

* CITY OF ORDINANCES
 ** RESTRICTIVE COVENANTS
 *** BUILDER GUIDELINES

OHU = OVERHEAD UTILITIES
 UE = UTILITY EASEMENT
 AE = AERIAL EASEMENT
 WLE = WATERLINE EASEMENT

BL = BUILDING LINE
 PL = PROPERTY LINE
 PP = POWER POLE
 MH = MANHOLE

FND = FOUND
 I.R. = IRON ROD
 I.P. = IRON PIPE
 FNC = FENCE

PUE = PRIVATE UTILITY ESMT.
 MUE = MUNICIPAL UTILITY ESMT.
 UP = UTILITY POLE

MANHOLE
 A/C PAD
 ELECT. TRANS. BOX
 TV PEDESTAL
 PEDESTAL

CONCRETE
 COVERED
 ASPHALT

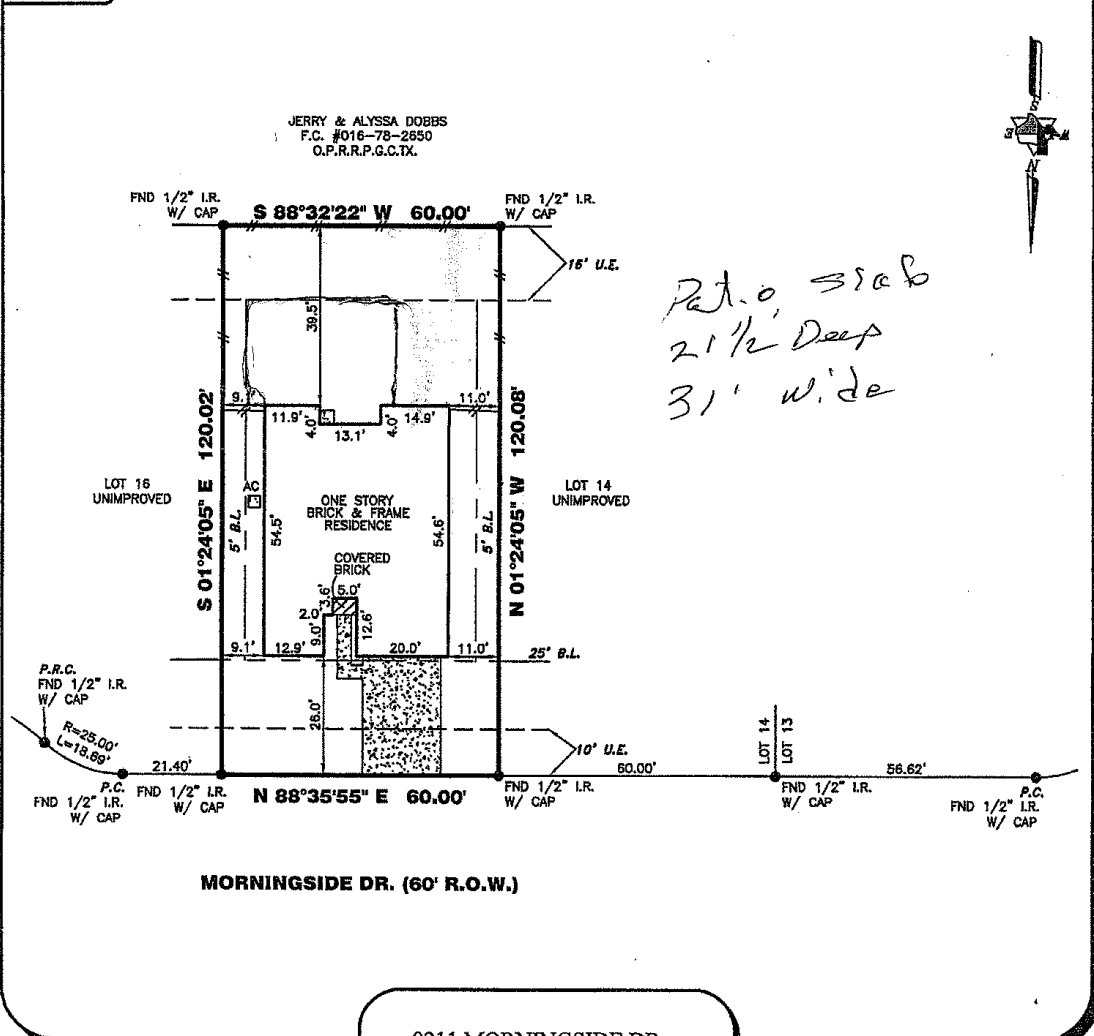
REFERENCES
 WIRE FENCE
 CHAIN LINK FENCE
 WOOD FENCE

COMMON ABBREVIATIONS
 PLASTIC FENCE
 IRON FENCE
 OH UTILITY

SYMBOLS
 WATER METER
 UTILITY POLE

LINE LEGEND
 BUILDING LINE
 EASEMENT LINE
 AERIAL EASEMENT

SCALE 1"=30'
 15' 15' 30'



NOTES:

ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

ALL ROD CAPS ARE STAMPED "KNC 6360", UNLESS OTHERWISE NOTED.

RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER PLAT RECORD 2007A, MAP NOS. 6-7, G.C.M.R.TX., G.C.C. FILE NOS. 2007008667, 2007008759, 2007018066, 2007037449.

PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT. THE UNDERSIGNED SURVEYOR, THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP, PLAT AND/OR DEEDS IN CONJUNCTION WITH TITLE INFORMATION OBTAINED FROM THE TITLE REPORT LISTED HEREON.

ALL BUILDING LINES, RECORDED EASEMENTS, UNRECORDED EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES (INCLUDING CITY OF HITCHCOCK), IF ANY, THAT AFFECT SUBJECT PROPERTY SHOULD BE VERIFIED.

TRI-TECH SURVEYING COMPANY, L.P.

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 10401 Westoffice Phone: (713) 667-0800
 Houston Texas, 77042 Fax: (713) 667-4610

CERTIFICATION

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my guidance and supervision of the tract or parcel of land, according to the map or plat thereon, indicated hereon.

PROPERTY INFORMATION **BOUNDARY SURVEY**

LOT 15 BLOCK 2
 SUBDIVISION SUNRISE CREEK
 RECORDING PLAT RECORD 2007A, MAP NOS. 6-7, GALVESTON COUNTY MAP RECORDS
 BORROWER DONALD MORRIS CHASTEEN & DARLENE TRULL CHASTEEN
 TITLE CO. ALAMO TITLE COMPANY
 G.F. NO. 07-40509459 G.F. DATE 08-27-07
 SURVEYED FOR K. HOVNANIAN OF HOUSTON, II, L.L.C.

FLOOD INFORMATION

F.I.R.M. NO. 485479 PANEL: 0005D
 ZONE: "B" REVISED DATE: 4-4-83

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

DRAWING INFORMATION

TRI-TECH JOB NO.: BH701-07
 CLIENT JOB NO.: -
 DRAWN BY: D. ARREDONDO
 BEARING BASE: REFERRED TO PLAT NORTH
 FIELD DATE: 09-19-07
 DRAWING NAME: BH70107C.DWG
 DRAWING TEMPLATE: Sunrise Creek.dwt
 DRAWING PEN TABLE: TRI-TECH 05.CTB

NO.	DATE	REASON	BY

THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. THIS SURVEY IS INVALID WITHOUT THE ORIGINAL EMBOSSED SURVEYORS SEAL © 2007, TRI-TECH SURVEYING COMPANY, L.P.

09-20-07

STATE OF TEXAS
REGISTERED
Ralph C. Hilton
5797
PROFESSIONAL
LAND SURVEYOR

SURVEYOR REGISTRATION