

charles michael  
**frusterio**  
DESIGNING FINE HOMES AND RENOVATIONS

Presents Custom Home Documents

MONARCH CUSTOM HOMES, LLC  
TAMY LANE - LOT 17A  
BLUE BONNET HILLS  
BRENHAM, TEXAS

**IMPORTANT INFORMATION:  
PLEASE READ CAREFULLY  
BEFORE STARTING CONSTRUCTION**

IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLY WITH AND ADAPT THIS PLAN TO SATISFY THE APPLICATION INTERNATIONAL RESIDENTIAL CODE (IRC) AND ENERGY CODE REQUIREMENTS AS WELL AS LOCAL BUILDING CODES WHERE THIS HOME PLAN IS CONSTRUCTED AND ADAPT THIS PLAN TO ITS ACTUAL SITE LOCATION.

THIS HOME AND ITS DESIGN MUST BE CONSTRUCTED BY A LICENSED AND REPUTABLE BUILDER WITH EXPERIENCE IN CONSTRUCTING THIS TYPE OF HOME.

ALL SUB-CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK REQUIRED. FRUSTERIO DESIGN, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN.

IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW AND PERFORM ALL DUE DILIGENCE ON THIS PLAN AND NOTIFY FRUSTERIO DESIGN, INC. OF ANY CONCERNS PRIOR TO BEGINNING CONSTRUCTION.

THE SELECTION AND CONDITION OF LUMBAR USED IN CONSTRUCTION MAY VARY WIDELY. AS DOES THE QUALITY OF THE WORKMANSHIP. NEITHER FRUSTERIO DESIGN, INC. OR ITS MEMBERS HAVE KNOWLEDGE OF THE QUALITY OF THE WORKMANSHIP OR CONSTRUCTION METHODS AND PRACTICES USED ON ANY CONSTRUCTION PROJECT AND IS THEREFORE HELD HARMLESS FROM THE DESIGN OR PERFORMANCE OF THE LUMBAR IN COMPLETED STRUCTURES.

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ANY STRUCTURAL & FLOOR JOIST NOTATION ON THIS PLAN IS INTENDED FOR PURPOSES OF DESIGN ONLY & IN NO WAY INDICATES FINAL STRUCTURAL REQUIREMENTS FOR LOAD BEARING LOCATIONS WHICH ARE DESIGNED BY OTHERS.

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**IMPORTANT NOTES ON HOME APPEARANCE:**

CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTIONS.

SCALE ALL STUCCO DETAILS FROM THE ELEVATION DRAWINGS.

REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.

NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.

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LOCATION IS IN VIOLATION OF  
PLAN COPYRIGHT

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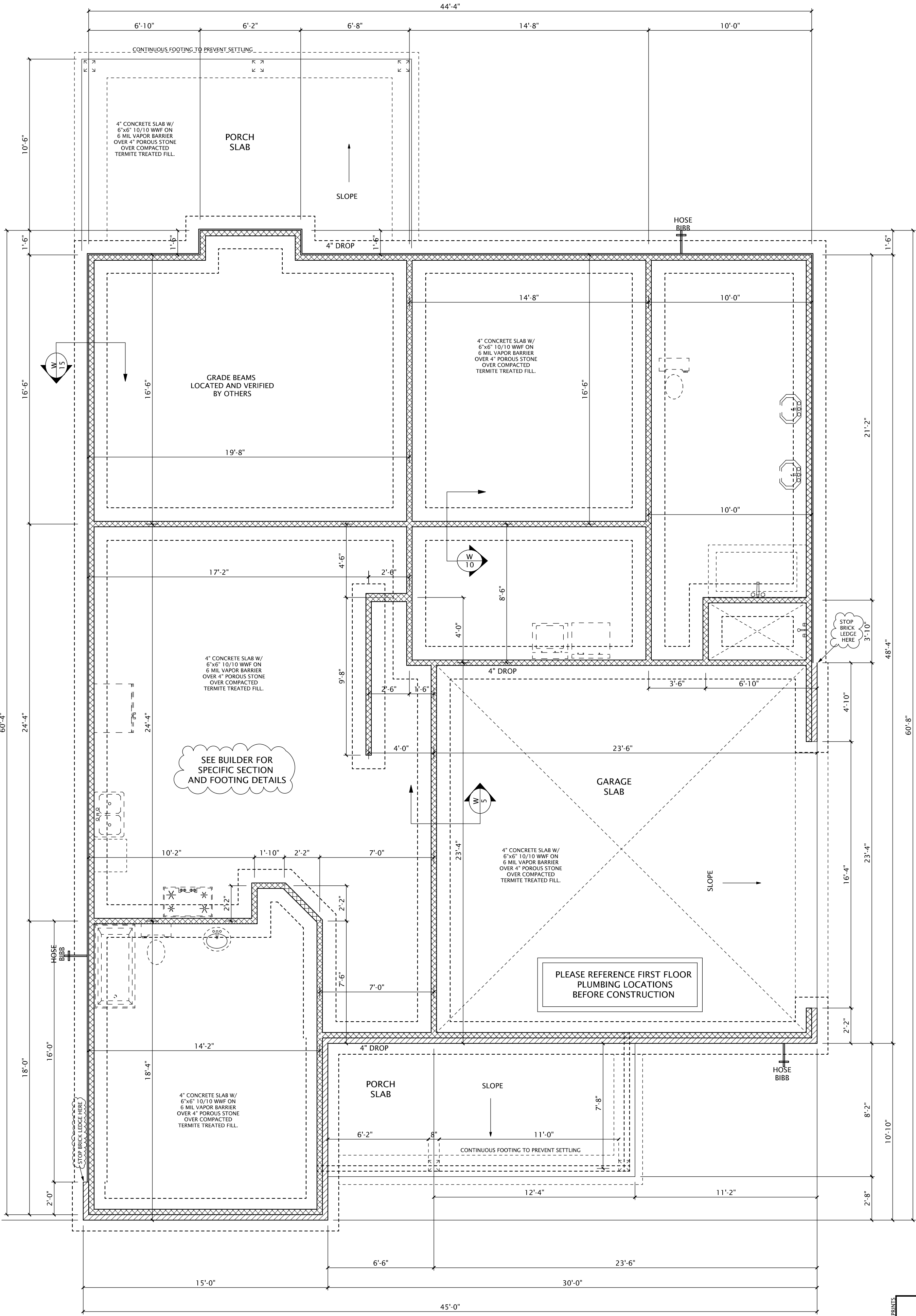
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FLASH ALONG ALL BRICK CHIMNEY STACKS AT ROOF AGAINST FRAMING STACK AND BRICK ABOVE FLASHING.

**"BIRDS EYE" ROOF VIEW LAYOUT CONSTRUCTION SHEET**

SCALE: 1/4" = 1'-0"



**FOUNDATION / SLAB DETAIL CONSTRUCTION SHEET**

SCALE: 1/4" = 1'-0"

MODIFY TO POST-TENSION SLAB BY OTHERS IF REQUIRED

DIMENSIONS TAKEN FROM BRICK LEDGE WHERE APPLICABLE DETERMINE PRIOR TO CONSTRUCTION SEE BUILDER

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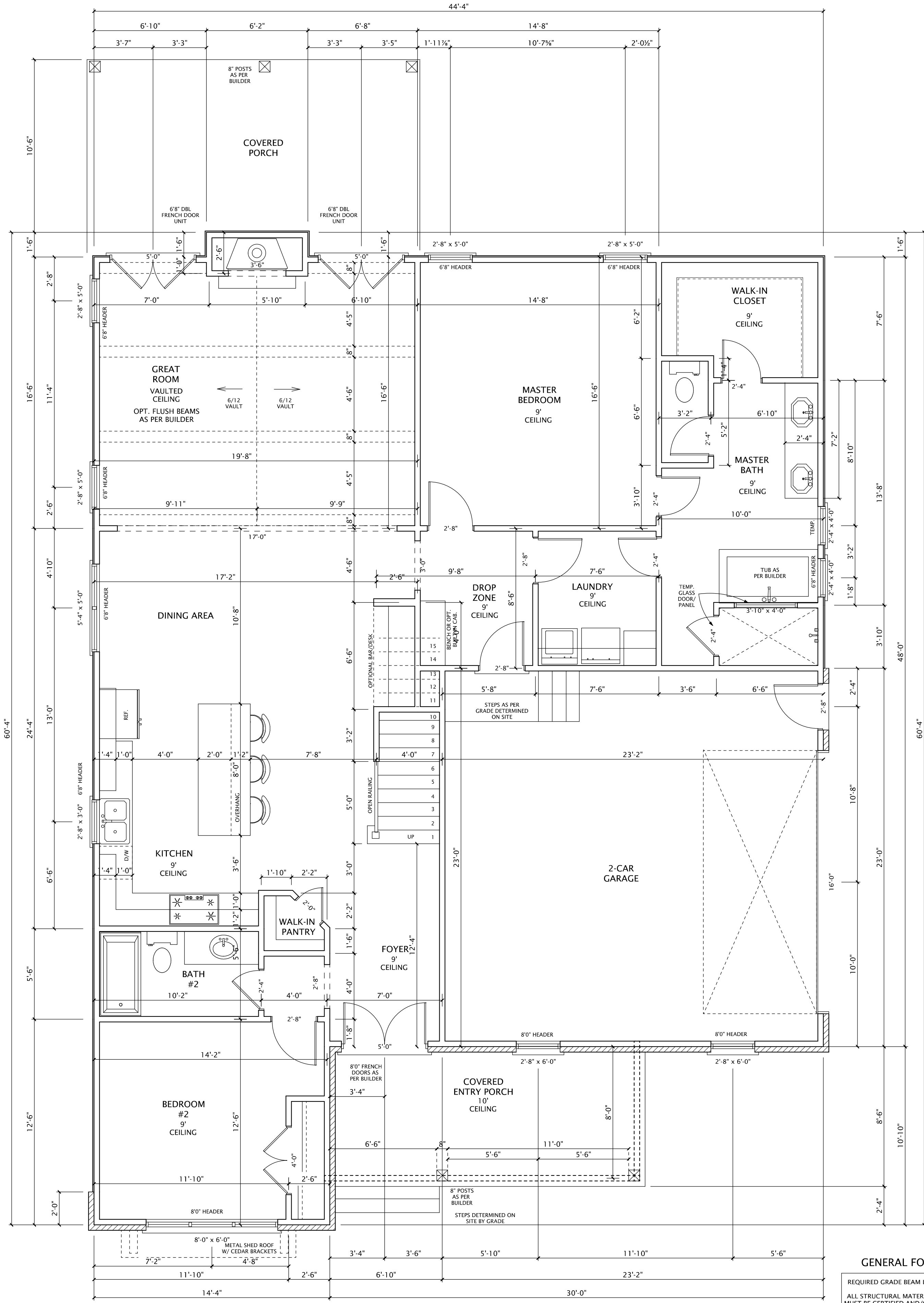
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QUESTIONS ON THIS PLAN 866-225-8111

MONARCH CUSTOM HOMES, LLC / TAMY LANE LOT 17A / BLUE BONNET HILLS / BRENNHAM, TX  
JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS  
DESIGN DATE: December 17, 2020  
PLOT TIME: 06:33 AM  
SHEET # /

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FIRST FLOOR DETAIL CONSTRUCTION SHEET

SCALE: 1/4" = 1'-0"

AREAS (FRAMING)	
FIRST FLOOR	1,758 sq ft
SECOND FLOOR	1,004 sq ft
TOTAL LIVING:	2,762 sq ft

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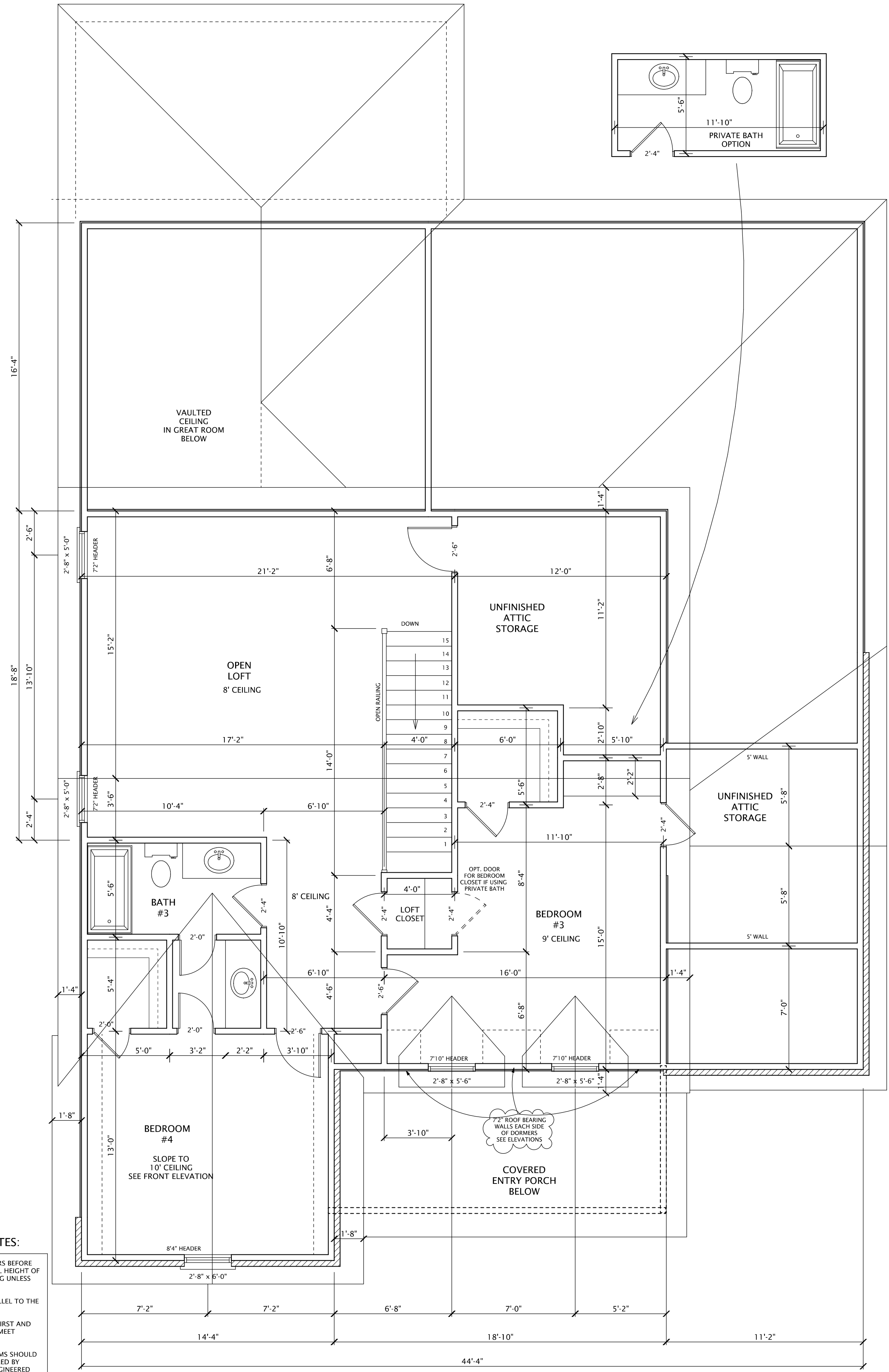
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SECOND FLOOR DETAIL CONSTRUCTION SHEET

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BY WISDOM A HOUSE IS BUILT, AND THROUGH UNDERSTANDING, IT IS ESTABLISHED - PROVERBS 24:3

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JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS

DESIGN DATE: December 16, 2020

PLOTTING TIME: 03:13 PM

SHEET # /

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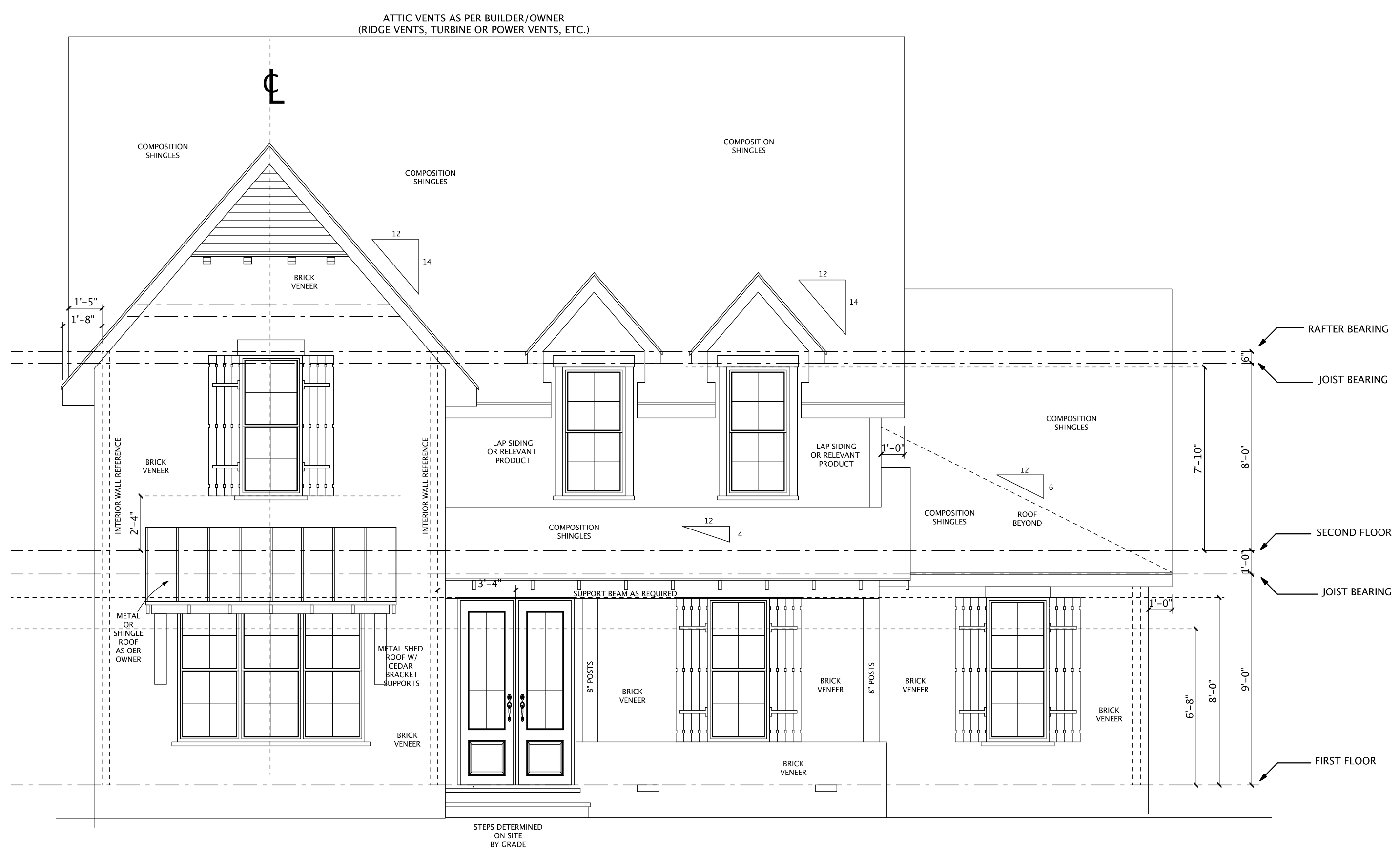
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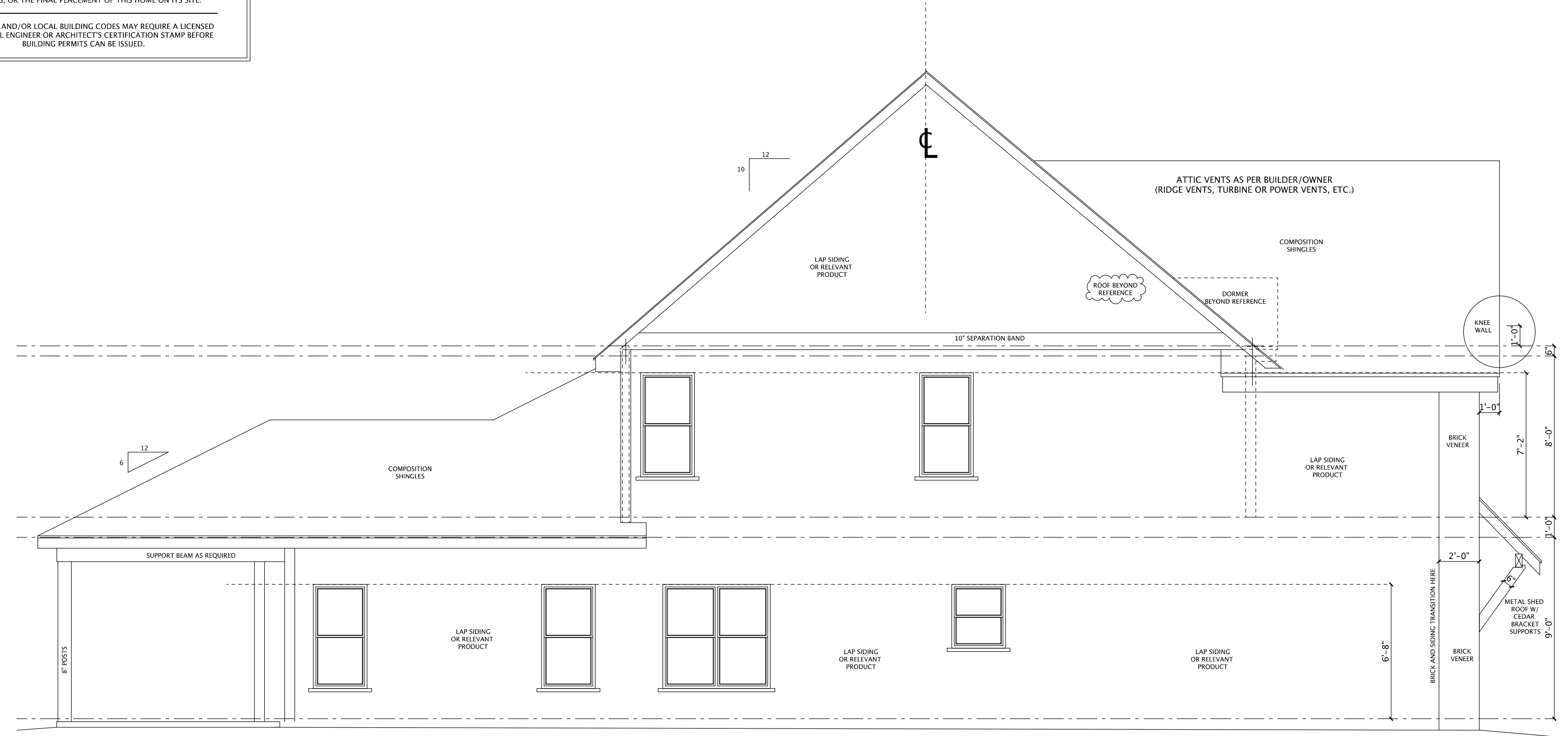
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MONARCH CUSTOM HOMES, LLC  
TAMY LANE - LOT 17A  
BLUE BONNET HILLS  
BRENNHAM, TEXAS**  
\*\*\*\*\*  
**PROJECTS ONLY.  
USE FOR BUILD ON ANY OTHER  
LOCATION IS IN VIOLATION OF  
PLAN COPYRIGHT**  
\*\*\*\*\*



**FRONT ELEVATION DETAIL**  
SCALE: 1/4" = 1'0"



**LEFT ELEVATION DETAIL**  
SCALE: 1/4" = 1'0"

**GENERAL FOUNDATION NOTES:**

REQUIRED GRADE BEAM LOCATIONS DETERMINED BY OTHERS.  
ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST BE CERTIFIED AND/OR DESIGNED BY THE MANUFACTURER & BY A LICENSED STRUCTURAL ENGINEER.

ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER AND BY A LICENSED STRUCTURAL ENGINEER.

OUTER EDGES OF FOOTINGS SHALL NOT BE POURED WITHIN 20'-0" OF THE EDGE OF ANY FILL SLOPE. BOTTOM OF ALL FOOTINGS SHOULD BE 30" BELOW GRADE OR MEET ALL LOCAL BUILDING CODE REQUIREMENTS.

PLEASE REFERENCE FIRST FLOOR PLUMBING LOCATIONS BEFORE CONSTRUCTION.

**IMPORTANT CARPENTER NOTES:**

SET ALL DORMERS, KNEE WALLS AND ROOF RAFTERS BEFORE FRAMING INTERIOR ATTIC ROOMS. A MINIMUM WALL HEIGHT OF 5' 0" IS REQUIRED. SLOPE UP TO 9" OF FLAT CEILING UNLESS OTHERWISE INDICATED.

DOUBLE JOIST ALL NON-LOAD BEARING WALLS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.

BASEMENT WALL SUPPORTING LOADS FROM THE FIRST AND SECOND FLOOR MUST BE CONSTRUCTED TO MEET INTERNATIONAL RESIDENTIAL CODES.

ENGINEERED LAMINATED BEAMS AND FLOOR SYSTEMS SHOULD BE DESIGNED, ENGINEERED AND MANUFACTURED BY GEORGIA-PACIFIC, JOSE CASCARE, OR OTHER ENGINEERED PRODUCT MANUFACTURER.

REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS.  
IMPORTANT: REFERENCE ALL EXTERIOR FRAMING WITH "FRONT PROPORTIONS & DETAIL" SHEET FOR ELEVATION PROPORTIONS.

PLACE ALL HEADERS AT THE TOP AND SCAB DOWN TO WINDOW HEIGHT.

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DO NOT ISSUE BUILDING PERMIT ON THIS PLAN WITHOUT COPYRIGHT LOGO STAMP. UNAUTHORIZED USERS OF THIS HOME PLAN WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW THAT PROTECTS THE USE OF THIS DOCUMENT.

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SOUTHERN LIVING IDEA

AI American Institute of Building Design  
PROFESSIONAL MEMBER  
BY WISDOM A HOUSE IS BUILT, IT'S ESTABLISHED - PROVERBS 24:3

QUESTIONS ON THIS PLAN  
866-225-8111

MONARCH CUSTOM HOMES, LLC / TAMY LANE  
LOT 17A / BLUE BONNET HILLS / BRENNHAM, TX

JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS

DESIGN DATE: December 17, 2020

PLOTTING TIME: 06:13 AM

SHEET # /

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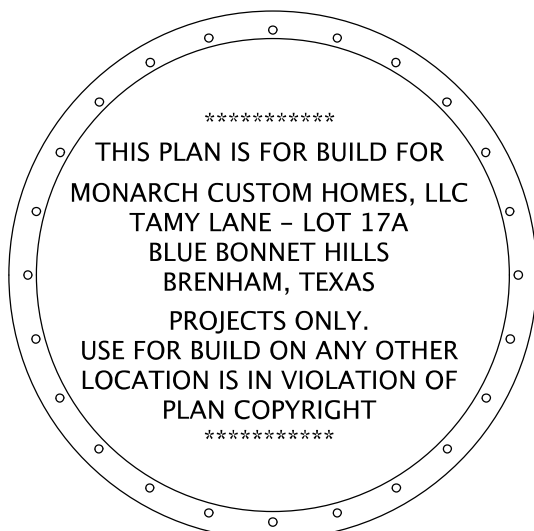
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**IMPORTANT NOTES  
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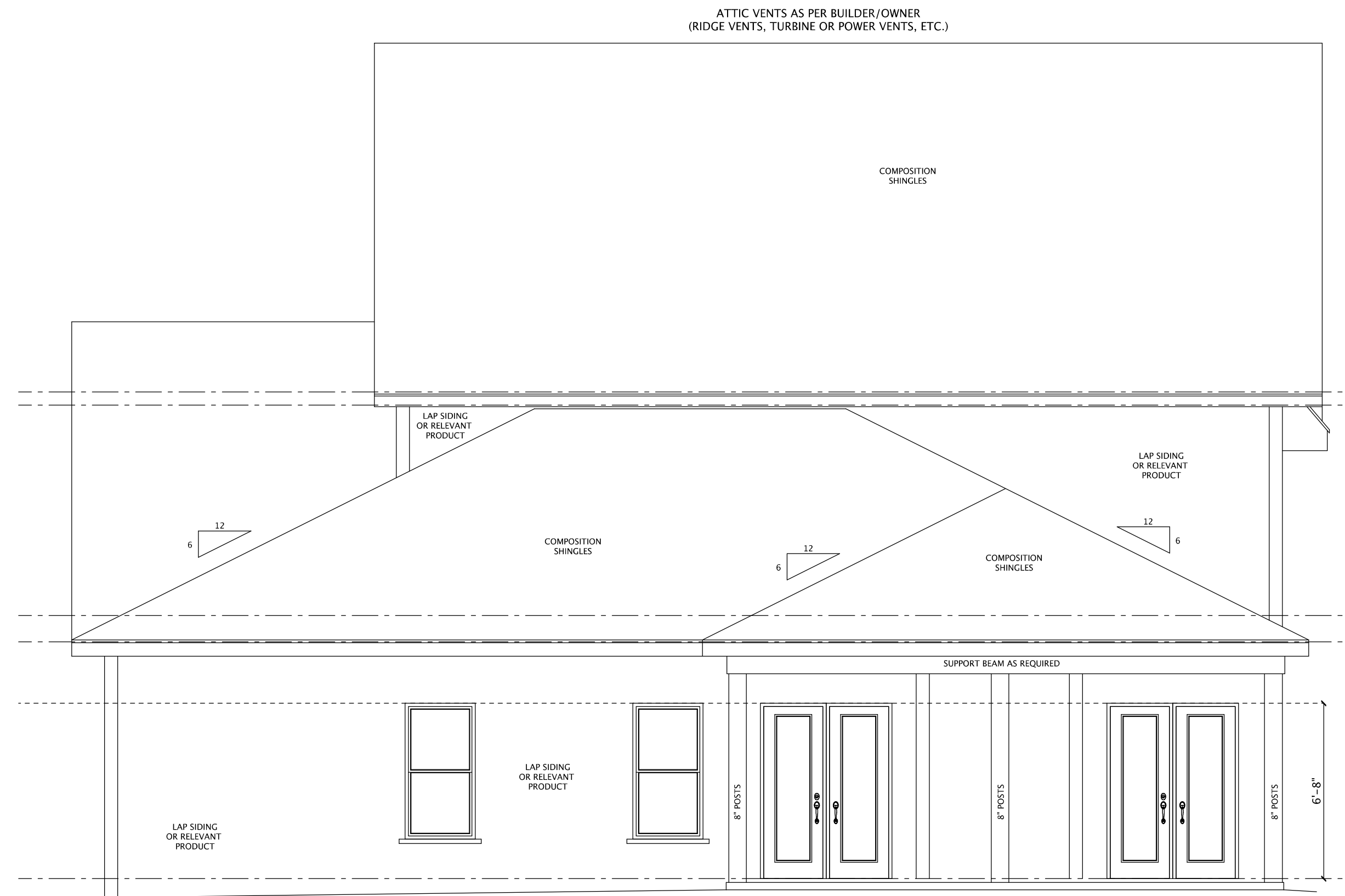
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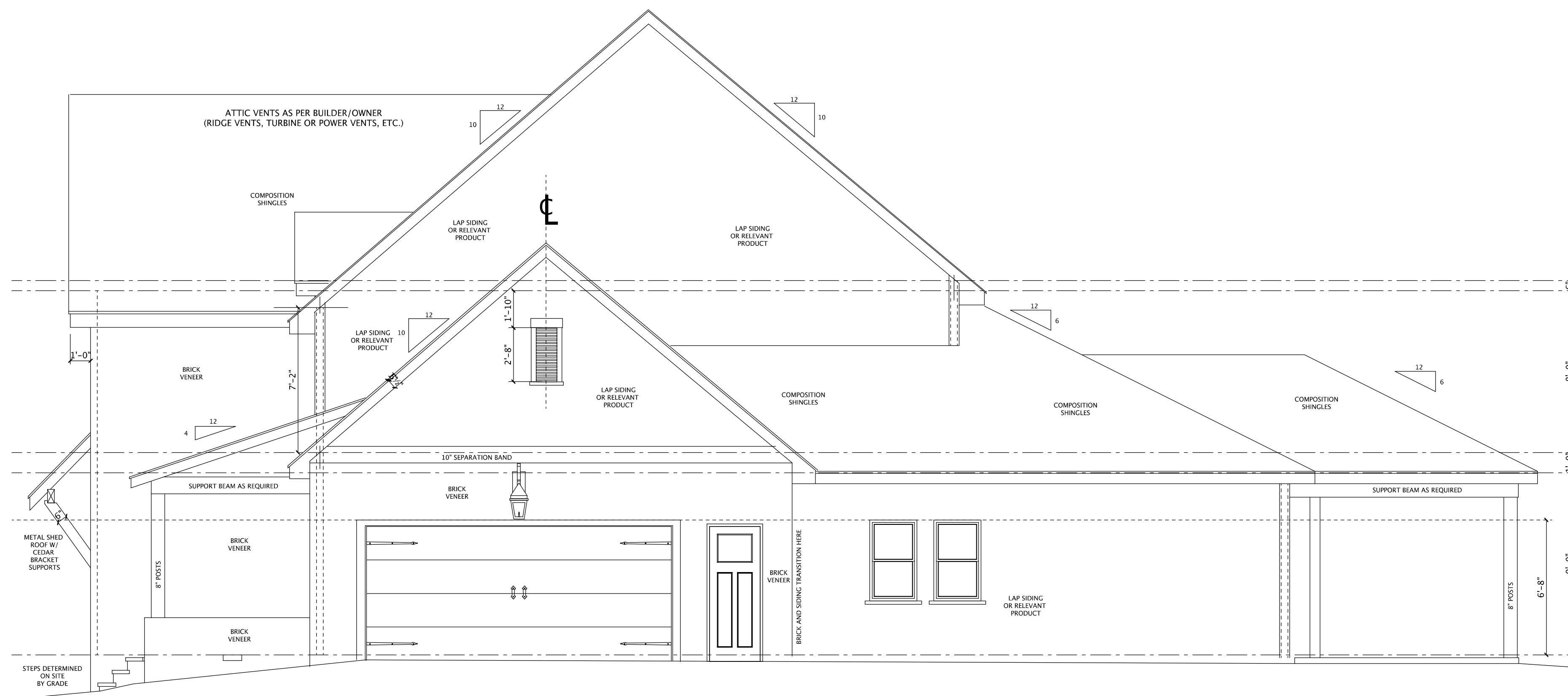
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**REAR ELEVATION DETAIL**  
SCALE: 1/4" = 1'0"



**RIGHT ELEVATION DETAIL**  
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PROFESSIONAL MEMBER  
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**frusterio**  
FRUSTERIO DESIGN, INC.  
FRUSTERIO.COM  
SOUTHERN LIVING IDEA HOUSE

QUESTIONS ON THIS PLAN  
866-225-8111

MONARCH CUSTOM HOMES, LLC / TAMY LANE  
LOT 17A / BLUE BONNET HILLS / BRENNHAM, TX

JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS

DESIGN DATE: December 17, 2020

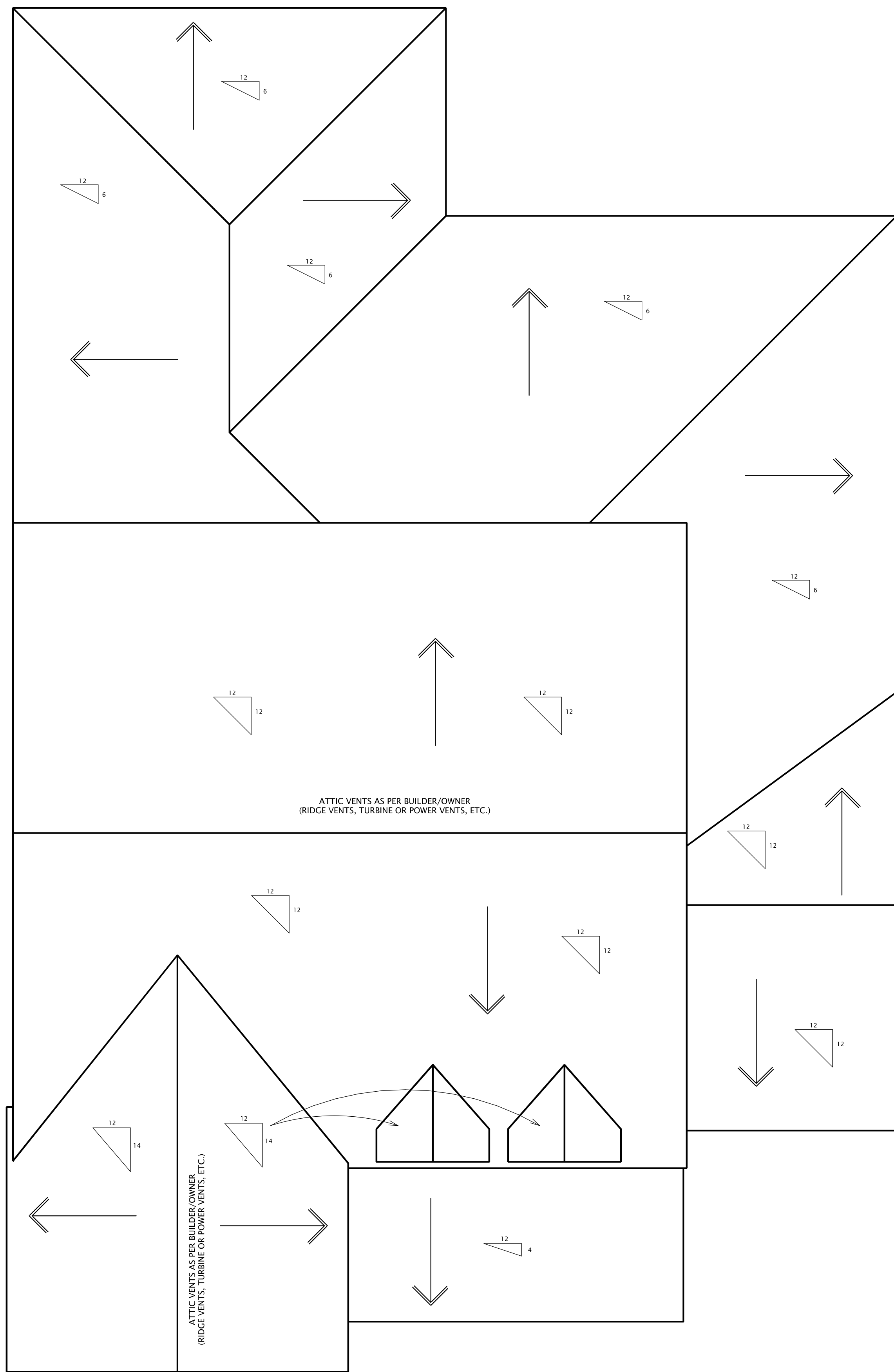
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"BIRDS EYE" ROOF VIEW LAYOUT CONSTRUCTION SHEET  
SCALE: 1/4" = 1'-0"

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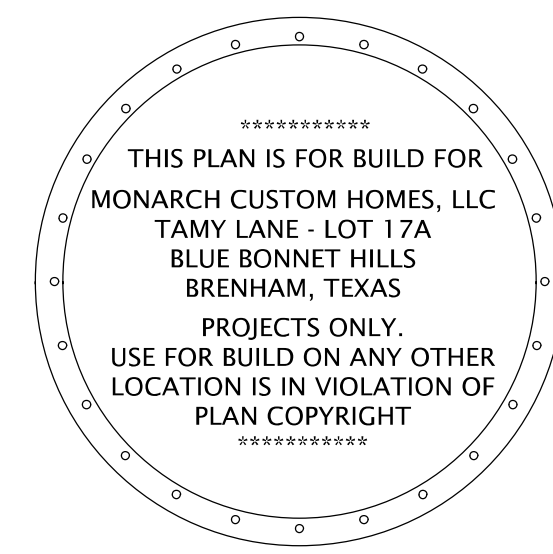
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BUILDING PERMIT \*\*\*\*\* COPYRIGHT WARNING  
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BY WISDOM A HOUSE IS BUILT, AND THROUGH UNDERSTANDING IT IS ESTABLISHED - PROVERBS 24:3

frusterio.com  
FRUSTERIO.COM  
DESIGNER OF THE SOUTHERN LIVING IDEA HOUSE

QUESTIONS ON THIS PLAN 866-225-8111

MONARCH CUSTOM HOMES, LLC / TAMY LANE LOT 17A / BLUE BONNET HILLS / BRENHAM, TX  
JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS

DESIGN DATE: December 16, 2020

PLOTTING TIME: 03:16 PM

SHEET # /

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THIS HOME AND ITS DESIGN MUST BE CONSTRUCTED BY A LICENSED AND REPUTABLE BUILDER WITH EXPERIENCE IN CONSTRUCTING THIS TYPE OF HOME.

ALL SUB-CONTRACTORS USED IN THE CONSTRUCTION OF THIS HOME MUST BE LICENSED WITH THE STATE AND QUALIFIED TO PERFORM THE WORK REQUIRED. FRUSTERIO DESIGN, INC. ASSUMES NO LIABILITY FOR ANY ERRORS IN THIS PLAN.

IT IS THE RESPONSIBILITY OF THE BUILDER TO REVIEW AND PERFORM ALL DUE DILIGENCE ON THIS PLAN AND NOTIFY FRUSTERIO DESIGN, INC. OF ANY CONCERNS PRIOR TO BEGINNING CONSTRUCTION.

THE SELECTION AND CONDITION OF LUMBER USED IN CONSTRUCTION MAY VARY WIDELY, AS DOES THE QUALITY OF THE WORKMANSHIP. NEITHER FRUSTERIO DESIGN, INC. OR ITS MEMBERS HAVE KNOWLEDGE OF THE QUALITY OF THE WORKMANSHIP OR CONSTRUCTION METHODS AND PRACTICES USED ON ANY CONSTRUCTION PROJECT AND IS THEREFORE HELD HARMLESS FROM THE DESIGN OR PERFORMANCE OF THE LUMBER IN COMPLETED STRUCTURES.

ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST MEET CURRENT INT CODE REQUIREMENTS, CERTIFIED & DESIGNED BY THE MANUFACTURER OR BY A LICENSED STRUCTURAL ENGINEER.

ANY STRUCTURAL & FLOOR JOIST NOTATION ON THIS PLAN IS INTENDED FOR PURPOSES OF DESIGN ONLY & IN NO WAY INDICATES FINAL STRUCTURAL REQUIREMENTS FOR LOAD BEARING LOCATIONS WHICH ARE DESIGNED BY OTHERS.

ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER OR STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

ASSESSMENTS & SETBACKS AS DETERMINED BY A LICENSED SURVEYOR. IT IS RECOMMENDED THAT A CERTIFIED STRUCTURAL ENGINEER REVIEW THE FRAMING CONSTRUCTION TO VERIFY STRUCTURAL INTEGRITY.

THESE PLANS DO NOT SHOW OR SUGGEST FINAL REQUIRED CONSTRUCTION PRACTICES.

**SITE REQUIREMENTS**

THESE PLANS ARE FOR UNIVERSAL CONDITIONS & DO NOT ADDRESS SPECIFIC SITE REQUIREMENTS. IT IS RECOMMENDED THAT SOIL CONDITIONS AT SITE BE SAMPLED & TESTED BY A COMPETENT SOILS TESTING LABORATORY AND, IF NECESSARY, FOUNDATION PLANS BE MODIFIED BY A STRUCTURAL ENGINEER WHO IS FAMILIAR WITH THE BUILDING SITE CONDITIONS & BE BASED ON RECOMMENDATIONS OF THE SOILS TESTING LABORATORY.

COMPARE DIMENSIONS W/1ST FLOOR AND VERIFY ALL DIMENSIONS, INCLUDING COMPARISON OF FLOOR PLANS AND FOUNDATION TO INSURE ACCURACY PRIOR TO THE BEGINNING OF CONSTRUCTION. TO THE BEST OF HIS KNOWLEDGE, THE DESIGNER HAD PREPARED THESE PLANS TO COMPLY WITH THE CLIENT'S SPECIFICATIONS AND GENERAL BUILDING CODES AT THE TIME. ALTHOUGH EVERY REASONABLE EFFORT HAS BEEN MADE TO AVOID ERRORS, OMISSIONS, AND MISTAKES, THE CONTRACTOR AND/OR CLIENT SHALL VERIFY ALL CONDITIONS, DIMENSIONS, DETAILS AND SPECIFICATIONS PRIOR TO CONSTRUCTION. THE DESIGNER WILL NOT BE LIABLE FOR HUMAN ERROR AFTER CONSTRUCTION BEGINS.

IT IS THE RESPONSIBILITY OF THE LUMBER SUPPLIER TO DETERMINE, CALCULATE, ENGINEER, AND CERTIFY ALL LOAD BEARING LOCATIONS ON THIS PLAN AND PROVIDE THE REQUIRED LUMBER AND BEAM MATERIAL TO SUBSTANTIALLY SUPPORT THE STRUCTURAL INTEGRITY OF THIS PLAN.

FRUSTERIO DESIGN, INC. IS A RESIDENTIAL DESIGN FIRM AND ASSUMES NO LIABILITY FOR THE STRUCTURAL INTEGRITY OF THIS PLAN, CONSTRUCTION PRACTICES, OR THE FINAL PLACEMENT OF THIS HOME ON ITS SITE.

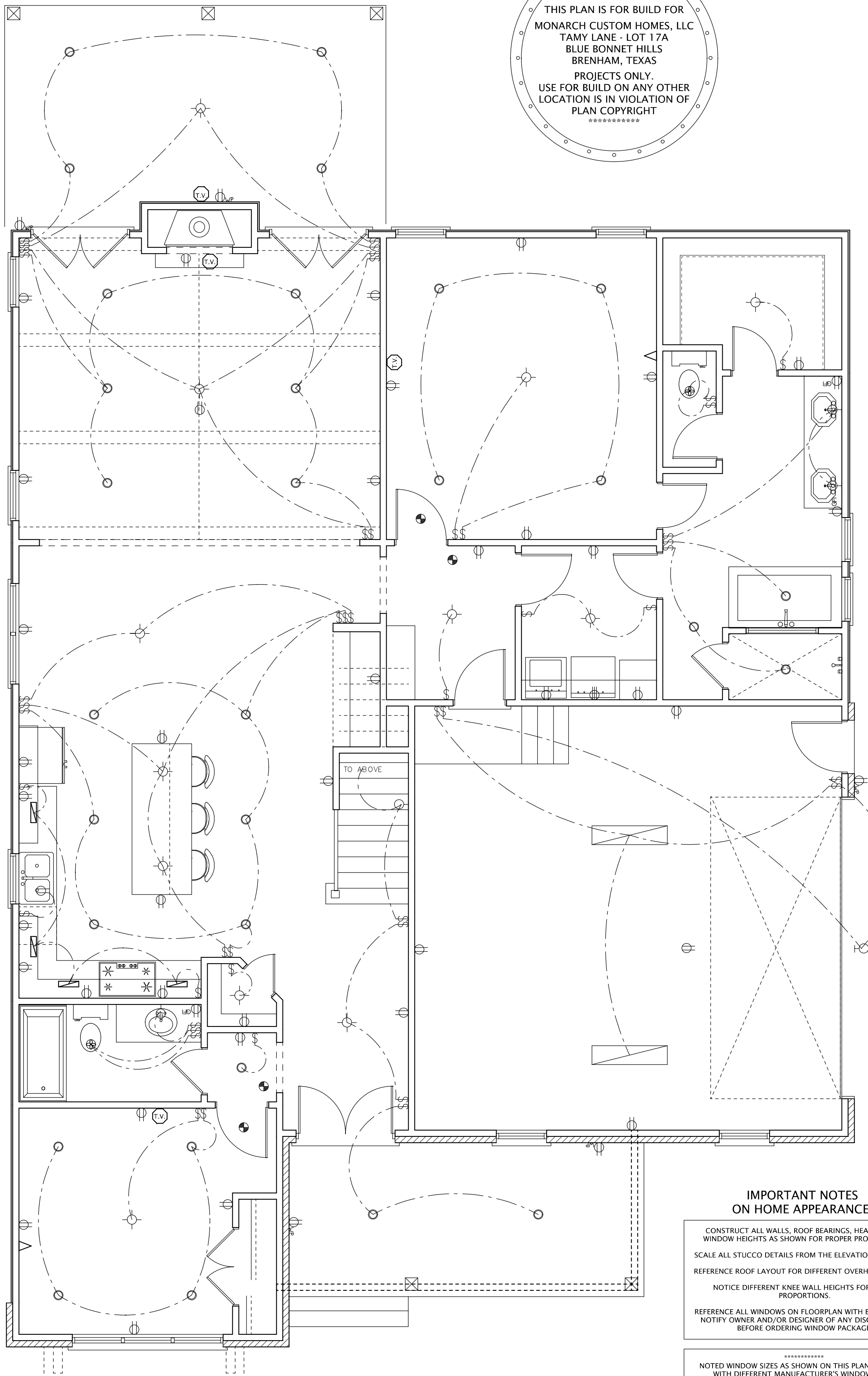
SOME STATES AND/OR LOCAL BUILDING CODES MAY REQUIRE A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT'S CERTIFICATION STAMP BEFORE BUILDING PERMITS CAN BE ISSUED.

**ELECTRICAL LEGEND**

- IT IS THE RESPONSIBILITY OF THE BUILDER TO COMPLY WITH AND ADAPT THIS PLAN TO SATISFY THE APPLICATION INTERNATIONAL RESIDENTIAL CODE (IRC) AND ENERGY CODE REQUIREMENTS AS WELL AS LOCAL BUILDING CODES WHERE THIS HOME PLAN IS CONSTRUCTED AND ADAPT THIS PLAN TO ITS ACTUAL SITE LOCATION.
- STANDARD LIGHT BOX
  - GROUND FAULT INTERRUPTER
  - 220 V CONV. OUTLET
  - 110 V CONV. OUTLET
  - WATER-PROOF 110 OUTLET
  - THREE-WAY SWITCH
  - TWO-WAY SWITCH
  - SMOKE DETECTOR
  - CARBON MONOXIDE
  - FIRE EXTINGUISHER
  - BATH FAN/LIGHT COMBO
  - FLOOD LIGHTS
  - CEILING FAN / NO LIGHT
  - CEILING FAN / LIGHT
  - WALL MOUNT LIGHT FIXTURE
  - RECESSED FIXTURE
  - TV OUTLET
  - PHONE OUTLET
  - MULTI-TUBE FLUORESCENT
  - UNDER CABINET FLUORESCENT

**ELECTRICAL DISCLAIMER**

THE ELECTRICAL PLAN IS A GENERAL LAYOUT. THE HOME OWNER RESERVES THE RIGHT TO MAKE ADDITIONS AND/OR CHANGES TO THE PLAN. IT IS THE RESPONSIBILITY OF THE ELECTRICIAN, CONTRACTOR, BUILDER, AND BUILDING INSPECTOR TO MAKE NECESSARY CHANGES TO MEET ELECTRICAL AND FIRE CODE REQUIREMENTS.



**FIRST FLOOR ELECTRICAL SHEET**  
 SCALE: 1/4" = 1'-0"

**IMPORTANT NOTES ON HOME APPEARANCE:**

CONSTRUCT ALL WALLS, ROOF BEARINGS, HEADERS AND WINDOW HEIGHTS AS SHOWN FOR PROPER PROPORTIONS.  
 SCALE ALL STUCCO DETAILS FROM THE ELEVATION DRAWINGS.  
 REFERENCE ROOF LAYOUT FOR DIFFERENT OVERHANG DEPTHS.  
 NOTICE DIFFERENT KNEE WALL HEIGHTS FOR HOUSE PROPORTIONS.  
 REFERENCE ALL WINDOWS ON FLOORPLAN WITH ELEVATIONS & NOTIFY OWNER AND/OR DESIGNER OF ANY DISCREPANCIES BEFORE ORDERING WINDOW PACKAGE.

NOTED WINDOW SIZES AS SHOWN ON THIS PLAN MAY VARY WITH DIFFERENT MANUFACTURER'S WINDOW SIZES.  
 CHANGE IN WINDOW SIZES SHOULD CLOSELY MATCH WINDOWS SHOWN ON ELEVATIONS.

**GENERAL WINDOW NOTES:**

TEMPERED WINDOWS WHERE REQUIRED AS PER CODE.  
 FIXED WINDOWS WHERE APPLICABLE AS PER CODE/OWNER.  
 EGRESS WINDOWS WHERE REQUIRED AS PER CODE.  
 WINDOW SIZES/ROUGH OPENINGS MAY VARY BY MANUFACTURER ADJUST HEADER ACCORDINGLY PRIOR TO CONSTRUCTION DETERMINED BY OTHERS.

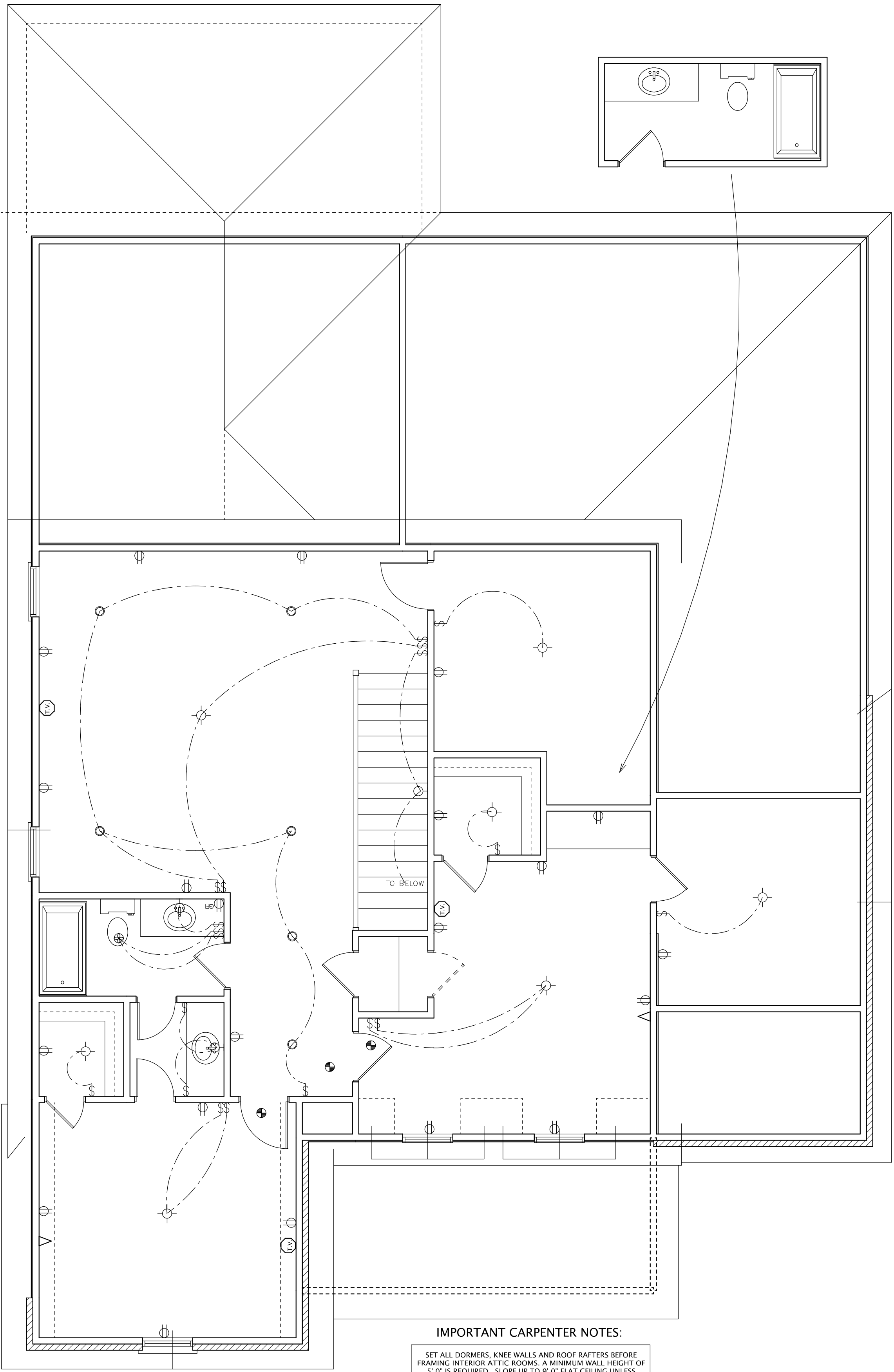
**GENERAL FOUNDATION NOTES:**

REQUIRED GRADE BEAM LOCATIONS DETERMINED BY OTHERS.  
 ALL STRUCTURAL MATERIAL USED TO CONSTRUCT THIS HOME MUST BE CERTIFIED AND/OR DESIGNED BY THE MANUFACTURER & BY A LICENSED STRUCTURAL ENGINEER.  
 ALL LOAD BEARING LOCATIONS MUST BE REVIEWED, DESIGNED & APPROVED BY LUMBER MANUFACTURER, AND BY A LICENSED STRUCTURAL ENGINEER.  
 OUTER EDGES OF FOOTINGS SHALL NOT BE POURED WITHIN 20"-0" OF THE EDGE OF ANY FILL SLOPE. BOTTOM OF ALL FOOTINGS SHOULD BE 36" BELOW GRADE OR MEET ALL LOCAL BUILDING CODE REQUIREMENTS.

PLEASE REFERENCE FIRST FLOOR PLUMBING LOCATIONS BEFORE CONSTRUCTION.

**IMPORTANT CARPENTER NOTES:**

SET ALL DORMERS, KNEE WALLS AND ROOF RAFTERS BEFORE FRAMING INTERIOR ATTIC ROOMS. A MINIMUM WALL HEIGHT OF 5'-0" IS REQUIRED. SLOPE UP TO 9" OF FLAT CEILING UNLESS OTHERWISE INDICATED.  
 DOUBLE JOIST ALL NON-LOAD BEARING WALLS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.  
 BASEMENT WALL SUPPORTING LOADS FROM THE FIRST AND SECOND FLOOR MUST BE CONSTRUCTED TO MEET INTERNATIONAL RESIDENTIAL CODES.  
 ENGINEERED LAMINATED BEAMS AND FLOOR SYSTEMS SHOULD BE DESIGNED, ENGINEERED AND MANUFACTURED BY GEORGIA-PACIFIC, BOSS, CASCADE, OR OTHER ENGINEERED PRODUCT MANUFACTURER.  
 REFERENCE NOTED DISCLAIMERS AND RECOMMENDATIONS.  
 IMPORTANT: REFERENCE ALL EXTERIOR FRAMING WITH 'FRONT PROPORTIONS & DETAIL' SHEET FOR ELEVATION PROPORTIONS.  
 PLACE ALL HEADERS AT THE TOP AND SCAB DOWN TO WINDOW HEIGHT.  
 PLEASE NOTE DOUBLE WALLS AND DOUBLE 2X4 STUD WALLS. ALSO NOTE ANY KNEE WALLS FOR CORRECT FRONT PROPORTIONS.  
 REFERENCE ALL WINDOWS FROM PLAN W/FRONT ELEVATIONS.  
 FLASH ALONG ALL BRICK CHIMNEY STACKS AT ROOF AGAINST FRAMING STACK AND BRICK ABOVE FLASHING.



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 ENFORCED BY SROTE & REMITT, P.C., 2311 HIGHLAND AVE., BIRMINGHAM, ALABAMA  
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UPON CONSTRUCTION OF THIS HOME, THE PLAN PURCHASER STATED BELIEF AGES TO THE FOLLOWING TERMS:  
 MONARCH CUSTOM HOMES, LLC, AS THE ORIGINAL PURCHASER OF PLAN "2823-2421-1220", IS HEREBY GRANTED LIMITED, NON-EXCLUSIVE AND NON-TRANSFERABLE LICENSE TO BUILD ONE (1) HOME OR ONE (1) HOME OR MORE IN THIS PLAN. USE OF THIS PLAN TO BUILD ONE (1) HOME OR ANY OTHER ALTERED VERSION OF THIS HOME IS STRICTLY PROHIBITED AND PROTECTED BY FEDERAL COPYRIGHT LAWS. UNAUTHORIZED USERS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.

BUILDING PERMIT \*\*\*\* COPYRIGHT WARNING  
 DO NOT ISSUE BUILDING PERMIT ON THIS PLAN WITHOUT COPYRIGHT LOGO STAMP.  
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**frusterio** American Institute of Building Design  
 FRUSTERIO.COM  
 SOUTHERN LIVING IDEA HOUSE  
 DESIGNER OF THE SOUTHERN LIVING IDEA HOUSE  
 BY WISDOM A HOUSE IS BUILT, AND THROUGH UNDERSTANDING IT IS ESTABLISHED - PROVERBS 24:3

QUESTIONS ON THIS PLAN 866-225-8111

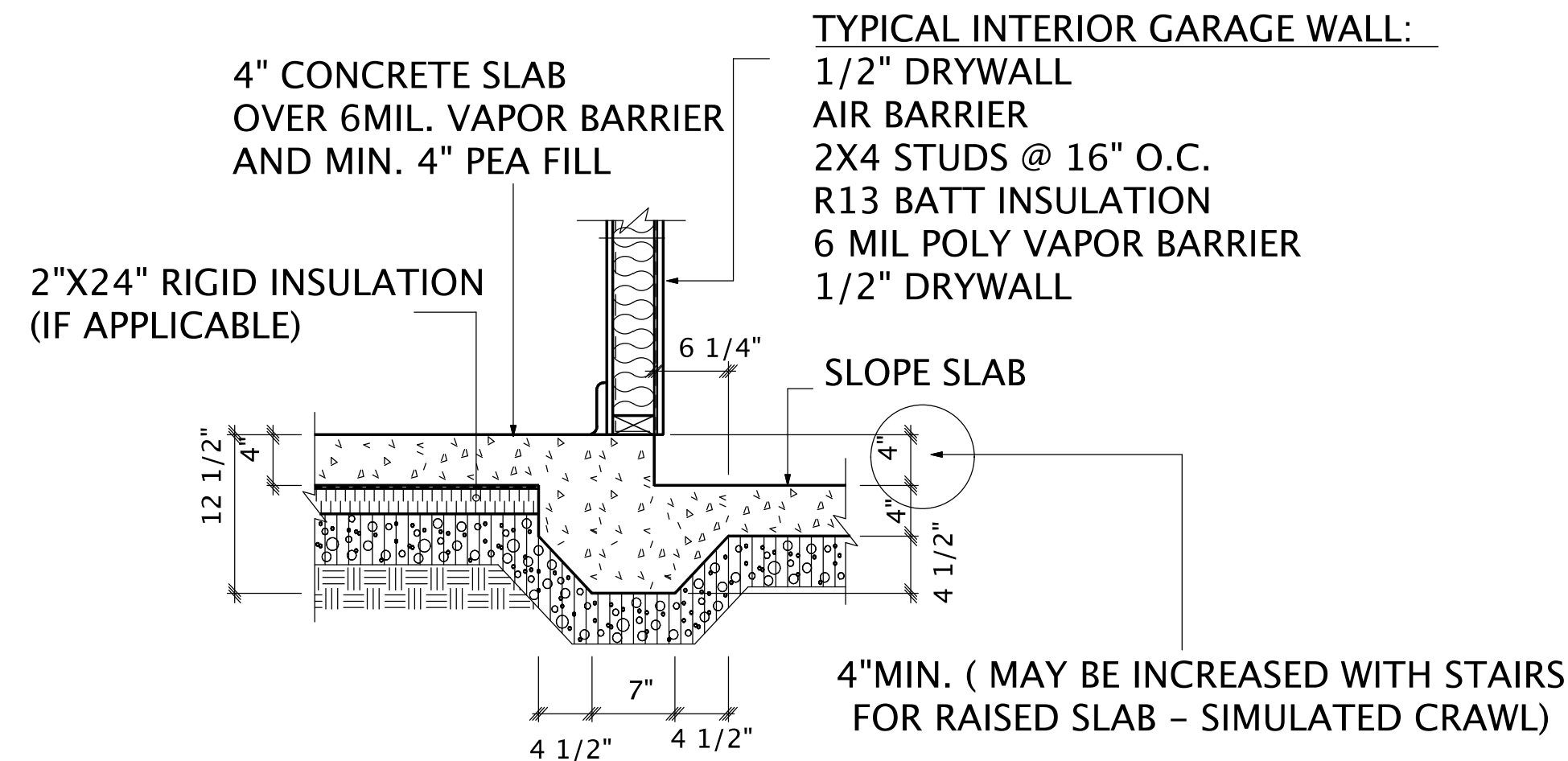
MONARCH CUSTOM HOMES, LLC / TAMY LANE LOT 17A / BLUE BONNET HILLS / BRENHAM, TX

JOB # 2823-2421-1220

CUSTOM HOME DOCUMENTS

DESIGN DATE: December 16, 2020  
 PLOTTING TIME: 03:47 PM  
 SHEET # /

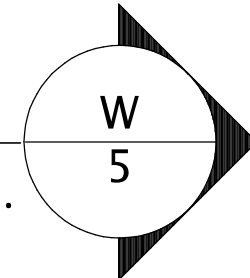
VERIFY AND REFER TO THE INTERNATIONAL RESIDENTIAL CODE (IRC), ENERGY CODES AND LOCAL CODES FOR SPECIFIC CODE REQUIREMENTS AND ANY UPDATES / REVISIONS



THICKENED SLAB TO GARAGE TRANSITION

DETAIL W 5

SCALE: N.T.S.



TYPICAL 2X4 BRICK EXTERIOR WALL:  
4\"/>

WEEP VENTS EVERY 3RD BRICK  
METAL FLASHING  
6\"/>

6\"/>

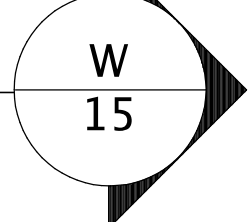
2 # 4 REBAR

# 4 \"/>

MONO SLAB ON GRADE W/ BRICK LEDGE

DETAIL W 15

SCALE: N.T.S.



2x6 STUD BEARING WALL. STUDS AT 16\"/>

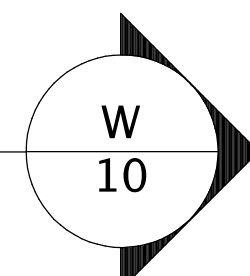
1/2\"/>

2 # 5 BARS CONT.

BEARING WALL AND FOOTING DETAIL

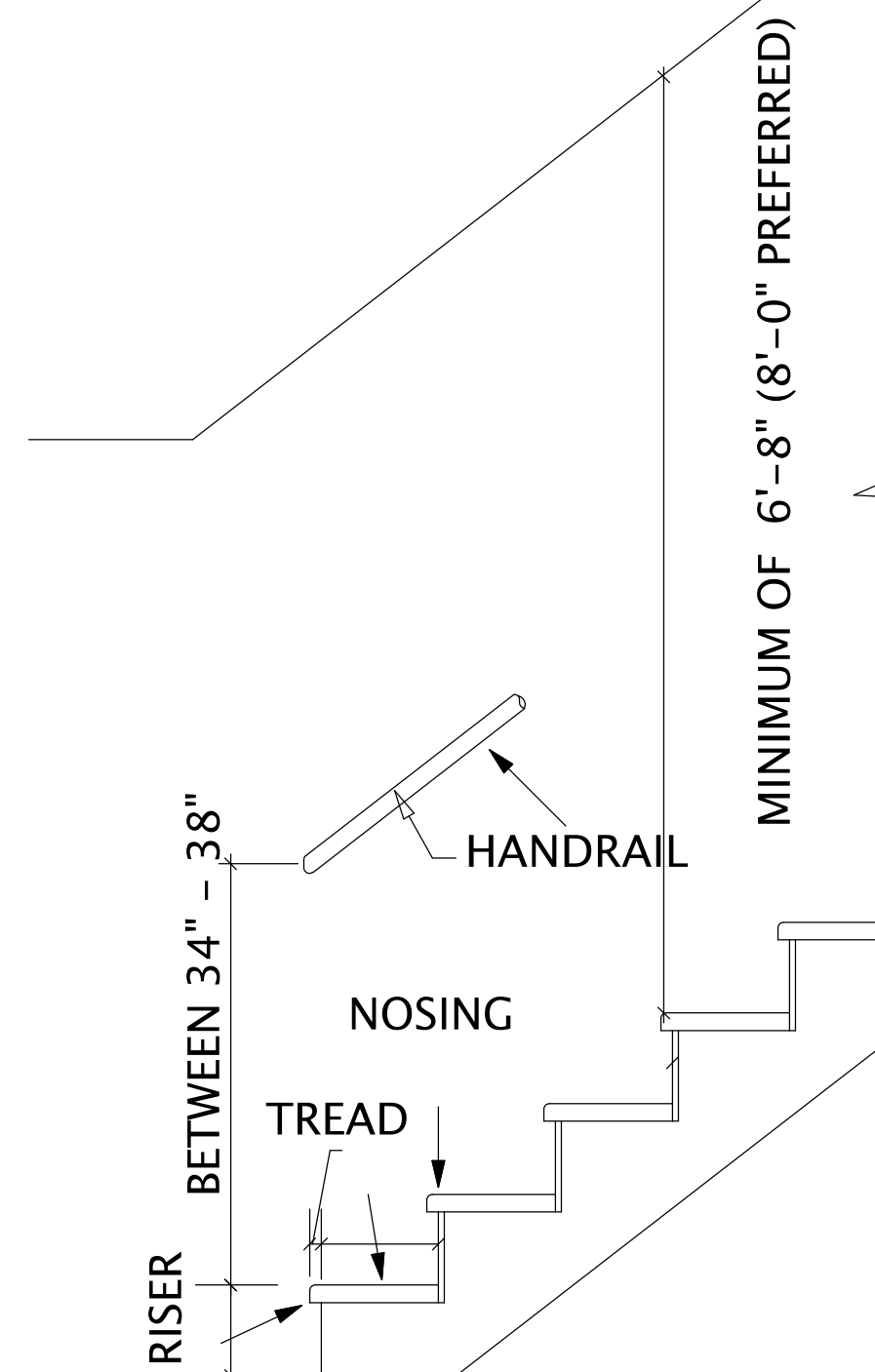
SCALE 3/4\"/>

FIELD VERIFY SOIL BEARING CAPACITIES AND ADJUST FOOTING SIZE PER LOCAL BUILDING CODE.



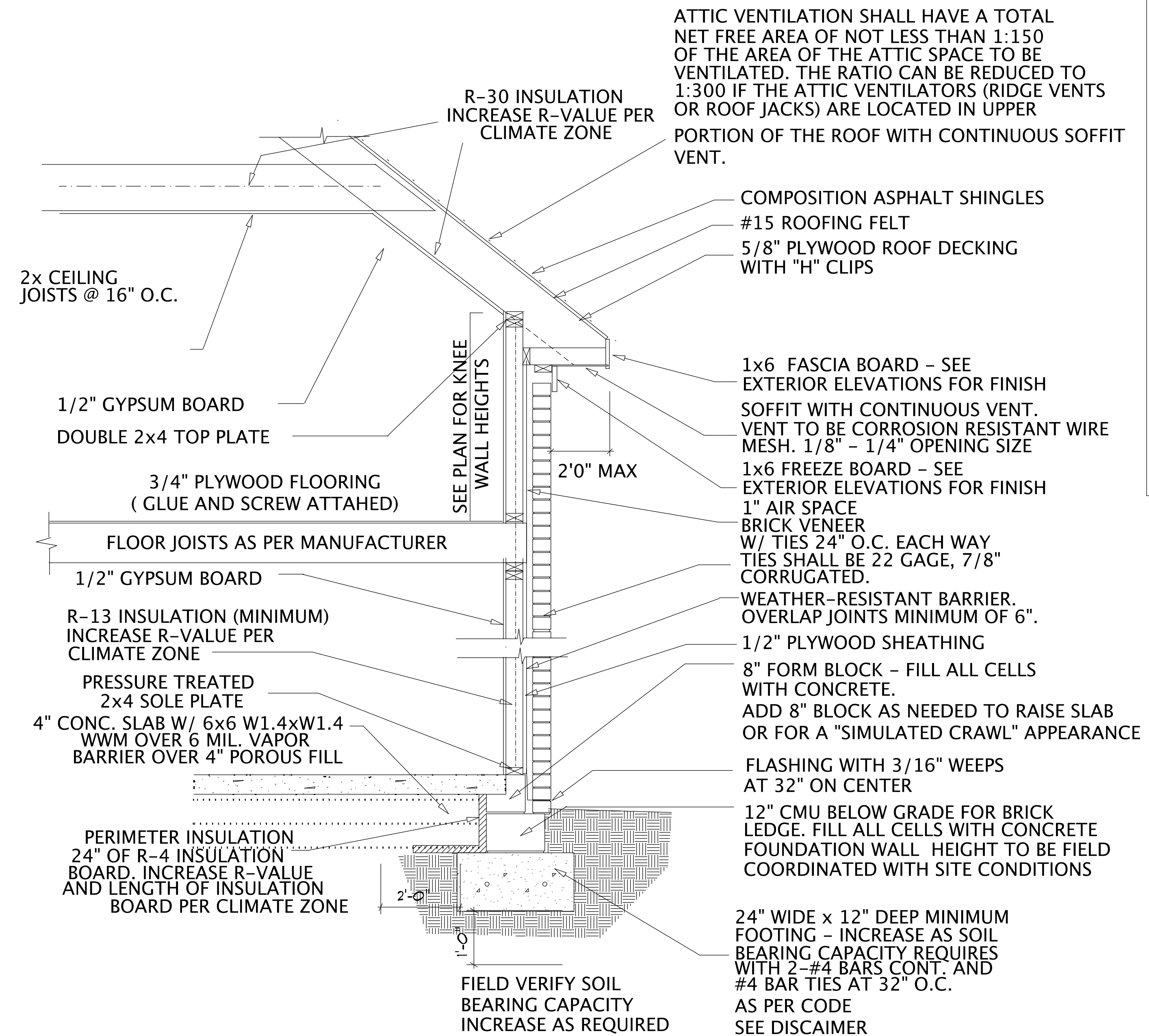
TYPICAL STAIR DETAIL

SCALE 3/4\"/>



STAIR NOTES:

THE MAXIMUM HEIGHT OF ANY RISER SHALL BE 7 3/4\"/>

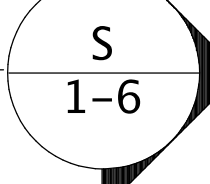


SLAB ON GRADE TYPICAL WALL SECTION

SCALE 3/4\"/>

FIELD VERIFY SOIL BEARING CAPACITIES AND ADJUST FOOTING SIZE PER LOCAL BUILDING CODE. VERIFY ALL BUILDING COMPONENT WITH LOCAL BUILDING CODES, SEISMIC DESIGN CATEGORY, AND ENERGY CODES.

RAISED SLAB ON GRADE SECTION / DETAILS



ATTIC VENTILATION SHALL HAVE A TOTAL NET FREE AREA OF NOT LESS THAN 1:150 OF THE AREA OF THE ATTIC SPACE TO BE VENTILATED. THE RATIO CAN BE REDUCED TO 1:300 IF THE ATTIC VENTILATORS (RIDGE VENTS OR ROOF JACKS) ARE LOCATED IN UPPER PORTION OF THE ROOF WITH CONTINUOUS SOFFIT VENT.

COMPOSITION ASPHALT SHINGLES  
#15 ROOFING FELT  
5/8\"/>

1x6 FASCIA BOARD - SEE EXTERIOR ELEVATIONS FOR FINISH SOFFIT WITH CONTINUOUS VENT. VENT TO BE CORROSION RESISTANT WIRE MESH. 1/8\"/>

1x6 FREEZE BOARD - SEE EXTERIOR ELEVATIONS FOR FINISH 1\"/>

WEATHER-RESISTANT BARRIER. OVERLAP JOINTS MINIMUM OF 6\"/>

FLASHING WITH 3/16\"/>

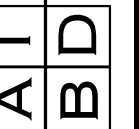
12\"/>

24\"/>

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CUSTOM HOME DOCUMENTS FOR:

frusterio

DESIGN DATE: FEBRUARY 16, 2015  
PLOTTING TIME: 12:22 PM

SHEET #

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