40-gallon water heater may not supply enough hot water to larger tubs. Ice maker lines are not tested.

Optional Devices Notes: Sprinkler controls are tested in manual mode only. Sprinkler rain/anti-freeze sensor is not tested. Pool equipment is checked in manual mode only. A pools shell should be considered a visual inspection only. Pool coatings are considered cosmetic and may not be noted unless conditions are severe. Ancillary equipment such as computer controls, chlorinators or other chemical dispensers, water ionization devices or conditioners are not inspected.

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I=Inspected

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D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Slab Foundation
- There are no significant settlement cracks or movement noted at this time.

Comments:

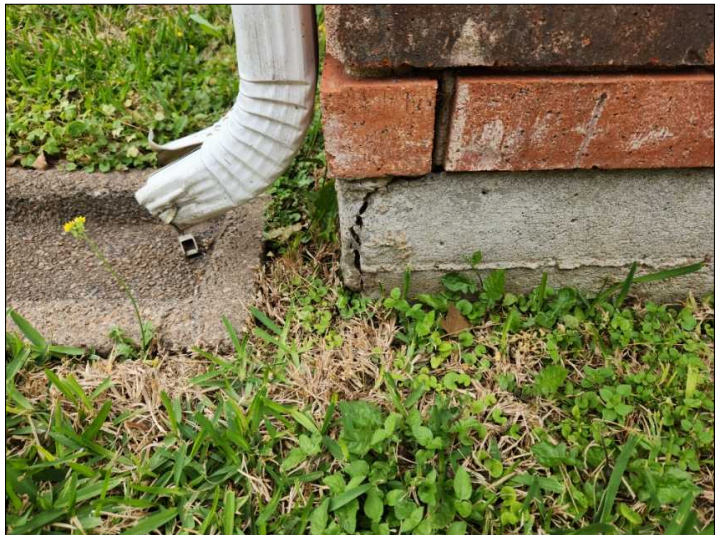
A.1. There are indications of previous foundation repair. We recommend you refer to the structural engineer's report if available for further information of repairs, warranty and proper maintenance of the foundation. There is often a transferable warranty after work has been completed, recommend contacting the homeowner for more information.

A.2. Corner pops were noted on one or more corners of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend sealing all cracks to help prevent further deterioration.

A.3. Corner chips or breaks were noted on the corner(s) of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend patching or repairing to help support corner above. Mainly at - rear



There are indications of previous foundation repair. We recommend you refer to the structural engineer's report if available for further information of repairs, warranty and proper maintenance of the foundation. There is often a transferable warranty after work has been completed, recommend contacting the homeowner for more information.



Corner pops were noted on one or more corners of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend sealing all cracks to help prevent further deterioration.

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Corner pops were noted on one or more corners of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend sealing all cracks to help prevent further deterioration.



Corner chips or breaks were noted on the corner(s) of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend patching or repairing to help support corner above. Mainly at - rear

B. Grading & Drainage

Comments:

B.1. Surface drains have been noted on the property. We can not determine the condition of drains that are below grade level. Mainly at - left

B.2. Although there is not the proper 6" drop within 10' of the slab around certain areas of the structure. Indications are that the water is flowing away from the structure and no immediate issues were noted, recommend monitoring and correcting slope as needed.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Roof Covering Materials
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Type(s) of Roof Covering:

- 3-Tab composition shingles. The nailing pattern for this installation is beyond the scope of a home inspection as lifting the shingles would break the shingles bond.

Viewed From:

- The roof surface was inspected by walking on the roof, however every portion of the roof may not be accessible and some areas may be viewed from a distance so some defects may not be visible. Water can enter through very small areas and may not be found until heavy rain storms occur. Wind driven rains can cause leaks in a roof even though the roof is installed properly. Roofs are designed to shed water and are not waterproof.

Comments:

C.1. Signs of previous repairs were noted on the roof. Indications are that they are working as intended at time of inspection.

C.2. It is Recommended that a roofer be consulted for further evaluation of the roof covering as well as check for any other repairs that may be needed at that time.

C.3. Tree limbs should be kept trimmed at least 5' from roof to help prevent damage to the roof during windy conditions.

C.4. There is/was a satellite dish mounted to the roof structure. It is recommended that the Satellite dish be properly mounted at the siding of the home or on a stand-alone base in the yard. Recommend sealing the mounting hardware to help prevent water penetration.

C.5. The 90 on the downspout was damaged. Mainly at - front

C.6. One or more of the vents and or flashing is unpainted, recommend painting all unpainted vents and flashing to help prevent damage due to UV rays or rust.

C.7. There are signs of rusted vents or flashing on the rooftop. We recommend painting or replacing all rusted or deteriorated vents or flashing as needed.

C.8. The roof flashing is lifted. Recommend securing all loose or lifted flashing and sealing nails to help prevent water penetration.

C.9. There are damaged or missing ridge shingles on the roof, recommend repairs or replacement of damaged ridge shingles.

C.10. Due to the excessive granular loss on the ridge of the roof. We recommend further review of the roof system for a better understanding of the present condition. May want to replace all worn ridge shingles to prolong the life of the roof covering.

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C.11. Due to the excessive granular loss on the roof covering the roof may age prematurely. We recommend further review of the roof system for a better understanding of the present condition.

C.12. There are indications that there is deteriorated decking under the roof covering due to a soft spot under the shingles, recommend contacting a roof specialist to evaluate and repair as needed and check entire roof for other issues that may be of concern.

C.13. Splash blocks or downspout extensions should be installed to direct water away from foundation.

C.14. There is debris in the gutters, recommend cleaning gutters to restore to proper operation.

C.15. Improperly installed vent flashing



The 90 on the downspout was damaged. Mainly at - front



There are indications that there is deteriorated decking under the roof covering due to a soft spot under the shingles, recommend contacting a roof specialist to evaluate and repair as needed and check entire roof for other issues that may be of concern.

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Overview of Roof.



Overview of Roof.



There are damaged or missing ridge shingles on the roof, recommend repairs or replacement of damaged ridge shingles.



Due to the excessive granular loss on the roof covering the roof may age prematurely. We recommend further review of the roof system for a better understanding of the present condition.

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Due to the excessive granular loss on the roof covering the roof may age prematurely. We recommend further review of the roof system for a better understanding of the present condition.

Signs of previous repairs were noted on the roof. Indications are that they are working as intended at time of inspection.



Overview of Roof.



Overview of Roof.

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There are signs of rusted vents or flashing on the rooftop. We recommend painting or replacing all rusted or deteriorated vents or flashing as needed.



Improperly installed vent flashing



The roof flashing is lifted. Recommend securing all loose or lifted flashing and sealing nails to help prevent water penetration.



Overview of Roof.

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There is/was a satellite dish mounted to the roof structure. It is recommended that the Satellite dish be properly mounted at the siding of the home or on a stand-alone base in the yard. Recommend sealing the mounting hardware to help prevent water penetration.



Tree limbs should be kept trimmed at least 5' from roof to help prevent damage to the roof during windy conditions.



One or more of the vents and or flashing is unpainted, recommend painting all unpainted vents and flashing to help prevent damage due to UV rays or rust.



There is debris in the gutters, recommend cleaning gutters to restore to proper operation.

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Splash blocks or downspout extensions should be installed to direct water away from foundation.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Roof Structure and Attic
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Viewed From:

- The inspector had limited access to the attic. Because of limited clearances and/or the potential for damage, our visual inspection of the attic was performed from the reasonably accessible areas only.
- The type of roof system is conventional.
- The type of attic ventilation is ridge vents, eave vents.

Approximate Average Depth of Insulation:

- The ceiling insulation is blown fiberglass.
- Ceiling insulation is approximately 1-4 inches in depth.
- No vertical insulation in the attic.

Comments:

D.1. Attic stairway not cut properly to the floor, recommend cutting ladder so the ladder is a straight line when in the down position, otherwise it will put undue stress at the hinge and can cause ladder to fail.

D.2. The attic pull-down stairs do not close properly, allowing conditioned air to be lost into the attic or attic air into conditioned space of the home.

D.3. The insulation has been heavily compressed by storage, age and/or varmints in some areas of the attic and does not meet today's energy requirements, recommend upgrading to today's standards of at least R30.

D.4. The purlin should be at least as large as the rafters they support the purlin braces should be no more than 4' apart and purlin braces should not be notched. This is a common occurrence in older homes, however if sagging is noted you may want this evaluated by a contractor or structural engineer as more support may need to be added.

D.5. The roof decking was deteriorated, recommend all deteriorated decking be replaced to help prevent further damage and water penetration into home. Mainly at -

D.6. Rodent/Pest activity was observed in the attic space. Trails and holes through the insulation is a good indication that rodents have been in the attic at some point. There may have also been indications of fecal matter or an assortment of traps noted in the attic which would allude to the presence of pest activity. The inspector is unable to determine if this is an active or past condition and is beyond the scope of a home inspection. We recommend that a pest control specialist be consulted for a determination of present conditions and possibly performing an exclusion which is closing off all holes or places of entry to help prevent rodent/pest infestation.

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Overview of Attic.



Overview of Attic.



Overview of Attic.



Overview of Attic.

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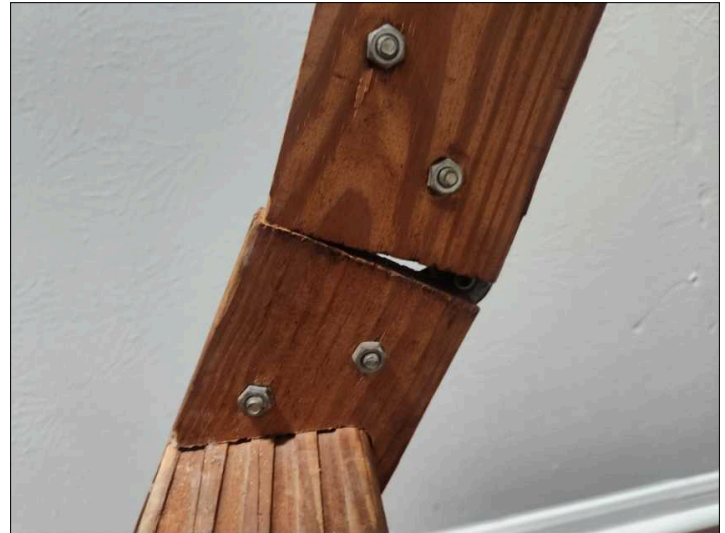
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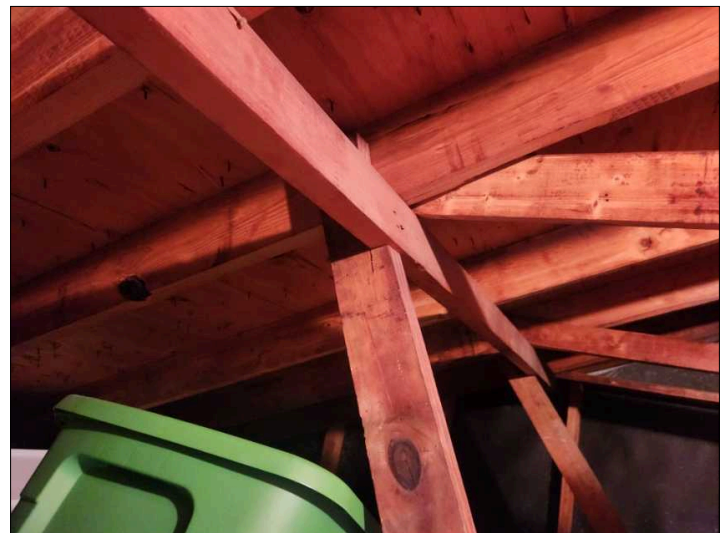
Overview of Attic.



Attic stairway not cut properly to the floor, recommend cutting ladder so the ladder is a straight line when in the down position, otherwise it will put undue stress at the hinge and can cause ladder to fail.



The roof decking was deteriorated, recommend all deteriorated decking be replaced to help prevent further damage and water penetration into home. Mainly at -



The purlin should be at least as large as the rafters they support the purlin braces should be no more than 4' apart and purlin braces should not be notched. This is a common occurrence in older homes, however if sagging is noted you may want this evaluated by a contractor or structural engineer as more support may need to be added.

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The attic pull-down stairs do not close properly, allowing conditioned air to be lost into the attic or attic air into conditioned space of the home.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Walls (Exterior)
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Wall Materials:

- Prevalent exterior siding is made of brick, vinyl siding.

Comments:

E.1. Seal all electrical lighting fixtures at wall connection to help prevent water penetration. It is a good idea to leave a small opening at the bottom to allow any water penetrating to escape.

E.2. Seal **AVC** line entry at wall connection to help prevent water penetration.

E.3. Settlement cracks were noted in the brickwork. Mainly at - right, rear, left

E.4. There is a separation at the brickwork which is an indication of settlement or foundation movement. This may require further attention if other movement is noted. Mainly at - rear

E.5. Recommend sealing between the trim and brickwork to help prevent water penetration. Mainly at - front

E.6. Seal gaps and holes in soffit to help prevent water penetration and rodent intrusion. Mainly at - front patio

E.7. There is loose soffit material at the eave, recommend securing to help prevent damage and water penetration. Mainly at - front

E.8. The siding is closer than recommended or in contact with the roof. It is recommended that there be a separation to help prevent water from wicking up into the siding material causing deterioration.

E.9. There is loose siding on the home, recommend securing all loose siding to help prevent damaged and water penetration. Mainly at - right

E.10. There are signs of growth on exterior brickwork/siding, recommend cleaning to help prevent deterioration.

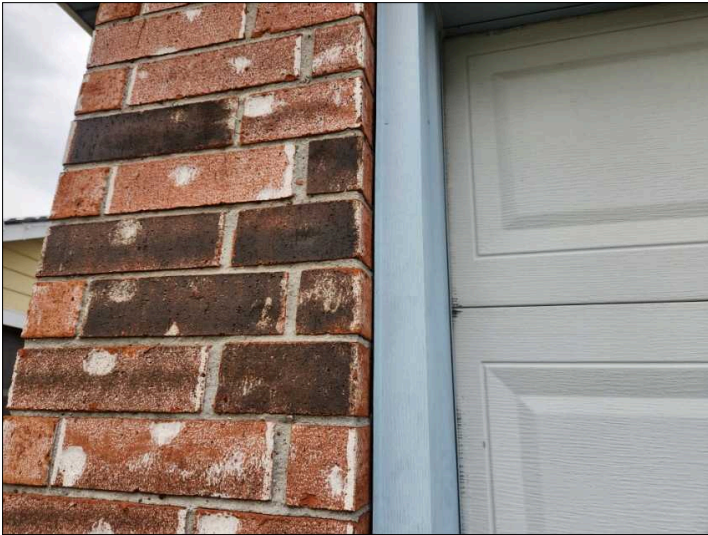
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Recommend sealing between the trim and brickwork to help prevent water penetration. Mainly at - front



Seal all electrical lighting fixtures at wall connection to help prevent water penetration. It is a good idea to leave a small opening at the bottom to allow any water penetrating to escape.



There is loose soffit material at the eave, recommend securing to help prevent damage and water penetration. Mainly at - front



Seal gaps and holes in soffit to help prevent water penetration and rodent intrusion. Mainly at - front patio

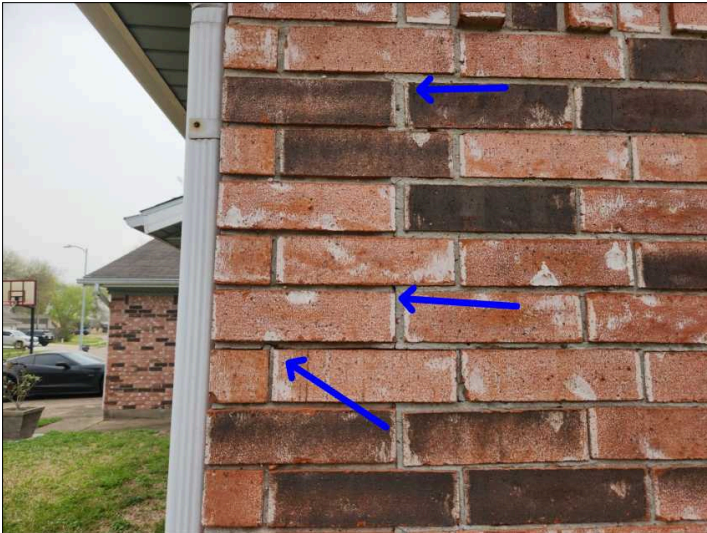
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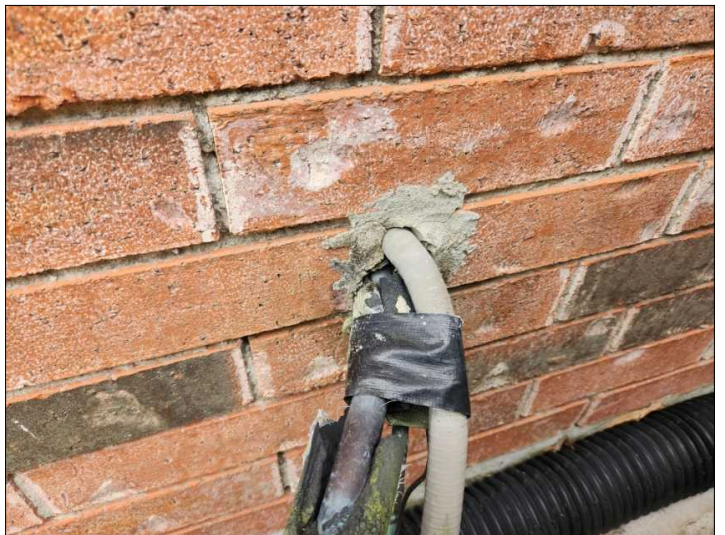
Settlement cracks were noted in the brickwork.
Mainly at - right



There is loose siding on the home, recommend securing all loose siding to help prevent damaged and water penetration. Mainly at - right



There are signs of growth on exterior brickwork/siding, recommend cleaning to help prevent deterioration.



Seal A/C line entry at wall connection to help prevent water penetration.

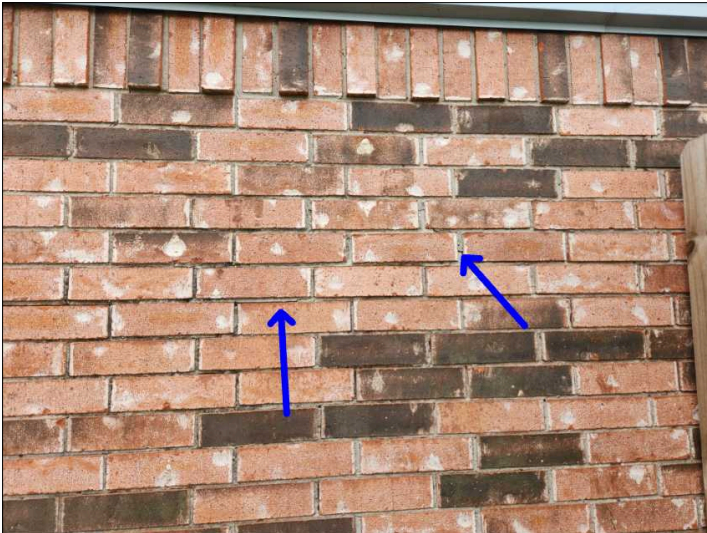
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I	NI	NP	D
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Settlement cracks were noted in the brickwork. Mainly at - right



The siding is closer than recommended or in contact with the roof. It is recommended that there be a separation to help prevent water from wicking up into the siding material causing deterioration.



Settlement cracks were noted in the brickwork. Mainly at - rear



Settlement cracks were noted in the brickwork. Mainly at - rear

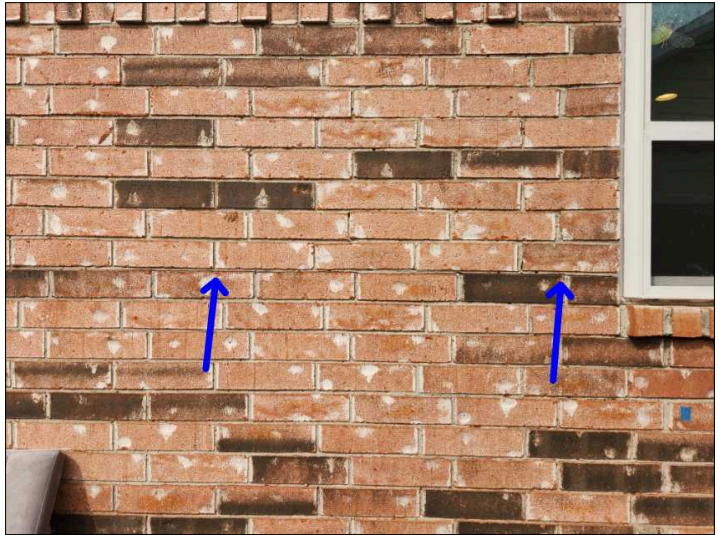
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I	NI	NP	D
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There is a separation at the brickwork which is an indication of settlement or foundation movement. This may require further attention if other movement is noted. Mainly at - rear

Settlement cracks were noted in the brickwork. Mainly at - left

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. Walls (Interior)
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Comments:

- F.1. There is evidence of previous patch work and or painting on the interior finishes. Recommend contacting homeowner for more information. Mainly at - primary bedroom
- F.2. There is damage to the drywall, recommend repairs as needed. Mainly at - front entryway
- F.3. Settlement cracks were noted in the drywall. Mainly at - primary bedroom, primary closet
- F.4. Settlement cracks were noted at the tape joint in the drywall. Mainly at - dining room
- F.5. Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - pantry

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

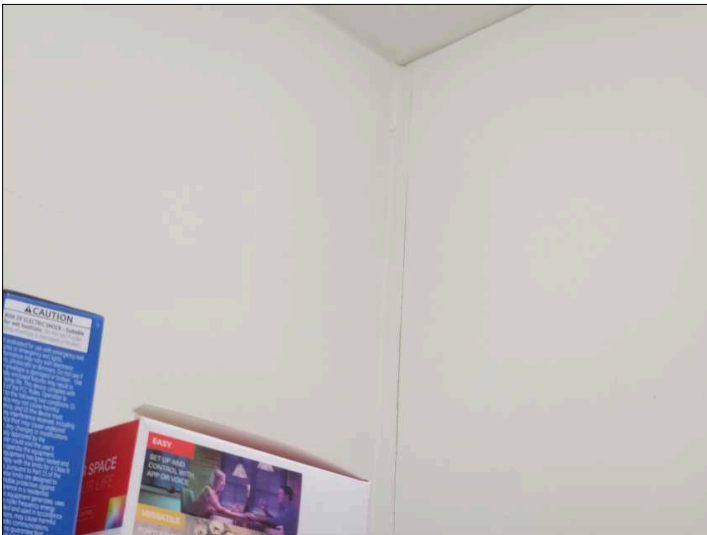
I	NI	NP	D
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There is damage to the drywall, recommend repairs as needed. Mainly at - front entryway



Settlement cracks were noted at the tape joint in the drywall. Mainly at - dining room



Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - pantry



There is evidence of previous patch work and or painting on the interior finishes. Recommend contacting homeowner for more information. Mainly at - primary bedroom

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Settlement cracks were noted in the drywall.
Mainly at - primary bedroom



Settlement cracks were noted in the drywall.
Mainly at - primary closet

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Ceilings
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Comments:

G.1. Settlement cracks were noted in the drywall. These are generally considered cosmetic only, unless otherwise noted. Mainly at - living room, hallway

G.2. Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - living room, kitchen

G.3. There is damage to the drywall, recommend repairs as needed. Mainly at - dining room

G.4. There are minor stains on the ceiling. Unable to determine condition of the underlying materials. Mainly at - front left bedroom

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - living room



Settlement cracks were noted in the drywall. These are generally considered cosmetic only, unless otherwise noted. Mainly at - living room



There is damage to the drywall, recommend repairs as needed. Mainly at - dining room



Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - kitchen

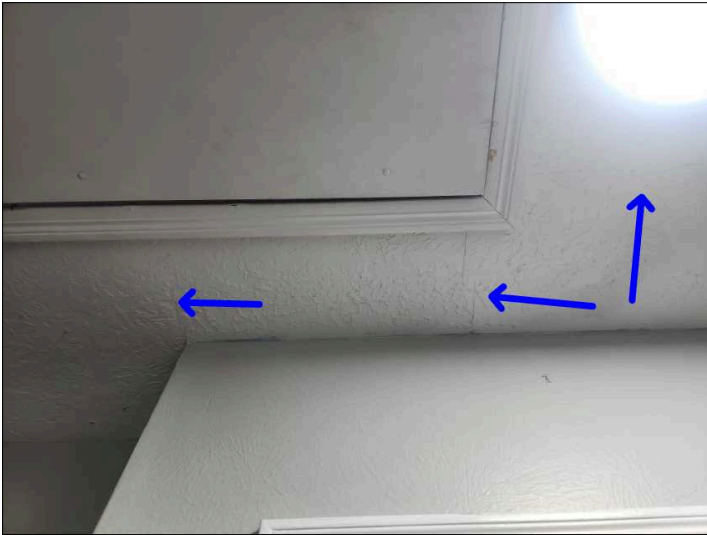
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Settlement cracks were noted in the drywall. These are generally considered cosmetic only, unless otherwise noted. Mainly at - hallway

There are minor stains on the ceiling. Unable to determine condition of the underlying materials. Mainly at - front left bedroom

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Floors
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-----------

Comments:

H.1. Cracks were noted in the pavement. These are cosmetic in nature at this time. Recommend sealing to help prevent further deterioration. Mainly at - garage

H.2. Cracks were noted in the pavement. The pavement is unlevel and can be a tripping hazard if not corrected, recommend repairs. Mainly at - driveway, sidewalk, back patio

H.3. Uneven pavement was noted, recommend repairs to help prevent tripping. Mainly at - driveway, sidewalk

H.4. There are gaps noted in the wood flooring. Mainly at - living room

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Cracks were noted in the pavement. The pavement is unlevel and can be a tripping hazard if not corrected, recommend repairs. Mainly at - driveway



Uneven pavement was noted, recommend repairs to help prevent tripping. Mainly at - driveway



Cracks were noted in the pavement. The pavement is unlevel and can be a tripping hazard if not corrected, recommend repairs. Mainly at - sidewalk



Cracks were noted in the pavement. The pavement is unlevel and can be a tripping hazard if not corrected, recommend repairs. Mainly at - back patio

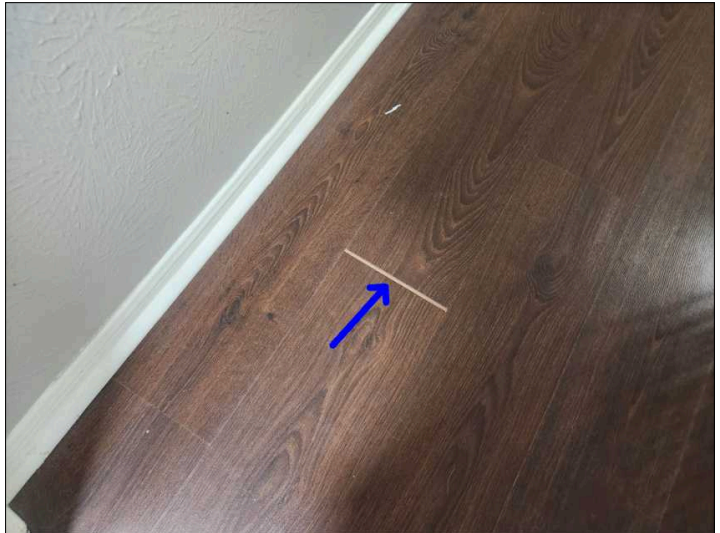
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Cracks were noted in the pavement. These are cosmetic in nature at this time. Recommend sealing to help prevent further deterioration.
Mainly at - garage

There are gaps noted in the wood flooring. Mainly at - living room

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	I. Doors (Interior and Exterior)
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Comments:

- I.1. The garage door self-closing hinges are not installed.
- I.2. The door is in need of refinishing. Mainly at - garage door
- I.3. There is pet damage on the door. Mainly at - back door
- I.4. The garage entry to the home is not the proper 20 minute fire rated door. The door between the garage and residence shall be equipped with solid wood doors or solid or honeycomb core steel doors not less than 1-3/8" in thickness. If glass is present it must meet the minimum fire protection rating and follow the requirements as set forth in NFPA 80 - Standard for Fire Doors and Fire Windows.
- I.5. Garage door is dented.
- I.6. Garage door is cracked or split.
- I.7. Garage door hardware is loose.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Garage door is cracked or split.



Garage door is dented.



There is pet damage on the door. Mainly at - back door



Garage door hardware is loose.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J. Windows
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Window Types:

• Windows in the home are double pane/double-hung. A double-hung window, also commonly referred to as a double-sash window, is a type of window that has two operable sashes that slide up and down. In order to lock the windows both top and bottom portions need to be fully seated in the window frame.

Comments:

J.1. Sealant is needed around various windows between the window framing and exterior brickwork or trim to help prevent water penetration, recommend checking all windows for proper sealant.

J.2. The home contains cord drawn window coverings such as shades, blinds, curtains, drapery or other cord-operated products, which in recent years have been deemed a safety hazard by the Consumer Product Safety Commission (CPSC). It is recommended that corded window coverings be replaced with non-corded gravity type window coverings.



Sealant is needed around various windows between the window framing and exterior brickwork or trim to help prevent water penetration, recommend checking all windows for proper sealant.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	K. Stairways (Interior and Exterior)
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Fireplace and Chimney
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Locations:

- Fireplace is located in the living room.

Fireplace Type and Fuel Type:

- The Fireplace is Prefabricated Metal box and Flue and is set up for the following fuel type: Wood.

Comments:

L.1. The fireplace firebox and flue are dirty, recommend cleaning.

L.2. There are cracks present in the materials surrounding the fireplace firebox. Recommend repairs to seal the finished materials to prevent further deterioration.



Overview of fireplace



There are cracks present in the materials surrounding the fireplace firebox. Recommend repairs to seal the finished materials to prevent further deterioration.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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There are cracks present in the materials surrounding the fireplace firebox. Recommend repairs to seal the finished materials to prevent further deterioration.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	M. Porches, Balconies, Decks, and Carports
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N. Other
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Comments:

N.1. Some areas have limited access due to personal items/furnishings. Mainly at - garage

N.2. There are indications of water penetration to the ceiling evident mainly by staining. Unable to determine condition of the underlying materials. Mainly at - living room, kitchen

N.3. Checked water stain with a moisture meter and found it to be at a normal level. Unable to determine condition of the underlying materials. Mainly at - living room

N.4. Wood or other debris is stacked against the house. Recommend all wood or other materials be separated from the structure to help prevent conducive conditions for wood destroying insects.

N.5. Although fences are not inspected it was noted that the fence is showing some signs of damage or deterioration.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Wood or other debris is stacked against the house. Recommend all wood or other materials be separated from the structure to help prevent conducive conditions for wood destroying insects.



Although fences are not inspected it was noted that the fence is showing some signs of damage or deterioration.



There are indications of water penetration to the ceiling evident mainly by staining. Unable to determine condition of the underlying materials. Mainly at - living room



Checked water stain with a moisture meter and found it to be at a normal level. Unable to determine condition of the underlying materials. Mainly at - living room

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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There are indications of water penetration to the ceiling evident mainly by staining. Unable to determine condition of the underlying materials.
Mainly at - kitchen

Some areas have limited access due to personal items/furnishings. Mainly at - garage

II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels
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Panel Locations:

- Main electrical panel is on the right exterior.
- Unable to inspect underground services.

Materials, Amp Rating & Brand:

- Main Panel is a 125 Amp Eaton panel fed by aluminum wiring.

Comments:

A.1. There is no antioxidant on main aluminum feeds to the panel box. This should be used to help prevent overheating.

A.2. There is an improper ground rod clamp, it is recommended that ground wires be secured with the proper acorn style clamp for proper protection.

A.3. The electrical system only has one ground rod installed, it is now recommended that two ground rods be installed for your protection and the ground rods should be located at least 6' apart.

I=Inspected

NI=Not Inspected

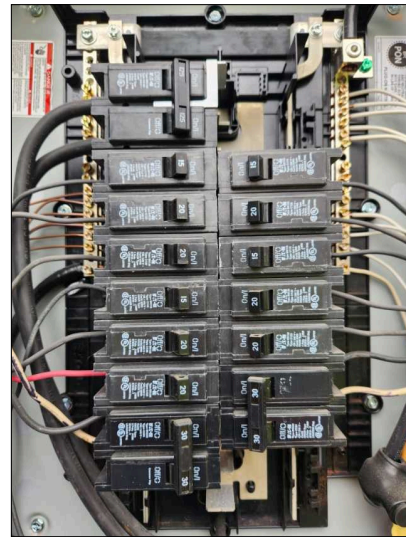
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D=Deficient

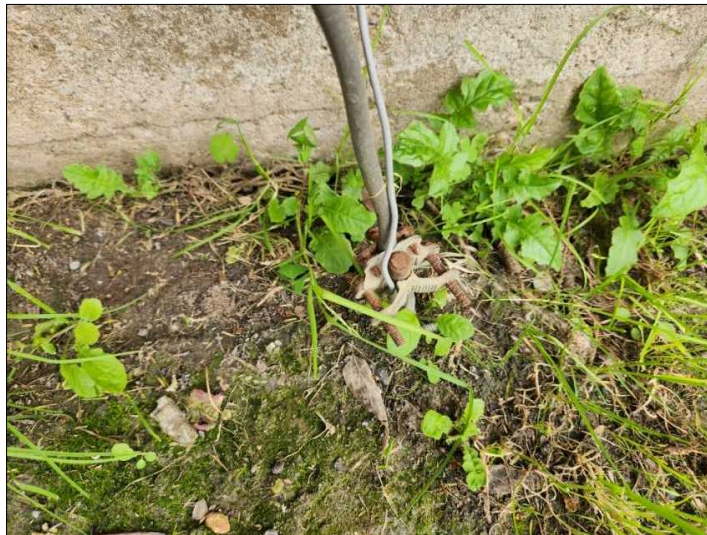
I	NI	NP	D
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Overview of main electrical panel



Overview of main electrical panel



There is an improper ground rod clamp, it is recommended that ground wires be secured with the proper acorn style clamp for proper protection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D

I	NI	NP	D	
X			X	B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Branch circuits are copper wiring.
- **GFCI** Reset locations - exterior, kitchen, primary bath

Comments:

B.1. Arc-Fault Circuit Interrupters (**AFCI**'s) were *not* noted in all the recommended areas at the time of inspection according to present codes. It is now recommended that Arc-Fault Circuit Interrupters be installed to provide coverage for the following areas Kitchens (microwaves, dishwashers, garbage disposals), family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, recreation rooms, closets, hallways, laundry areas, and 250V dryer receptacles. This may not have been required at the time of construction, but is the current standard.

B.2. The GFCI (Ground Fault Circuit Interrupter) electrical outlet does not trip when tested. Mainly at - front

B.3. It is now required that inspectors report on the absence of tamper resistant receptacles in a home. TR receptacles should be installed at all locations where receptacles are less than five and a half feet above the walking surface. TR receptacles are typically found in new construction or a recently renovated home.

B.4. Recommend replacing all wet area exterior receptacle covers with the code approved bubble style cover.

B.5. Switch plate is broken or missing, recommend replacing covers to help prevent electrical shock. Mainly at - primary bedroom, attic

B.6. The light fixture is hanging by its wires. Mainly at - left

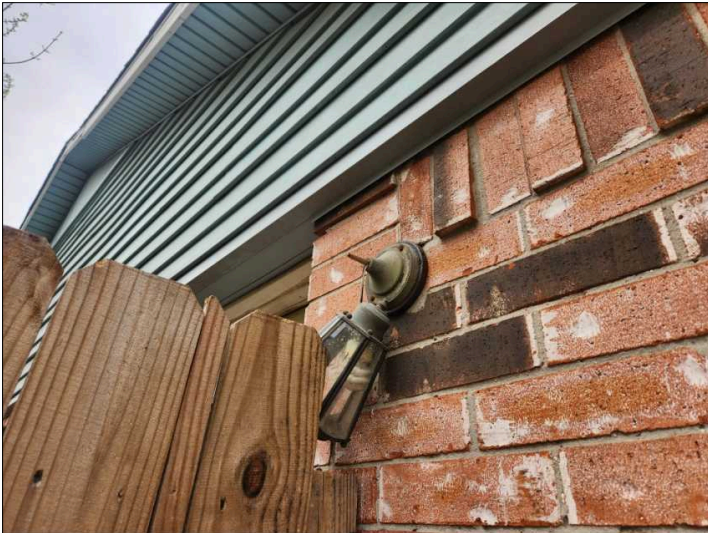
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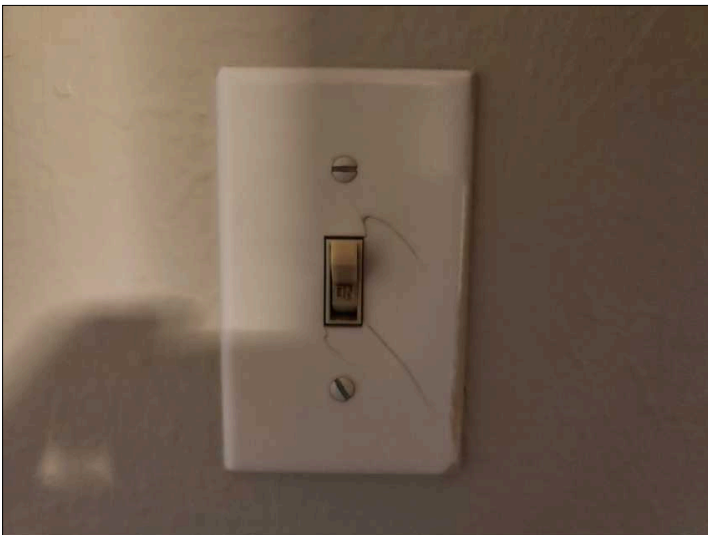
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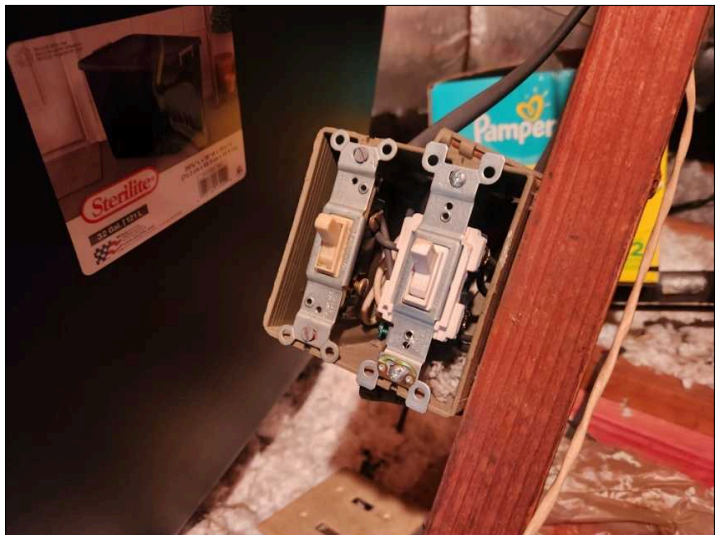
The light fixture is hanging by its wires. Mainly at - left



Recommend replacing all wet area exterior receptacle covers with the code approved bubble style cover.



Switch plate is broken or missing, recommend replacing covers to help prevent electrical shock. Mainly at - primary bedroom



Switch plate is broken or missing, recommend replacing covers to help prevent electrical shock. Mainly at - attic

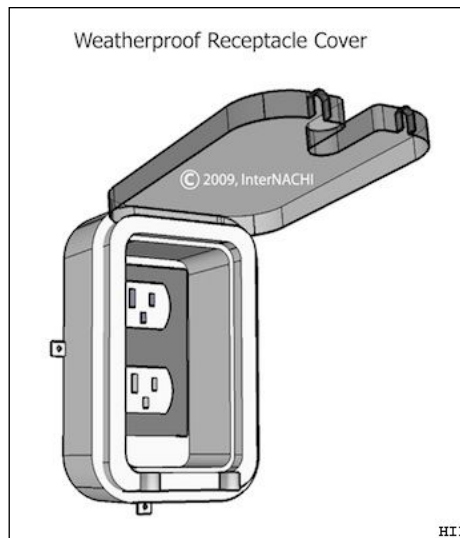
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Heating Equipment
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Type of Systems:

- Central Forced Air
- There is one A/C & heating unit for this property.
- AC/Heating unit #1 is located in the main attic and covers the entire home.

Energy Source and Type of Igniter:

- Heating unit(s) is natural gas.
- Automatic Igniter(s) were noted.

Comments:

A.1. There is no drip leg or sediment trap for gas line on the furnace. This helps prevent trash from clogging jets.

A.2. The flexible gas line for the gas-fired furnace passes through the air handler which could cause damage to the gas line and a possible leak this is a life safety issue and should be repaired immediately, it is recommend that the gas line be hard piped out of the unit to help prevent damage to the flex line.

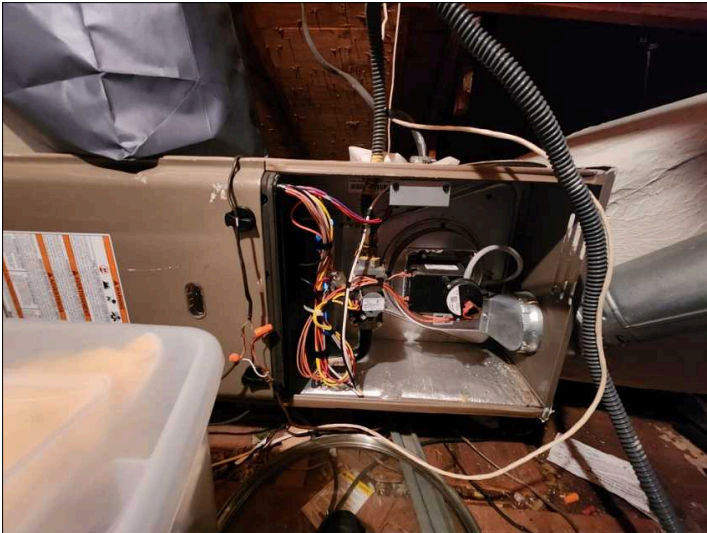
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NI=Not Inspected

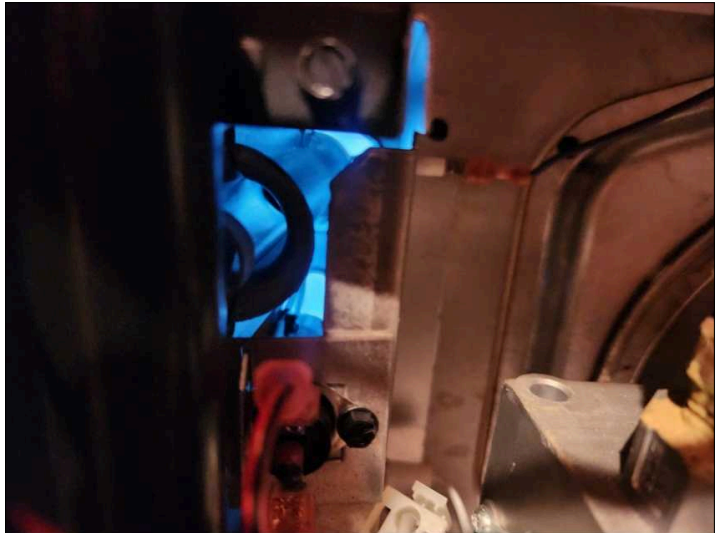
NP=Not Present

D=Deficient

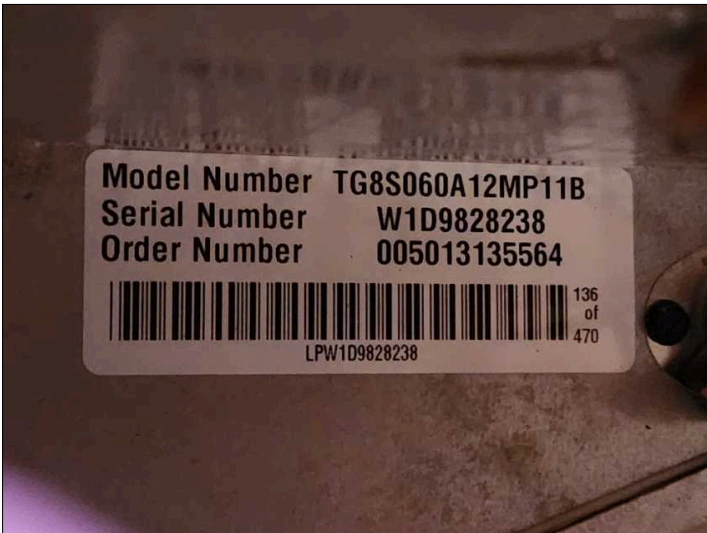
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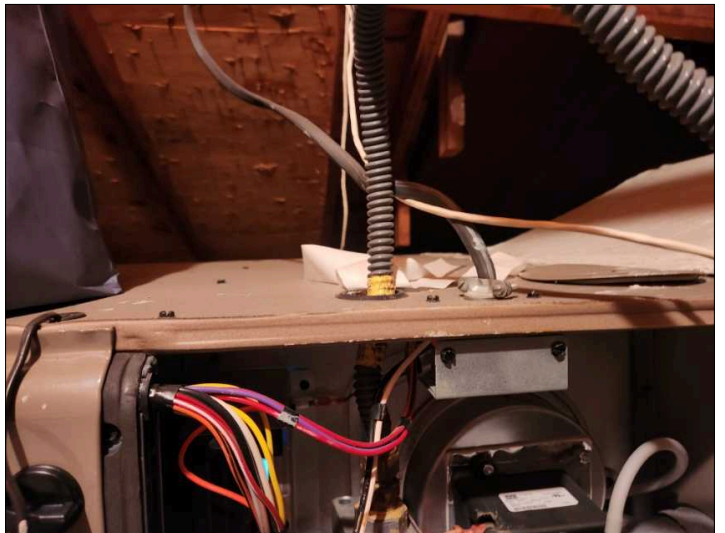
Overview of Furnace equipment



Overview of Furnace burner compartment.



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)



The flexible gas line for the gas-fired furnace passes through the air handler which could cause damage to the gas line and a possible leak this is a life safety issue and should be repaired immediately, it is recommend that the gas line be hard piped out of the unit to help prevent damage to the flex line.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 B. Cooling Equipment

Type of Systems:

- Central Forced Air
- A/C unit #1 High/Low differential should fall between 15 and 22 degrees at the unit for proper cooling. The differential for this unit is :14 degrees. It is recommended that all A/C and furnace units especially those more than 10 years of age be evaluated by a licensed A/C and heating specialist as the home inspector is not licensed to open up the units to check evaporators or manifolds. A/C and heating units are checked for proper operation only at the time of inspection and is no guarantee of future performance.
- A/C compressor(s) is electric.

Comments:

B.1. Although the system and the system components are operating at the time of the inspection, the system has reached or exceeded its normal life expectancy. We recommend further evaluation by a licensed contractor for cost analysis to repair or replace the unit or its components.

B.2. The insulation is missing or damaged on the A/C suction line at the condensing unit. Recommend repair or replacement to prevent cooling loss from exterior temperatures.

B.3. The insulation on the A/C condensation or low pressure refrigerant line is missing at the evaporator unit. Recommend insulating to prevent moisture damage to ceiling surfaces.

B.4. The A/C unit is not operating properly, evident by a low temperature differential of :14 degrees. Recommend consulting an A/C and Heating specialist for further evaluation/repair and to check for other repairs that may be needed at that time.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Overview of A/C Condenser



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)



Overview of A/C Evaporator



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)

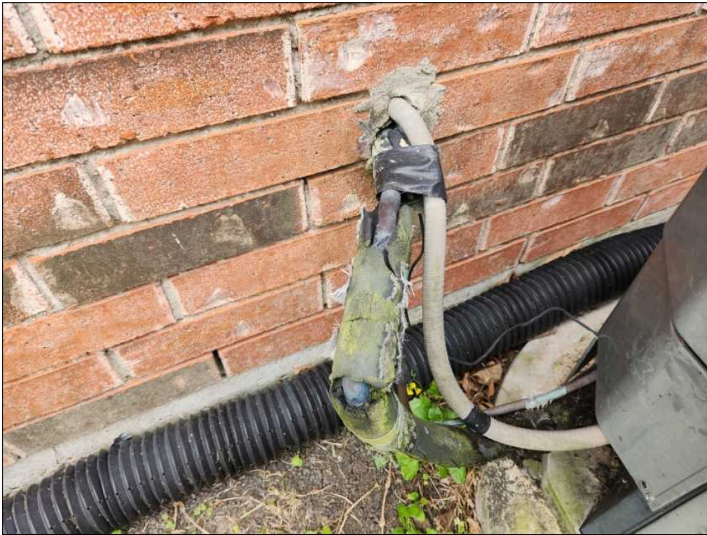
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The insulation is missing or damaged on the A/C suction line at the condensing unit. Recommend repair or replacement to prevent cooling loss from exterior temperatures.



The insulation on the A/C condensation or low pressure refrigerant line is missing at the evaporator unit. Recommend insulating to prevent moisture damage to ceiling surfaces.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Duct system,Chases, and Vents
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Comments:

C.1. Filter type is disposable. It is recommended that Disposable Filters be changed every 2 to 3 months depending on use.

C.2. Registers are showing signs of growth, recommend cleaning vents and ducts as needed. Air sampling will most likely not identify microbial growth, however a swab or tape sample will determine if there is microbial growth.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

IV. PLUMBING SYSTEM

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Water Supply System and Fixtures
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-------------------------------------

Location of Water Meter:

- The water meter is located at the front curb.
- The water meter was checked for any movement to check for possible leaks and no movement was noted at the time of inspection.
- The gas meter is located on the left.
- The gas distribution pipe is Black Iron.

Location of Main Water Supply Valve:

- Water supply lines are made of Galvanized pipe, which may require future repairs or full replacement.

Comments:

A.1. Appliances are connected and therefore the laundry water supply valves and drain line could not be tested. Sometimes when units are installed the inspector may not have been able to see behind the units and fully test electrical and plumbing connections due to limited access.

A.2. At least one anti-siphon is missing on an exterior faucet, recommend anti-siphon devices be installed on all exterior water faucets.

A.3. There is a leak at the valve stem on the exterior water faucet, recommend tightening packing nut, adding packing cord or replacing packing if needed.
Mainly at - left

A.4. The faucet handle is loose. Mainly at - hall bath

A.5. The house is plumbed with the majority of the original galvanized pipe. Galvanized piping has a life expectancy of 40 to 50 years depending on condition of water and origin of the piping. Galvanized pipes may need future repair or replacement.

A.6. The hot and cold water faucet controls are reversed. The cartridge or supply lines may be reversed, this often causes hot and cold water to be reversed at the faucet, recommend repairs to help prevent scalding. Location - kitchen

A.7. All tub shower faucets and spouts should be sealed to help prevent water penetration behind the fixture.

A.8. The shower diverter in the bath does not transfer water completely from the tub to the shower. Mainly at - primary bath

A.9. Recommend sealing the tub/shower surround to help prevent water penetration to underlying materials. Mainly at - hall bath, primary bath

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A.10. Rust has been noted in the tub, recommend repairs to help prevent deterioration. Mainly at - primary bath

A.11. Unapproved gas valves were noted, recommend changing all unapproved gas valves. These valves are designed with a spring at the bottom of the valve which weaken over time causing gas to leak when operated. Although they may not be leaking at the time of inspection they have a high likely hood of leaking when operated. Mainly at - gas meter

A.12. There are uninsulated water supply lines routed through the attic. Recommend all uninsulated supply lines be properly insulated to help prevent damage to the pipes in freezing weather.



Water Pressure for home.



Overview of Plumbing Fixture(s) in Operation.



Overview of Plumbing Fixture(s) in Operation.



Overview of Plumbing Fixture(s) in Operation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Overview of Plumbing Fixture(s) in Operation.



Unapproved gas valves were noted, recommend changing all unapproved gas valves. These valves are designed with a spring at the bottom of the valve which weaken over time causing gas to leak when operated. Although they may not be leaking at the time of inspection they have a high likely hood of leaking when operated. Mainly at - gas meter



Overview of Plumbing Fixture(s) in Operation.



Overview of Plumbing Fixture(s) in Operation.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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There is a leak at the valve stem on the exterior water faucet, recommend tightening packing nut, adding packing cord or replacing packing if needed. Mainly at - left



Recommend sealing the tub/shower surround to help prevent water penetration to underlying materials. Mainly at - hall bath



Rust has been noted in the tub, recommend repairs to help prevent deterioration. Mainly at - primary bath



Recommend sealing the tub/shower surround to help prevent water penetration to underlying materials. Mainly at - primary bath

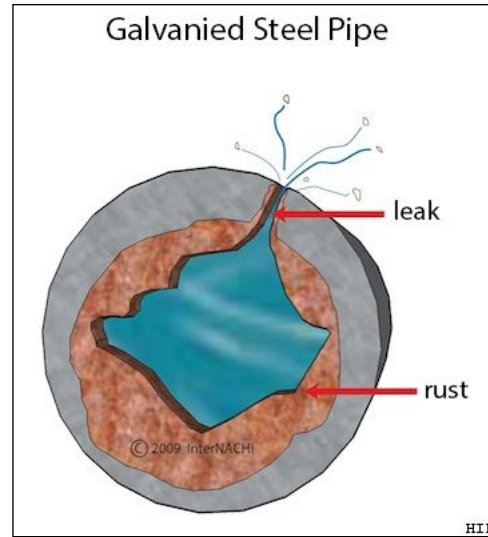
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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All tub shower faucets and spouts should be sealed to help prevent water penetration behind the fixture.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Drains, Wastes, and Vents
-------------------------------------	--------------------------	--------------------------	-------------------------------------	------------------------------

Comments:

B.1. Drain and waste pipes are made of plastic.

B.2. Overflows are not tested.

B.3. The bath tub drains very slow. Mainly at - primary bath

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Water Heating Equipment
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------------

Energy Source:

- Unit #1 water heater is gas.

Capacity:

- The water heater #1 is 50 gallon capacity.
- Water heater(s) is/are located in the attic and provides coverage for the entire home.

Comments:

C.1. Although the Water Heater and the Water Heating Equipment are operating at the time of the inspection, the system has reached or exceeded its normal life expectancy. We recommend further evaluation by a licensed contractor for cost analysis to repair or replace the unit or its components.

C.2. No drip leg or sediment trap for gas line on water heater. This helps prevent trash from clogging jets.

C.3. There is no drip pan for the water heater installed in the garage. It is recommended that if the water heater is installed in the home or attic that a pan be installed and drain to the exterior of the home. If the water heater is installed on the upper level of the garage it should drain to the exterior or at least drain to the lower level of the garage to help prevent the water heater from flooding the home in case of a failure.

C.4. The water heater T&P (Pop-Off) valve drain line is plumbed uphill, therefore was not tested.

C.5. There is an unapproved gas valve installed at the water heater. Although they may not be leaking at the time of inspection they have a high likelihood of leaking when operated.

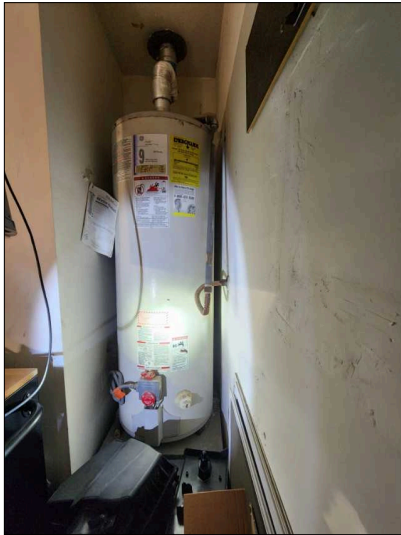
I=Inspected

NI=Not Inspected

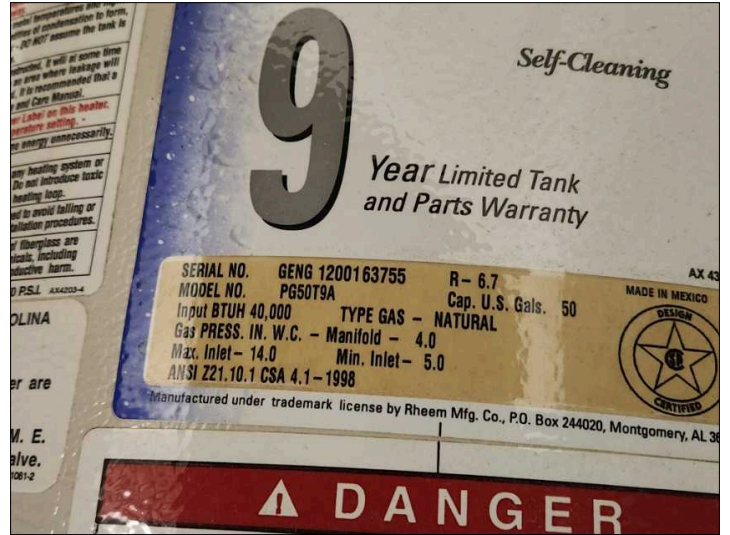
NP=Not Present

D=Deficient

I	NI	NP	D
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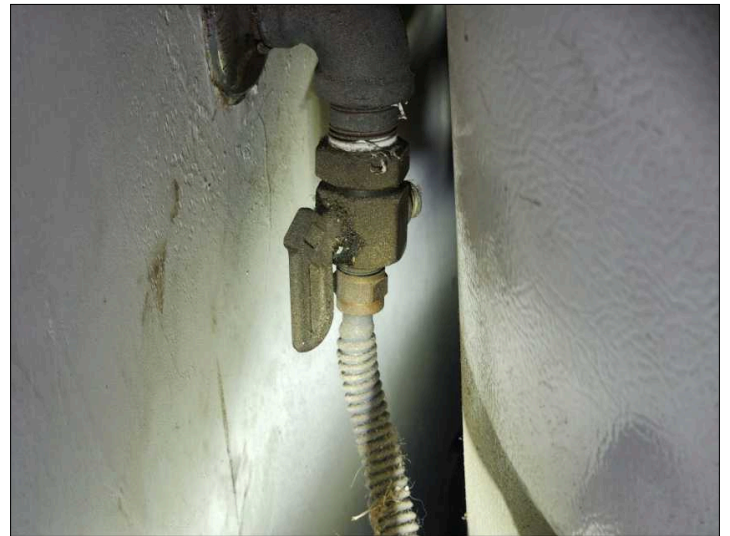
Overview of water heater(s)



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)



Overview of water heater burner compartment



There is an unapproved gas valve installed at the water heater. Although they may not be leaking at the time of inspection they have a high likelihood of leaking when operated.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

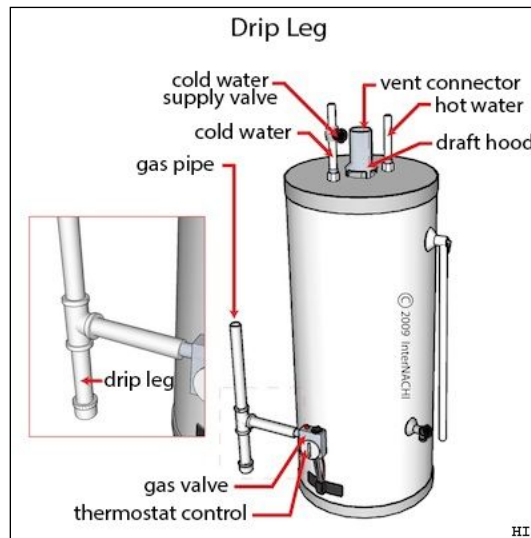
I	NI	NP	D
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No drip leg or sediment trap for gas line on water heater. This helps prevent trash from clogging jets.



There is no drip pan for the water heater installed in the garage. It is recommended that if the water heater is installed in the home or attic that a pan be installed and drain to the exterior of the home. If the water heater is installed on the upper level of the garage it should drain to the exterior or at least drain to the lower level of the garage to help prevent the water heater from flooding the home in case of a failure.



D. Hydro-Massage Therapy Equipment

E. Other

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Dishwashers
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Comments:

A.1. Dishwasher drain line missing high loop or **air gap** in drain line. This helps prevent water from siphoning back into dishwasher from disposal or drain line.



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Food Waste Disposers
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Comments:

B.1. Improper electrical connection at disposal, recommend adding wire clamp at disposal connection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Improper electrical connection at disposal, recommend adding wire clamp at disposal connection.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C. Range Hood and Exhaust Systems
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Comments:

C.1. The range vent is vented to the exterior.

C.2. The range vent is operating as intended, however deficiencies may be listed below if applicable.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Ranges, Cooktops, and Ovens
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Comments:

D.1. Range is gas

D.2. Oven Thermostat to Temperature Reading: 350F / 345-350F

D.3. There is no anti-tip device installed for the oven/range.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Overview of range



Manufacturers Tag. Please visit the following website to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)



Overview of oven temperature

X			
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E. Microwave Ovens

Comments:

E.1. The microwave is operating as intended, however deficiencies may be listed below if applicable.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Overview of Microwave

Manufacturers Tag. Please visit the following websites to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

F.1. Bath and/or laundry exhaust fans operated as intended, however deficiencies may be listed below if applicable.

G. Garage Door Operators

Comments:

G.1. The electric garage door opener did not properly reverse when the manual safety reverse was block tested.

H. Dryer Exhaust Systems

Comments:

H.1. Indications are that the dryer vent is operating as intended. This should be considered a limited inspection as not all dryer vents are easily accessible or visible at the time of the inspection. Dryer vents are inspected for functionality and installation methods only, we are unable to determine if the dryer ducting has any amount of lint build up in it.

I. Other

Comments:

I.1. The refrigerator is operating as intended.

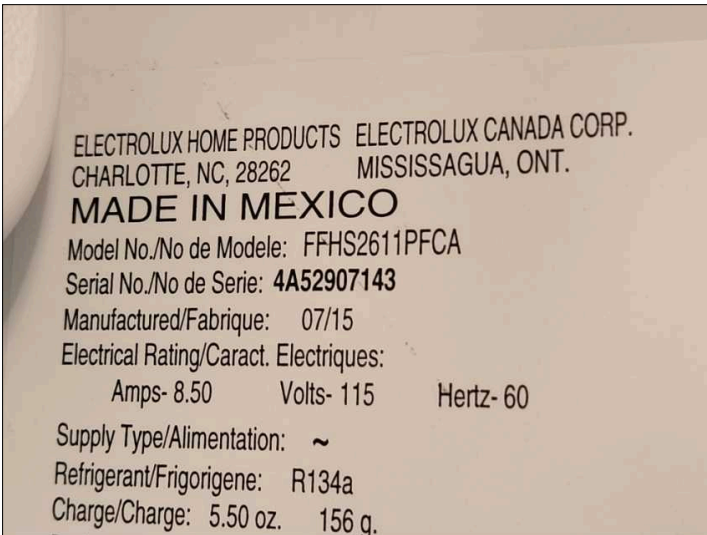
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Manufacturers Tag. Please visit the following websites to find more information regarding the manufacturers date of appliances or to research common problems and repairs for your appliance (Repair-Clinic.com)

Overview of Refrigerator Cooling Temp.



Overview of Freezer Temp.

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

B. Swimming Pools, Spas, Hot Tubs, and Equipment

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal (Septic) Systems
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Sewer Scope Observations
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Observations:

F.1. It is strongly recommended that prior to closing, the buyers have the sewer lateral inspected. Often times, the sewer lateral can be affected in many ways that are not visible during a home inspection and can lead to costly repairs. Damage to the sewer lateral can occur from settling soil, age, blocked or backed up lines and root intrusion from mature trees.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. Chimney Scan
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Comments:

G.1. The National Fire Protection Association (NFPA) and the Chimney Safety Institute of America (CSIA) recommend annual inspections for a safe and efficient chimney. The chimney's ability to draft efficiently is a vital component of building science as the chimney is used to remove damp or stale air from the home regardless of its yearly usage and should be inspected annually for that reason. Inspections are often required by homeowner's associations, insurance companies, and municipal authorities; they're also required when you buy or sell your home. Contact our office today to schedule your level 2 Chimney Inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. Energy Assessment
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Observations:

H.1. An Energy Assessment will provide the consumer and future owner a detailed report about the homes current energy consumption based on the current conditions, current equipment and today's average rates. If you would like a full-home Energy Assessment performed on this property, using the information below, please contact our office.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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H.2. PRIMARY HEATING:

Heating Fuel Type: Natural Gas
 Ducted Heating: Yes
 Heating System Functional: Yes
 Heating System Age: Newer than 15 years
 Heating System Type: Furnace
 Ducting Insulation (If Applicable): Adequate
 Heater Size: _____ BTUs
 Furnace Vent Materials: Metal
 Heat Distribution: N/A
 Is the Heating System a high efficiency unit? No

PRIMARY COOLING:

Cooling System Type: Central Air Conditioner
 Cooling System Functional: Yes
 Cooling System Age: Older than 15 years
 Cooling System Size: 3 Ton

WATER HEATER:

Water Heater Type: Gas - Tank
 Water Heater Functional: Yes
 Water Heater Age: Older than 10 years
 Water Pipe Insulation: Damaged/Inadequate
 Water Heater Size: 50 gallon

STRUCTURE / OTHER:

Main Living Area Ceiling Height: Cathedral Ceilings

ATTIC:

Type: Vented
 Insulation Condition (If Applicable): Damaged / Inadequate
 Insulation Material (If Applicable): Fiberglass
 Insulation Type (If Applicable): Loose Fill
 Estimated Insulation Depth (If Applicable): 0-4 inches

FOUNDATION UNDER MAIN FLOOR SPACE:

Foundation Type: Slab
 Foundation Insulation (If Applicable): N/A

SIDING:

Primary Siding Material: Brick

Most Windows:

Frame Type: Double Pane Non-Metal

Airtightness:

An airtight home maintains desired temperatures without being drafty, on a scale of 1 to 5, how airtight does this home appear?

Level: 2

Visible gaps around exterior doors and windows: None

Existing Weatherstripping: Adequate

Electric Panel:

Is the Electric Panel > or = 200 Amps: Yes

Most Lights:

Light bulb type installed: Incandescent

Appliances:

Dishwasher Age: Older than 10 yrs.

Dishwasher Functional: Yes

Cooking Appliance Age: Older than 10 yrs.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Cooking Appliance (if applicable): Range
 Cooking Appliance Fuel Type (if applicable): Gas
 Cooking Appliance Functional: (if applicable): Yes
 Cooking Appliance Gas Hookup Present: Yes
 Refrigerator Age: Newer than 10 yrs.
 Washing Machine Age: Newer than 10 yrs.
 Clothes Dryer Age: Newer than 10 yrs.
 Dryer Type: Gas
 Dryer Gas Hookup Present: Yes

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I. Other
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Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

STRUCTURAL SYSTEMS		
Page 6 Item: A	Foundations	<p>A.2. Corner pops were noted on one or more corners of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend sealing all cracks to help prevent further deterioration.</p> <p>A.3. Corner chips or breaks were noted on the corner(s) of the foundation. These are usually considered cosmetic in nature unless other movement is noted. Recommend patching or repairing to help support corner above. Mainly at - rear</p>
Page 7 Item: B	Grading & Drainage	<p>B.2. Although there is not the proper 6" drop within 10' of the slab around certain areas of the structure. Indications are that the water is flowing away from the structure and no immediate issues were noted, recommend monitoring and correcting slope as needed.</p>

Page 8 Item: C	Roof Covering Materials	<p>C.2. It is Recommended that a roofer be consulted for further evaluation of the roof covering as well as check for any other repairs that may be needed at that time.</p> <p>C.3. Tree limbs should be kept trimmed at least 5' from roof to help prevent damage to the roof during windy conditions.</p> <p>C.4. There is/was a satellite dish mounted to the roof structure. It is recommended that the Satellite dish be properly mounted at the siding of the home or on a stand-alone base in the yard. Recommend sealing the mounting hardware to help prevent water penetration.</p> <p>C.5. The 90 on the downspout was damaged. Mainly at - front</p> <p>C.6. One or more of the vents and or flashing is unpainted, recommend painting all unpainted vents and flashing to help prevent damage due to UV rays or rust.</p> <p>C.7. There are signs of rusted vents or flashing on the rooftop. We recommend painting or replacing all rusted or deteriorated vents or flashing as needed.</p> <p>C.8. The roof flashing is lifted. Recommend securing all loose or lifted flashing and sealing nails to help prevent water penetration.</p> <p>C.9. There are damaged or missing ridge shingles on the roof, recommend repairs or replacement of damaged ridge shingles.</p> <p>C.10. Due to the excessive granular loss on the ridge of the roof. We recommend further review of the roof system for a better understanding of the present condition. May want to replace all worn ridge shingles to prolong the life of the roof covering.</p> <p>C.11. Due to the excessive granular loss on the roof covering the roof may age prematurely. We recommend further review of the roof system for a better understanding of the present condition.</p> <p>C.12. There are indications that there is deteriorated decking under the roof covering due to a soft spot under the shingles, recommend contacting a roof specialist to evaluate and repair as needed and check entire roof for other issues that may be of concern.</p> <p>C.13. Splash blocks or downspout extensions should be installed to direct water away from foundation.</p> <p>C.14. There is debris in the gutters, recommend cleaning gutters to restore to proper operation.</p>
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		C.15. Improperly installed vent flashing
Page 15 Item: D	Roof Structure and Attic	<p>D.1. Attic stairway not cut properly to the floor, recommend cutting ladder so the ladder is a straight line when in the down position, otherwise it will put undue stress at the hinge and can cause ladder to fail.</p> <p>D.2. The attic pull-down stairs do not close properly, allowing conditioned air to be lost into the attic or attic air into conditioned space of the home.</p> <p>D.3. The insulation has been heavily compressed by storage, age and/or varmints in some areas of the attic and does not meet today's energy requirements, recommend upgrading to today's standards of at least R30.</p> <p>D.4. The purlin should be at least as large as the rafters they support the purlin braces should be no more than 4' apart and purlin braces should not be notched. This is a common occurrence in older homes, however if sagging is noted you may want this evaluated by a contractor or structural engineer as more support may need to be added.</p> <p>D.5. The roof decking was deteriorated, recommend all deteriorated decking be replaced to help prevent further damage and water penetration into home. Mainly at -</p> <p>D.6. Rodent/Pest activity was observed in the attic space. Trails and holes through the insulation is a good indication that rodents have been in the attic at some point. There may have also been indications of fecal matter or an assortment of traps noted in the attic which would allude to the presence of pest activity. The inspector is unable to determine if this is an active or past condition and is beyond the scope of a home inspection. We recommend that a pest control specialist be consulted for a determination of present conditions and possibly performing an exclusion which is closing off all holes or places of entry to help prevent rodent/pest infestation.</p>

Page 19 Item: E	Walls (Exterior)	<p>E.1. Seal all electrical lighting fixtures at wall connection to help prevent water penetration. It is a good idea to leave a small opening at the bottom to allow any water penetrating to escape.</p> <p>E.2. Seal A/C line entry at wall connection to help prevent water penetration.</p> <p>E.3. Settlement cracks were noted in the brickwork. Mainly at - right, rear, left</p> <p>E.4. There is a separation at the brickwork which is an indication of settlement or foundation movement. This may require further attention if other movement is noted. Mainly at - rear</p> <p>E.5. Recommend sealing between the trim and brickwork to help prevent water penetration. Mainly at - front</p> <p>E.6. Seal gaps and holes in soffit to help prevent water penetration and rodent intrusion. Mainly at - front patio</p> <p>E.7. There is loose soffit material at the eave, recommend securing to help prevent damage and water penetration. Mainly at - front</p> <p>E.8. The siding is closer than recommended or in contact with the roof. It is recommended that there be a separation to help prevent water from wicking up into the siding material causing deterioration.</p> <p>E.9. There is loose siding on the home, recommend securing all loose siding to help prevent damaged and water penetration. Mainly at - right</p> <p>E.10. There are signs of growth on exterior brickwork/siding, recommend cleaning to help prevent deterioration.</p>
Page 23 Item: F	Walls (Interior)	<p>F.1. There is evidence of previous patch work and or painting on the interior finishes. Recommend contacting homeowner for more information. Mainly at - primary bedroom</p> <p>F.2. There is damage to the drywall, recommend repairs as needed. Mainly at - front entryway</p> <p>F.3. Settlement cracks were noted in the drywall. Mainly at - primary bedroom, primary closet</p> <p>F.4. Settlement cracks were noted at the tape joint in the drywall. Mainly at - dining room</p> <p>F.5. Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - pantry</p>

Page 25 Item: G	Ceilings	<p>G.1. Settlement cracks were noted in the drywall. These are generally considered cosmetic only, unless otherwise noted. Mainly at - living room, hallway</p> <p>G.2. Settlement cracks were noted at the corner bead/tape joint in the drywall. Mainly at - living room, kitchen</p> <p>G.3. There is damage to the drywall, recommend repairs as needed. Mainly at - dining room</p> <p>G.4. There are minor stains on the ceiling. Unable to determine condition of the underlying materials. Mainly at - front left bedroom</p>
Page 27 Item: H	Floors	<p>H.1. Cracks were noted in the pavement. These are cosmetic in nature at this time. Recommend sealing to help prevent further deterioration. Mainly at - garage</p> <p>H.2. Cracks were noted in the pavement. The pavement is unlevel and can be a tripping hazard if not corrected, recommend repairs. Mainly at - driveway, sidewalk, back patio</p> <p>H.3. Uneven pavement was noted, recommend repairs to help prevent tripping. Mainly at - driveway, sidewalk</p> <p>H.4. There are gaps noted in the wood flooring. Mainly at - living room</p>
Page 29 Item: I	Doors (Interior and Exterior)	<p>I.1. The garage door self-closing hinges are not installed.</p> <p>I.2. The door is in need of refinishing. Mainly at - garage door</p> <p>I.3. There is pet damage on the door. Mainly at - back door</p> <p>I.4. The garage entry to the home is not the proper 20 minute fire rated door. The door between the garage and residence shall be equipped with solid wood doors or solid or honeycomb core steel doors not less than 1-3/8" in thickness. If glass is present it must meet the minimum fire protection rating and follow the requirements as set forth in NFPA 80 - Standard for Fire Doors and Fire Windows.</p> <p>I.5. Garage door is dented.</p> <p>I.6. Garage door is cracked or split.</p> <p>I.7. Garage door hardware is loose.</p>

Page 31 Item: J	Windows	<p>J.1. Sealant is needed around various windows between the window framing and exterior brickwork or trim to help prevent water penetration, recommend checking all windows for proper sealant.</p> <p>J.2. The home contains cord drawn window coverings such as shades, blinds, curtains, drapery or other cord-operated products, which in recent years have been deemed a safety hazard by the Consumer Product Safety Commission (CPSC). It is recommended that corded window coverings be replaced with non-corded gravity type window coverings.</p>
Page 32 Item: L	Fireplace and Chimney	<p>L.1. The fireplace firebox and flue are dirty, recommend cleaning.</p> <p>L.2. There are cracks present in the materials surrounding the fireplace firebox. Recommend repairs to seal the finished materials to prevent further deterioration.</p>
Page 33 Item: N	Other	<p>N.2. There are indications of water penetration to the ceiling evident mainly by staining. Unable to determine condition of the underlying materials. Mainly at - living room, kitchen</p> <p>N.3. Checked water stain with a moisture meter and found it to be at a normal level. Unable to determine condition of the underlying materials. Mainly at - living room</p> <p>N.4. Wood or other debris is stacked against the house. Recommend all wood or other materials be separated from the structure to help prevent conducive conditions for wood destroying insects.</p> <p>N.5. Although fences are not inspected it was noted that the fence is showing some signs of damage or deterioration.</p>

ELECTRICAL SYSTEMS

Page 35 Item: A	Service Entrance and Panels	<p>A.1. There is no antioxidant on main aluminum feeds to the panel box. This should be used to help prevent overheating.</p> <p>A.2. There is an improper ground rod clamp, it is recommended that ground wires be secured with the proper acorn style clamp for proper protection.</p> <p>A.3. The electrical system only has one ground rod installed, it is now recommended that two ground rods be installed for your protection and the ground rods should be located at least 6' apart.</p>
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<p>Page 37 Item: B</p>	<p>Branch Circuits, Connected Devices, and Fixtures</p>	<p>B.1. Arc-Fault Circuit Interrupters (AFCI's) were <i>not</i> noted in all the recommended areas at the time of inspection according to present codes. It is now recommended that Arc-Fault Circuit Interrupters be installed to provide coverage for the following areas Kitchens (microwaves, dishwashers, garbage disposals), family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, recreation rooms, closets, hallways, laundry areas, and 250V dryer receptacles. This may not have been required at the time of construction, but is the current standard.</p> <p>B.2. The GFCI (Ground Fault Circuit Interrupter) electrical outlet does not trip when tested. Mainly at - front</p> <p>B.3. It is now required that inspectors report on the absence of tamper resistant receptacles in a home. TR receptacles should be installed at all locations where receptacles are less than five and a half feet above the walking surface. TR receptacles are typically found in new construction or a recently renovated home.</p> <p>B.4. Recommend replacing all wet area exterior receptacle covers with the code approved bubble style cover.</p> <p>B.5. Switch plate is broken or missing, recommend replacing covers to help prevent electrical shock. Mainly at - primary bedroom, attic</p> <p>B.6. The light fixture is hanging by its wires. Mainly at - left</p>
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<p>Page 39 Item: A</p>	<p>Heating Equipment</p>	<p>A.1. There is no drip leg or sediment trap for gas line on the furnace. This helps prevent trash from clogging jets.</p> <p>A.2. The flexible gas line for the gas-fired furnace passes through the air handler which could cause damage to the gas line and a possible leak this is a life safety issue and should be repaired immediately, it is recommend that the gas line be hard piped out of the unit to help prevent damage to the flex line.</p>
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Page 41 Item: B	Cooling Equipment	<p>B.1. Although the system and the system components are operating at the time of the inspection, the system has reached or exceeded its normal life expectancy. We recommend further evaluation by a licensed contractor for cost analysis to repair or replace the unit or its components.</p> <p>B.2. The insulation is missing or damaged on the A/C suction line at the condensing unit. Recommend repair or replacement to prevent cooling loss from exterior temperatures.</p> <p>B.3. The insulation on the A/C condensation or low pressure refrigerant line is missing at the evaporator unit. Recommend insulating to prevent moisture damage to ceiling surfaces.</p> <p>B.4. The A/C unit is not operating properly, evident by a low temperature differential of :14 degrees. Recommend consulting an A/C and Heating specialist for further evaluation/repair and to check for other repairs that may be needed at that time.</p>
Page 43 Item: C	Duct system, Chases, and Vents	<p>C.2. Registers are showing signs of growth, recommend cleaning vents and ducts as needed. Air sampling will most likely not identify microbial growth, however a swab or tape sample will determine if there is microbial growth.</p>

PLUMBING SYSTEM

Page 44 Item: A	Water Supply System and Fixtures	<p>A.2. At least one anti-siphon is missing on an exterior faucet, recommend anti-siphon devices be installed on all exterior water faucets.</p> <p>A.3. There is a leak at the valve stem on the exterior water faucet, recommend tightening packing nut, adding packing cord or replacing packing if needed. Mainly at - left</p> <p>A.4. The faucet handle is loose. Mainly at - hall bath</p> <p>A.5. The house is plumbed with the majority of the original galvanized pipe. Galvanized piping has a life expectancy of 40 to 50 years depending on condition of water and origin of the piping. Galvanized pipes may need future repair or replacement.</p> <p>A.6. The hot and cold water faucet controls are reversed. The cartridge or supply lines may be reversed, this often causes hot and cold water to be reversed at the faucet, recommend repairs to help prevent scalding. Location - kitchen</p> <p>A.7. All tub shower faucets and spouts should be sealed to help prevent water penetration behind the fixture.</p> <p>A.8. The shower diverter in the bath does not transfer water completely from the tub to the shower. Mainly at - primary bath</p> <p>A.9. Recommend sealing the tub/shower surround to help prevent water penetration to underlying materials. Mainly at - hall bath, primary bath</p> <p>A.10. Rust has been noted in the tub, recommend repairs to help prevent deterioration. Mainly at - primary bath</p> <p>A.11. Unapproved gas valves were noted, recommend changing all unapproved gas valves. These valves are designed with a spring at the bottom of the valve which weaken over time causing gas to leak when operated. Although they may not be leaking at the time of inspection they have a high likely hood of leaking when operated. Mainly at - gas meter</p> <p>A.12. There are uninsulated water supply lines routed through the attic. Recommend all uninsulated supply lines be properly insulated to help prevent damage to the pipes in freezing weather.</p>
Page 48 Item: B	Drains, Wastes, and Vents	B.3. The bath tub drains very slow. Mainly at - primary bath

Page 49 Item: C	Water Heating Equipment	<p>C.1. Although the Water Heater and the Water Heating Equipment are operating at the time of the inspection, the system has reached or exceeded its normal life expectancy. We recommend further evaluation by a licensed contractor for cost analysis to repair or replace the unit or its components.</p> <p>C.2. No drip leg or sediment trap for gas line on water heater. This helps prevent trash from clogging jets.</p> <p>C.3. There is no drip pan for the water heater installed in the garage. It is recommended that if the water heater is installed in the home or attic that a pan be installed and drain to the exterior of the home. If the water heater is installed on the upper level of the garage it should drain to the exterior or at least drain to the lower level of the garage to help prevent the water heater from flooding the home in case of a failure.</p> <p>C.4. The water heater T&P (Pop-Off) valve drain line is plumbed uphill, therefore was not tested.</p> <p>C.5. There is an unapproved gas valve installed at the water heater. Although they may not be leaking at the time of inspection they have a high likelihood of leaking when operated.</p>
APPLIANCES		
Page 52 Item: A	Dishwashers	A.1. Dishwasher drain line missing high loop or air gap in drain line. This helps prevent water from siphoning back into dishwasher from disposal or drain line.
Page 52 Item: B	Food Waste Disposers	B.1. Improper electrical connection at disposal, recommend adding wire clamp at disposal connection.
Page 53 Item: D	Ranges, Cooktops, and Ovens	D.3. There is no anti-tip device installed for the oven/range.
Page 55 Item: G	Garage Door Operators	G.1. The electric garage door opener did not properly reverse when the manual safety reverse was block tested.