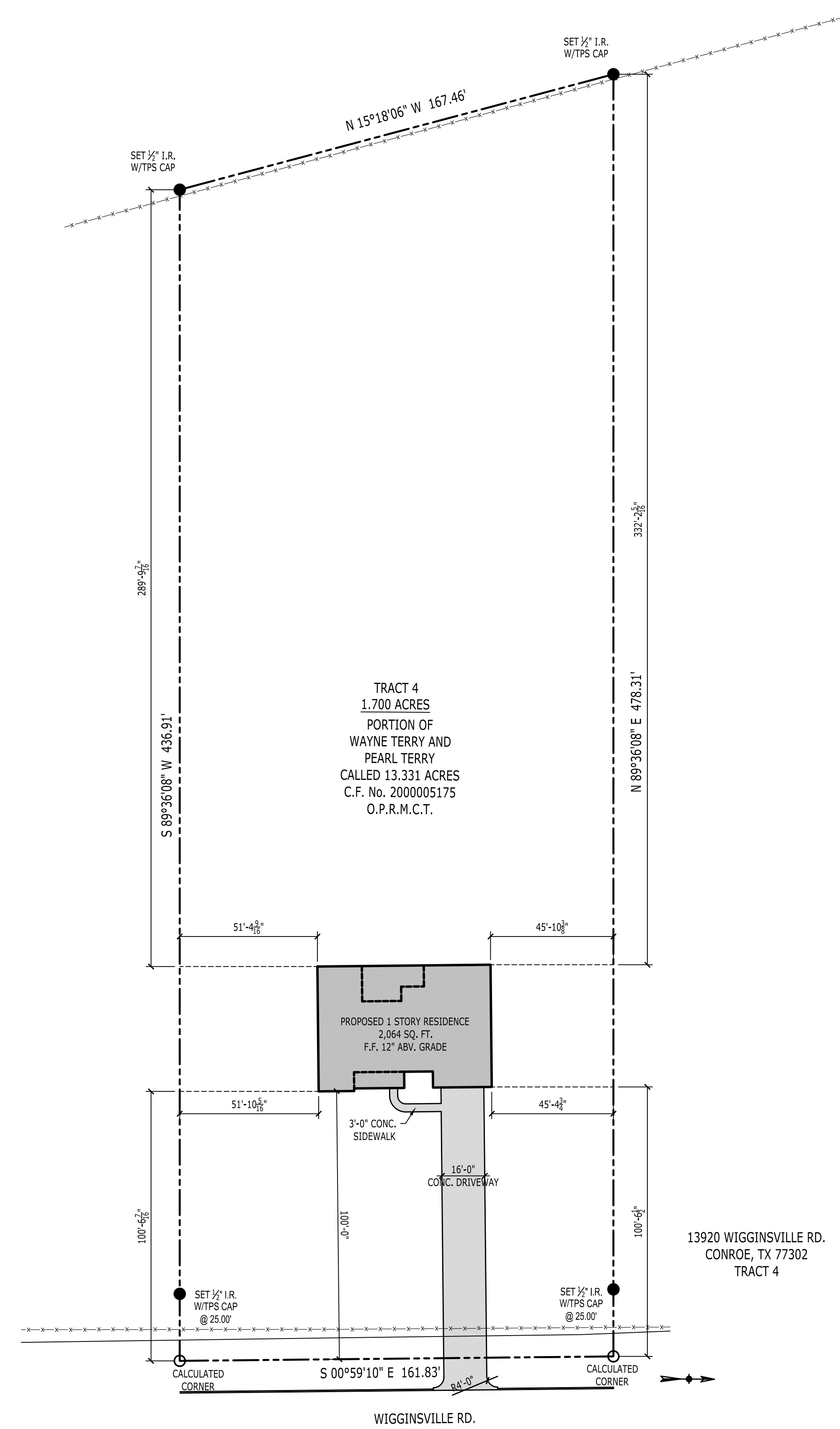


WATKINS TURNKEY HOME DEVELOPMENT, LLC

13920 WIGGINSVILLE RD.
CONROE, TX 77302



SITE GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL APPLICABLE EASEMENTS AND /OR SETBACKS PRIOR TO BEGINNING ANY CONSTRUCTION.
- ALL STUMPS AND ROOTS SHALL BE REMOVED TO A MINIMUM DEPTH OF 12 INCHES BELOW THE SURFACE WITHIN BUILDING FOOTPRINT AREA.
- ROOF VENTS AND PENETRATIONS SHALL BE LOCATED TO REAR ROOF SLOPE AND PAINTED TO MATCH SHINGLE COLOR.
- WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A MINIMUM OF 24" OF EARTH COVERING.
- WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION PERIMETER, EQUIPPED WITH A "STOP AND DRAIN" VALVE AND FITTED WITH A HANDLE THAT IS READILY ACCESSIBLE.
- ALL WATER PIPING SHALL BE GRADED TO DRAIN.
- WATERLINE TO BE INSPECTED BEFORE COVERING.

IMPORTANT GENERAL NOTES

- THESE PLANS ARE PROVIDED FOR GENERAL DESIGN & CONSTRUCTION PURPOSES ONLY. THE ARCHITECT/DESIGNER DOES NOT WARRANT ANY MATERIAL, DESIGN DETAILS, COSTS, CONSTRUCTION METHODS, EQUIPMENT, HARDWARE, ETC., WHETHER IMPLIED OR EXPLICITLY NOTED ON THE DRAWINGS.
- THE INFORMATION CONTAINED IN THIS PLAN IS INTENDED TO SHOW DESIGN INTENT ONLY, AND BASIC FRAMING IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO USE STANDARD INDUSTRY APPROVED CONSTRUCTION PRACTICES THAT WILL INSURE A SAFE, STRUCTURALLY SOUND AND WATERPROOF HOME.
- THE HOME WILL BE BUILT TO COMPLY WITH OR EXCEED THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND/OR LOCALLY APPROVED BUILDING CODE. ALL CODES SHALL HAVE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED ON THIS PLAN WHERE SAME ARE AT VARIANCE.
- OWNER'S RESPONSIBILITY:** PRIOR TO CONSTRUCTION THE OWNER WILL DETERMINE THAT THIS PLAN MEETS THE OWNERS NEEDS AND DESIGN EXPECTATIONS - ANY DESIGN QUESTIONS SHOULD BE DIRECTED THE ARCHITECT/DESIGNER FOR CLARIFICATION OR CORRECTION.
 - DIMENSIONS & ERRORS:** THE GENERAL CONTRACTOR AND OWNER WILL BECOME FAMILIAR WITH ALL DESIGN ASPECTS OF THESE PLANS. ANY QUESTIONS WILL BE CLARIFIED BY THE ARCHITECT/DESIGNER PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ERRORS NOT REPORTED. DO NOT SCALE DRAWINGS.
 - MODIFICATIONS:** ANY CHANGES TO THE PLAN ARE TO BE MADE BY A QUALIFIED PROFESSIONAL ARCHITECT, ENGINEER, OR RESIDENTIAL DESIGNER. THE ORIGINAL DESIGNER WILL NOT BE RESPONSIBLE FOR MODIFICATIONS MADE TO THIS PLAN.
 - CHANGE ORDERS:** ALL CHANGES TO THE CONSTRUCTION AND DESIGN OF THIS PLAN WILL BE DONE WITH WRITTEN CHANGE ORDERS SIGNED BY THE OWNER AND GENERAL CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY COSTS TO ADJUST CHANGES MADE TO THE CONSTRUCTION THAT ARE NOT APPROVED BY A WRITTEN CHANGE ORDER.
 - DETAILS:** ALL IMPORTANT DESIGN DETAILS SUCH AS CORNICE, DORMERS AND PORCHES, ETC., SHALL BE FOLLOWED AS ON THE PLANS. ANY DESIGN CHANGES WILL BE ACCOMPANIED WITH SUBSTITUTE DRAWINGS PROVIDED BY THE CONTRACTOR FOR THE OWNERS APPROVAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL EXPENSES TO ADJUST UNAUTHORIZED CHANGES TO THE ORIGINAL DESIGN DETAILS.
 - FLOOR ELEVATIONS:** PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR WILL STAKE OUT ON THE LOT - THE HOUSE, DRIVEWAY, AND FIRST FLOOR AND GARAGE FLOOR ELEVATIONS FOR THE OWNERS APPROVAL. THIS WILL BE ACCOMPANIED WITH SITE PLAN APPROVED IN WRITING BY THE OWNER.
 - OWNERS APPROVAL:** ALL MATERIAL FINISH AND COLOR SELECTIONS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION. ROOFING, EXTERIOR FINISHES; (BRICK, SIDING, STUCCO, STONE, ETC.), AND WINDOW SAMPLES WILL BE PROVIDED TO THE OWNER FOR APPROVAL BEFORE ORDERING. VERIFY FIREPLACE SIZE(S) AND SPECIAL ITEMS SUCH AS SPA TUBS, ETC., BEFORE CONSTRUCTION.
 - SQUARE FOOTAGE CALCULATIONS:** THE ACTUAL LIVING SQUARE FOOTAGE IS CALCULATED TO THE EXTERIOR OF WOOD WALLS OF THE HEATED, INTERIOR SPACE. THIS DOES NOT INCLUDE PORCHES, UNFINISHED BASEMENTS, OR UNFINISHED BONUS ROOMS, VAULTED OR TWO-STORY SPACES SUCH AS GREAT ROOMS, FOYERS, AND STAIRS ARE CALCULATED ONCE - ON THE FIRST FLOOR ONLY. ALSO, THE NON-STRUCTURAL MASONRY COMPONENT OF A WALL IS NOT INCLUDED.
 - TEMPERED GLASS:** TEMPERED GLASS WILL BE INSTALLED AS PER CODE. CONTRACTOR WILL VERIFY TEMPERED GLASS REQUIREMENTS WITH LOCAL BUILDING AUTHORITIES PRIOR TO ORDERING AND INSTALLING WINDOWS.

TABLE OF CONTENTS

SITE PLAN	A1.1
FLOOR PLAN & INTERIOR ELEVATIONS	A2.1
EXTERIOR ELEVATIONS	A3.1
EXTERIOR ELEVATIONS	A3.2
ELECTRICAL PLAN	A4.1
ROOF PLAN	A5.1
FOUNDATION PLAN	S1.1
CEILING JOIST PLAN	S2.1
RAFTER PLAN	S3.1

FOOTAGE SYNOPSIS

HOUSE FOUNDATION	2894
CONCRETE DRIVEWAY	1894
TOTAL HARD SURFACE	4788
LOT SIZE	74052
HARD SURFACE PERCENT	6.47%

REVISIONS
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CLIENT: Watkins Turnkey Home Development

PROPERTY ADDRESS: 13920 Wigginsville Rd.
Conroe, TX 77302

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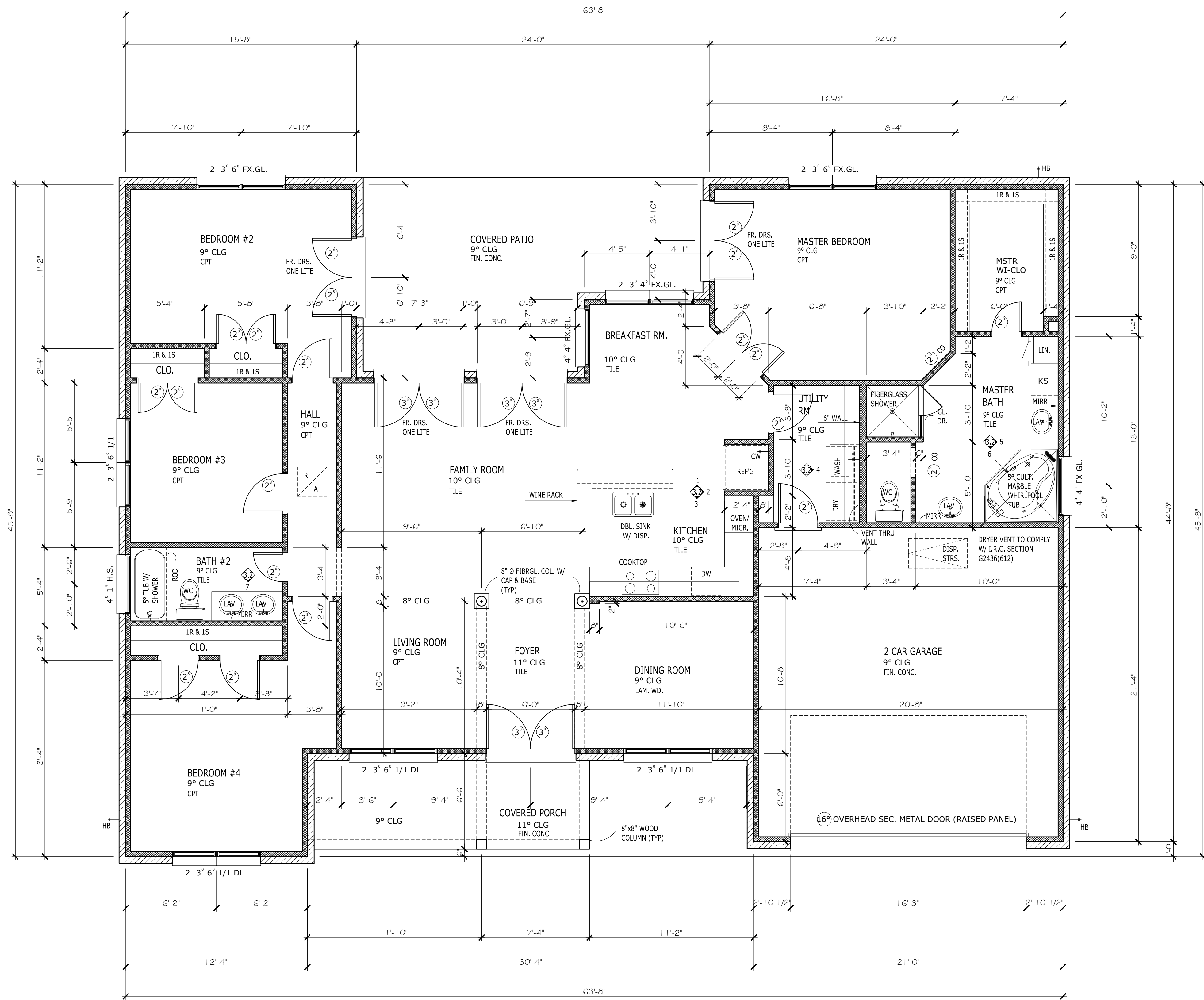
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NOT FOR CONSTRUCTION

SITE PLAN

DRAWN	CHECKED	DATE	SCALE
DMR	SDH	MM/DD/YYYY	X=1/4"=1'
			JOB NO.
			306-3-22070
			PLAN NO.
			R-2064-TR

SHEET
A1.1
OF SHEETS



FLOOR PLAN GENERAL NOTES:
UNLESS NOTED OTHERWISE

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY HERRIDGE & ASSOC., INC. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- 9'-0" CEILING UNLESS NOTED OTHERWISE.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON PLAN.
- 6'-8" HEADER HEIGHT UNLESS NOTED OTHERWISE.
- ALL ANGLES TO BE 45 DEG. UNLESS NOTED OTHERWISE.
- 2x6 STUDS @ 16" O.C. AT ALL EXTERIOR WALLS W/ 14'-0" PLATE OR HIGHER UNLESS NOTED OTHERWISE.
- VERIFY ALL EXTERIOR AND INTERIOR TRIM & DETAILS W/ OWNER.
- WALL STUDS SHALL BE #2 S.Y.P. @ 16" O.C. UNLESS NOTED OTHERWISE.
- WALL & CLG. S SHALL BE 1/2" ASTM-35 GYPSUM WALLBOARD W/ RECESSED LONGITUDINAL EDGES AND INSTALLED IN ACCORDANCE W/ "AMERICAN STANDARD NOTES FOR THE APPLICATION AND FINISHING OF GYPSUM WALLBOARD".
- 5/8" TYPE "X" AT GARAGE CEILING AND WALLS COMMON TO LIVING AREAS AND ENCLOSED SPACES OR PER PLAN.
- GYPSUM WALL BOARD INSTALLED AS A BACKING IN SHOWERS, TUB AREA, LAUNDRY SPACES AND OTHER WET AREAS TO BE TYPE W. R. IDENTIFIES AND REFERED TO AS "GREENBOARD" OR EQUIVALENT.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FURRING AND FRAMING INFORMATION.
- INTERIOR DOORS SHALL BE 1 3/8" HOLLOW CORE.
- EXTERIOR DOORS SHALL BE 1 3/4" SOLID CORE.
- ALL BEDROOM WINDOWS TO BE MAX. 44" ABOVE FIN. FLR. W/ A MIN. 24" HIGH AND 20" WIDE OPENING WHICH PROVIDES A MIN. OF 5.7 SQ. FT. NET CLEAR OPENING.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2009 SECT. R308.
- APPROVED SMOKE DETECTORS REQUIRE 120V. CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS SHALL COMPLY W/ IRC 2009 SECT. R314 OR EQUAL.
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER LINE).
- PROVIDE PLUMBING ACCESS PANEL AT ALL BATHTUBS BY IRC 2009 SECT. P2704.1.
- PROVIDE VENTILATION AT ALL BATHS AND KITCHENS THRU NATURAL OR MECHANICAL MEANS WHICH COMPLY W/ IRC SECT. M1507 AND R303.3.
- ATTIC WATER HEATER(S) LOCATED OVER WALL PARTITION BELOW. PROVIDE 26 GAUGE METAL DRAIN PAN (SIZE PER WATER HEATER CAPACITY AND CITY REQ.) FASTENED TO FLOOR DECK BELOW. PAN DRAIN LINE AND WATER HEATER PRESSURE RELIEF LINE SHALL BE VENTED TO EXTERIOR, NOT IN SANITARY SEWER. CLEARANCE FROM TOP OF WATER HEATER TO BOTTOM OF RAFTERS SHALL NOT BE LESS THAN 12". FOR GAS EQUIPMENT, APPROPRIATE ATTIC VENTILATION SHALL BE PROVIDED FOR COMBUSTION AIR AND A MIN. 4" DIA. PREFAB FLUE FLASHED WHERE IT IS VENTED THROUGH THE ROOF DECK.
- PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22" X 30". PROVIDE MINIMUM HEAD CLEARANCE OF 30". WHERE SERVICING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A PULL DOWN STAIR IS 30"x54", AND TO HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2009 SECT. R807.1 AND SECT. M1305.1.3.
- LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
- PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 75 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IRC 2009 SECT. R316.3.
- PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLACES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.
- ALL PREFABRICATED METAL FIREPLACES AND APPLIANCES ARE TO BE U.L. AND I.C.B.O. APPROVED AND A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE AT THE JOB SITE FOR THE BUILDING INSPECTOR'S REVIEW.
- G.C. TO PROVIDE GAS FOR WATER HEATERS.
- G.C. TO PROVIDE GAS IN ATTIC FOR HEATING SYSTEM.
- G.C. TO LOCATE WATER MAIN SHUT OFF VALVE IN GARAGE.
- PROVIDE TERMITE PROTECTION OVER COMPACTED OR GRANULAR FILL PER CODE.
- PROVIDE ATTIC VENTILATION EQUAL TO 1 SQ. FT. PER 150 SQ. FT. OF ATTIC OR PER LOCAL BUILDING CODES.
- THESE DRAWINGS, FOR THIS DESIGN, HAVE BEEN DEVELOPED AND ISSUED WITHOUT KNOWLEDGE OR REFERENCE TO A SPECIFIC GEOGRAPHIC LOCATION. THEREFORE, SUPPLEMENTAL TO THESE DOCUMENTS IS THE OWNER AND HIS BUILDER(S) RESPONSIBILITY FOR FOLLOWING MATERIAL AND EQUIPMENT MANUFACTURER'S INSTRUCTIONS, AND USING RECOGNIZED STANDARDS FOR EACH BUILDING CRAFT TRADE, AS WELL AS COMPLIANCE IN FULL WITH ALL GOVERNING CODE REQUIREMENTS FOR THE GEOGRAPHICAL AREA IN WHICH THIS HOUSE IS TO BE BUILT.

FOOTAGE SYNOPSIS

1ST FLOOR	2064
TOTAL LIVING	2064
FRONT PORCH	48
REAR PORCH	258
2- CAR GARAGE	469
TOTAL SQ. FT.	2829

REVISIONS

CLIENT: **Watkins Turnkey Home Development**

PROPERTY ADDRESS:
**13920 Wigginsville Rd.
Conroe, TX 77302**

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INTERIM REVIEW DOCUMENTS
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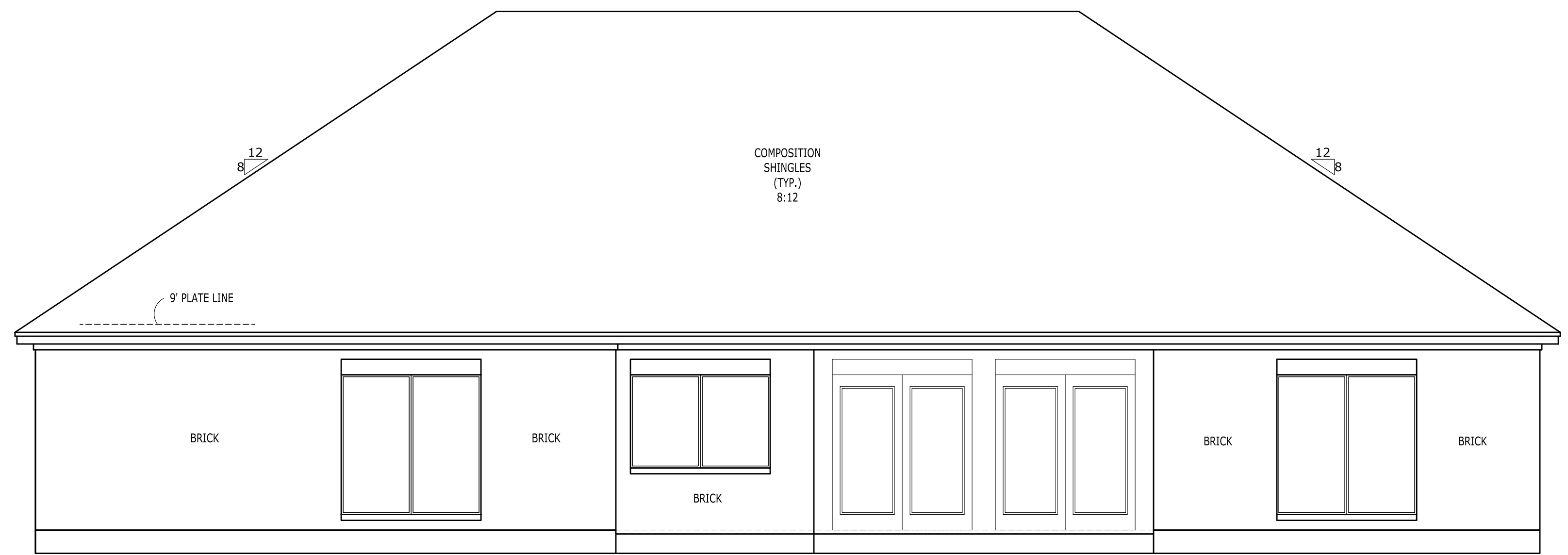
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FLOOR PLAN

DRAWN DER	CHECKED SDH	DATE MM/DD/YYYY	SCALE 1/4" = 1'-0"
JOB NO. 306-3-22070	PLAN NO. R-2064-TR		

SHEET
A2.1
OF - SHEETS

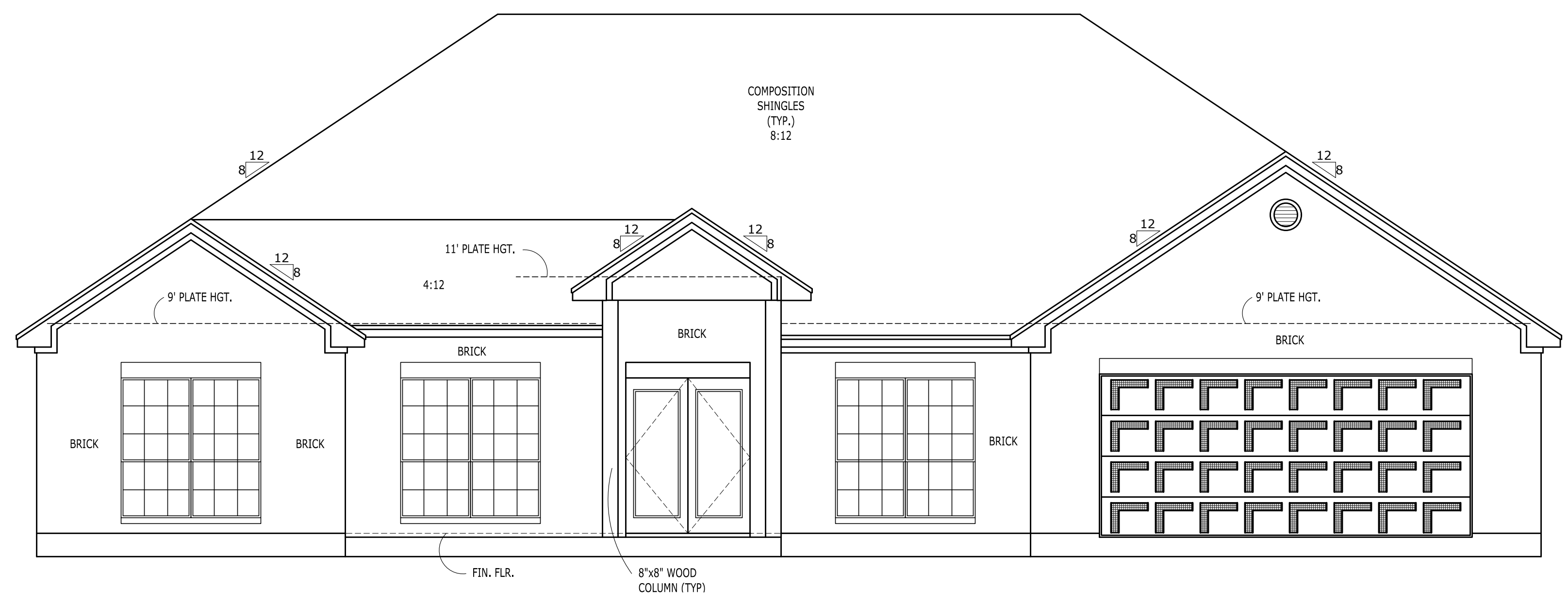
NOTE: ALL HEADER HEIGHTS FOR WINDOWS & DOORS SHALL BE 6'-8" UNLESS NOTED OTHERWISE.



REAR ELEVATION

1/4" = 1'-0"

2



FRONT ELEVATION

1/4" = 1'-0"

1

- ELEVATION GENERAL NOTES:
UNLESS OTHERWISE NOTED
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 - ALL EXTERIOR FINISH MATERIALS (STONE, STUCCO, SIDING, BRICK, ETC.) TO TERMINATE ON INTERIOR CORNERS UNLESS OTHERWISE NOTED.
 - ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH, 20" WIDE AND MIN. 5.7 SQ. FT. NET CLEAR OPENING. WHERE DOORS ARE USED AS EGRESS, PROVIDE LOCKING HARDWARE THAT DOES NOT REQUIRE A KEY TO OPEN FROM THE INSIDE. (IRC SECT. R310)
 - ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FIRST FLOOR LEVEL (AT THE STAIRWELL).
 - PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (IRC SECT. R308.4):
 - GLAZING IN TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
 - GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
 - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT. BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR. TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
 - ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2009 SECT. R312. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2009 TABLE R301.5, AND ON THE LAST SHEET OF THIS DOCUMENT.
 - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.
 - EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST.
 - ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL, U.O.N.
 - ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2009 CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED. A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW.
 - CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF; SEE IRC 2009 SECT. R1003.9. CHIMNEY PIPE(S) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
 - PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2009 SECT. 1003.9.1.
 - GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS, AND RIDGES.
 - PROVIDE FOR VENTILATION PROJECTIONS THROUGH ROOF WITH FLANGES AND EXTEND 9" BEYOND SLEEVE.
 - GALVANIZED FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.
 - ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.
 - ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS (SEE GENERAL CONTRACTOR).
 - CONTINUOUS GALVANIZED EAVE FLASHING.
 - ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS (SEE GENERAL CONTRACTOR).
 - ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS. ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.

REVISIONS

CLIENT: **Watkins Turnkey Home Development**

PROPERTY ADDRESS: **13920 Wigginsville Rd. Conroe, TX 77302**

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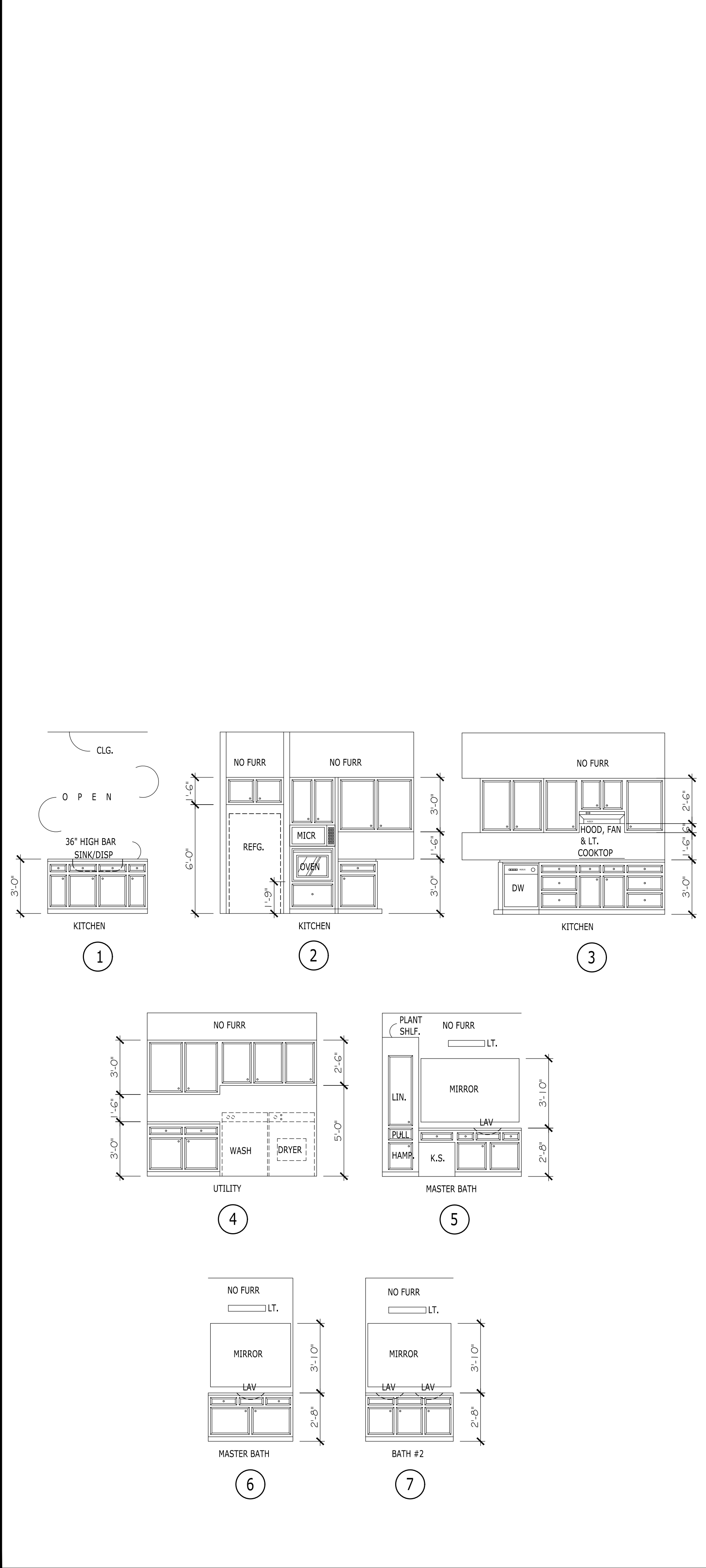
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EXTERIOR ELEVATIONS

DRAWN	CHECKED	DATE	SCALE
DER	SDH	MM/DD/YYYY	1/4" = 1'-0"
			JOB NO.
			306-3-22070
			PLAN NO.
			R-2064-TR

SHEET
A3.1
OF SHEETS

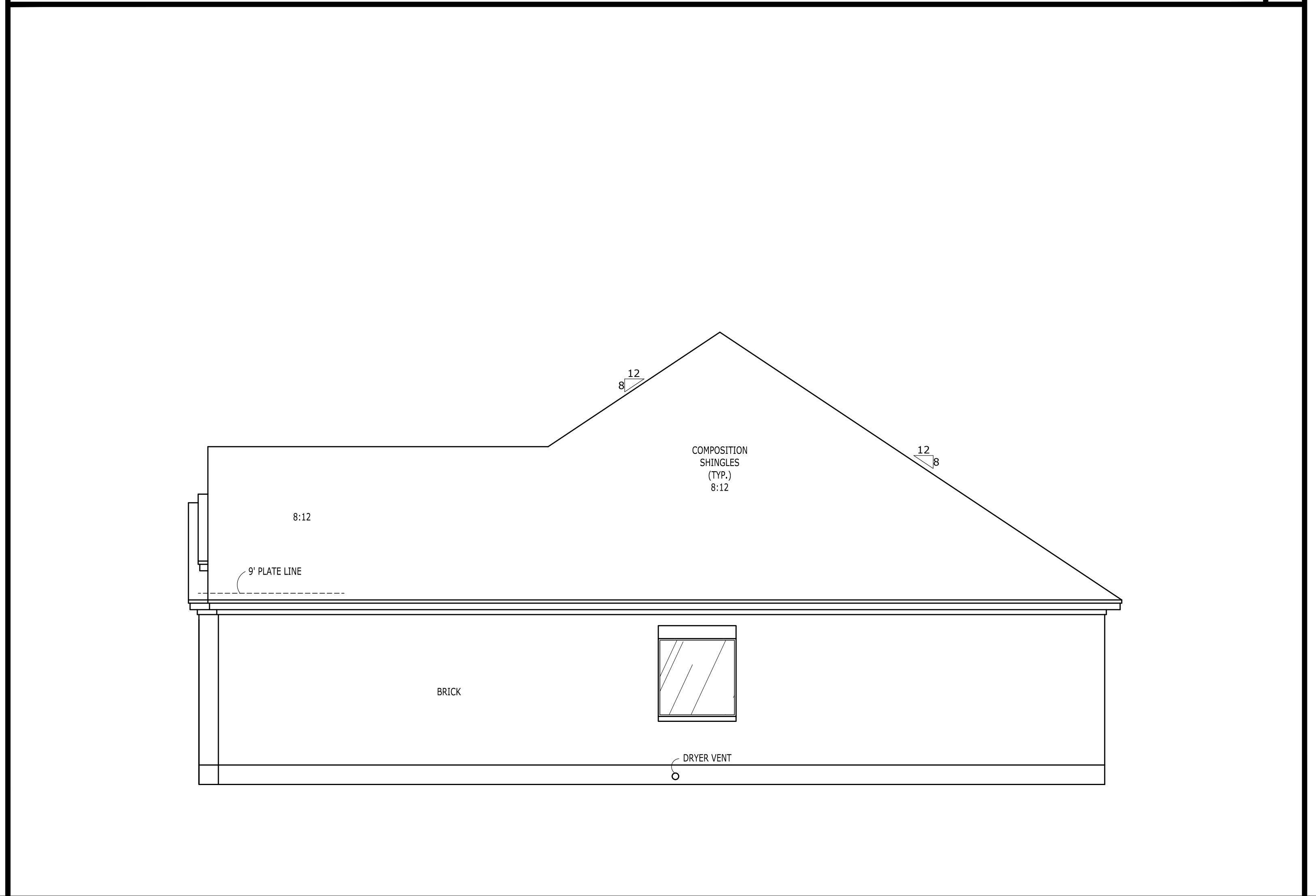
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INTERIOR ELEVATIONS 1/4" = 1'-0" 3



LEFT ELEVATION 1/4" = 1'-0" 2



RIGHT ELEVATION 1/4" = 1'-0" 1

- ELEVATION GENERAL NOTES:
UNLESS OTHERWISE NOTED
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 - PROVIDE FOR VENTILATION PROJECTIONS THROUGH ROOF WITH FLANGES AND EXTEND 9" BEYOND SLEEVE.
 - GALVANIZED FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES.
 - ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.
 - ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS (SEE GENERAL CONTRACTOR).
 - CONTINUOUS GALVANIZED EAVE FLASHING.
 - ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS (SEE GENERAL CONTRACTOR).
 - ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS. ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.

1/4" = 1'-0" 2

REVISIONS

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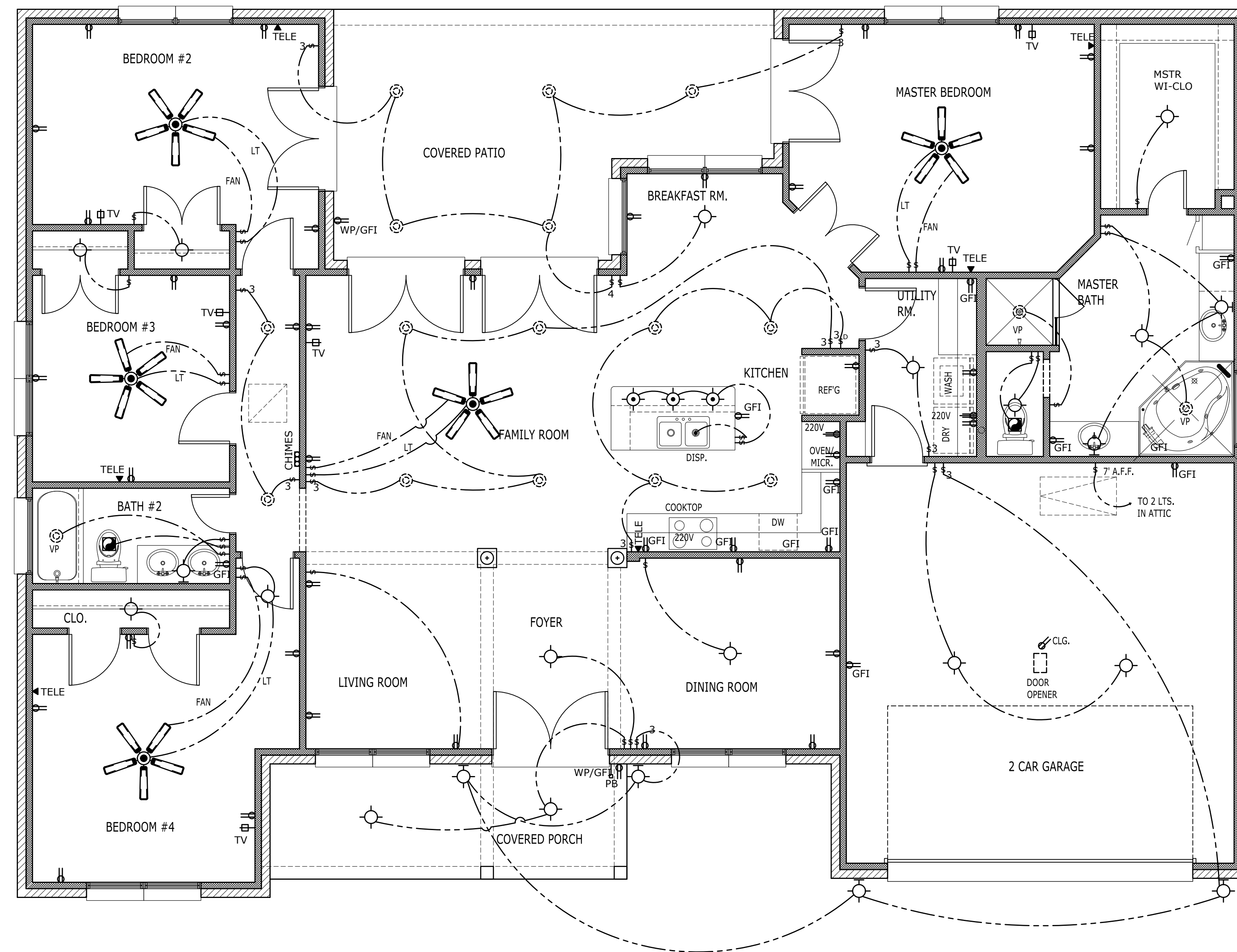
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EXTERIOR ELEVATIONS

DRAWN	CHECKED	DATE	SCALE
DER	SDH	MM/DD/YYYY	1/4" = 1'-0"
			JOB NO.
			306-3-22070
			PLAN NO.
			R-2064-TR

SHEET **A3.2**
OF SHEETS



ELECTRICAL LEGEND

- DUPLEX 110V OUTLET
- DUPLEX 110V GROUND FAULT INSULATED OUTLET
- WATER PROOF DUPLEX 110V GROUND FAULT INSULATED OUTLET
- DUPLEX 220V OUTLET
- RECESSED CEILING LIGHT FIXTURE
- CEILING MOUNTED FIXTURE
- WALL SCONCE LIGHT FIXTURE
- SUSPENDED MOUNTED LIGHT FIXTURE
- SECURITY FLOOD LIGHTS
- SMOKE DETECTOR
- SMOKE AND CARBON MONOXIDE DETECTOR
- RECESSED DIRECTIONAL CEILING LIGHT FIXTURE
- CEILING MOUNTED DIRECTIONAL LIGHT FIXTURE
- CEILING MOUNTED EXHAUST FAN
- CEILING MOUNTED EXHAUST FAN W/ LIGHT
- CEILING MOUNTED FAN
- CEILING MOUNTED FAN W/ LIGHT
- RECESSED CEILING MOUNTED SPEAKERS
- 2 - WAY SWITCH
- 3 - WAY SWITCH
- 4 - WAY SWITCH
- 2 - WAY DIMMER SWITCH
- 2 - WAY SWITCH W/ RHEOSTAT FOR FAN
- VOLUME CONTROL FOR SPEAKERS
- 3 - LINE TELEPHONE OUTLET
- COMMUNICATION PORT
- CABLE HOOKUP FOR TELEVISION
- PUSH BUTTON
- CHIMES
- MOUNT CAMERA
- 1 X 4 FLUORESCENT SURFACE MOUNT

NOTE:
 VERIFY ALL ELECTRICAL WITH OWNER/CONTRACTOR PRIOR TO CONSTRUCTION (TO INCLUDE FOR SEPTIC, WELL, POOL, LANDSCAPING, ELECTRICAL PANEL, ETC.)

ELECTRICAL NOTES:

1. SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
2. PROVIDE G.F.C.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
3. PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
4. PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
5. ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 5'-0" FROM ANY PROPERTY LINE. DRYER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
6. WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SHUTOFF AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.
7. ALL PHONE & TV LOCATIONS TO BE DETERMINED BY OWNER.
8. SEE FOUNDATION PLAN FOR EXACT FLOOR PLUG LOCATIONS-OWNER TO VERIFY (IF REQ'D).
9. SEE FOUNDATION PLAN FOR EXACT ELECTRICAL TO ISLAND LOCATION (IF REQ'D).

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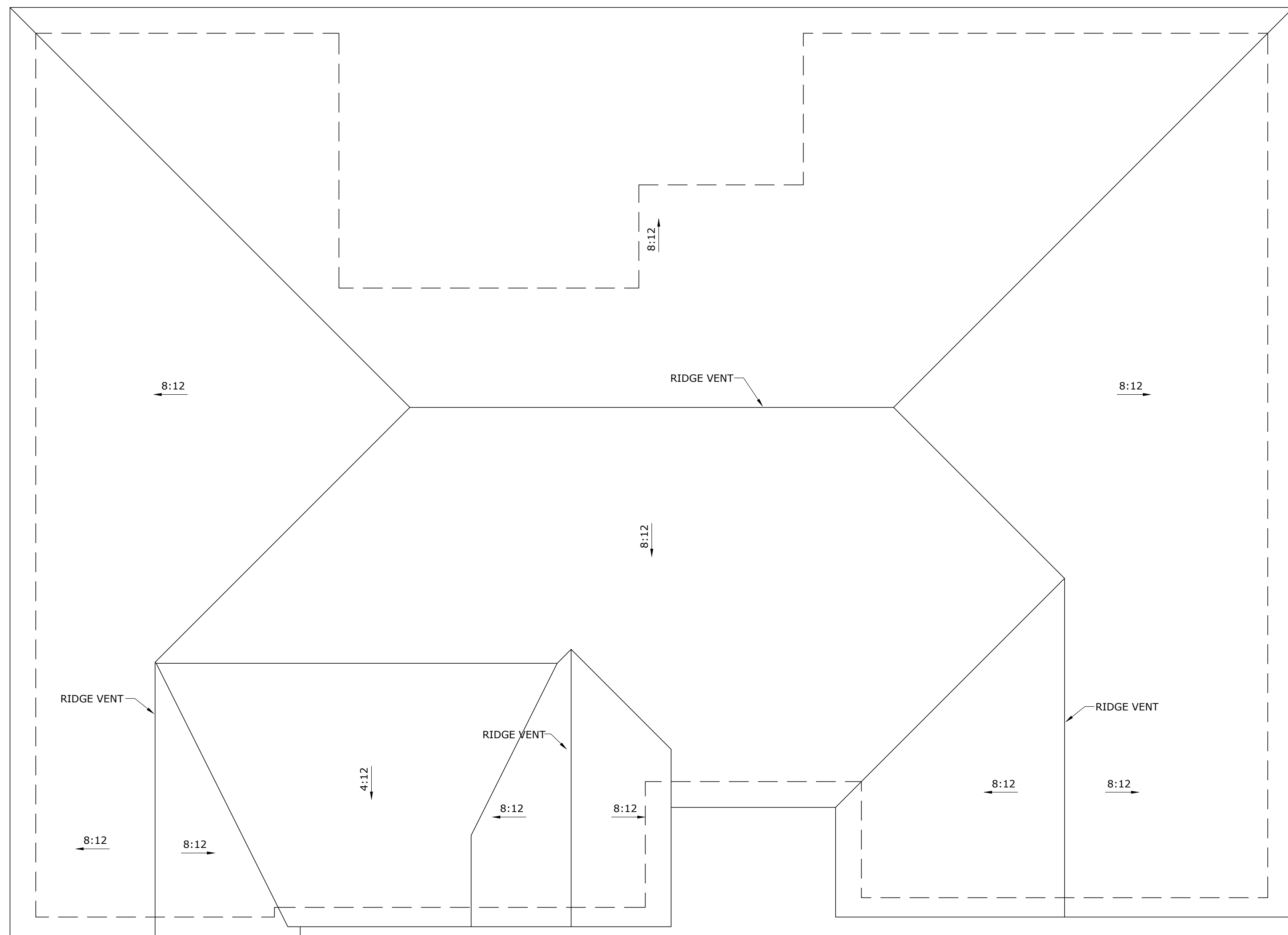
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ELECTRICAL PLAN

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		JOB NO. 306-3-22070	PLAN NO. R-2064-TR



**ROOF GENERAL NOTES:
UNLESS OTHERWISE NOTED**

1. GALVANIZED FLASHING (26 GAUGE) AT ALL VALLEYS, HIPS AND RIDGES. PROVIDE FOR VENTILATION PROJECTIONS THRU ROOF WITH FLANGES AND EXTEND 8" BEYOND SLEEVE (PAINT TO MATCH ROOF).
2. CHIMNEY PIPE(S) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
3. GALVANIZED IRON FLASHING AT ALL ROOF TO WALL AND ROOF TO CHIMNEY INTERFACES (PAINT TO MATCH ROOF AND WALL).
4. CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE); SEE IRC 2009 SECT. R1003.9.
5. PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2009 SECT. R1003.9.1.
6. ROOF GUTTERS AND DOWN SPOUTS PER SPECIFICATIONS SEE BUILDER.
7. CONTINUOUS GALVANIZED IRON EAVE FLASHING.
8. ATTIC VENTILATION TYPE AND AMOUNT PER SPECIFICATIONS SEE BUILDER.
9. APPLIED CRICKET ROOFING SHALL BE APPLIED OVER MAIN ROOF DECK AND FRAME.
10. ROOF PLATE HEIGHTS SHOWN ARE AT EXTERIOR FRAME WALL CONDITIONS, ADJUST ROOF PLATE HEIGHT FROM HEIGHT SHOWN AT CONDITIONS WHERE THE ROOF IS SUPPORTED BY BEAMS CENTERED OVER LOAD BEARING COLUMNS.

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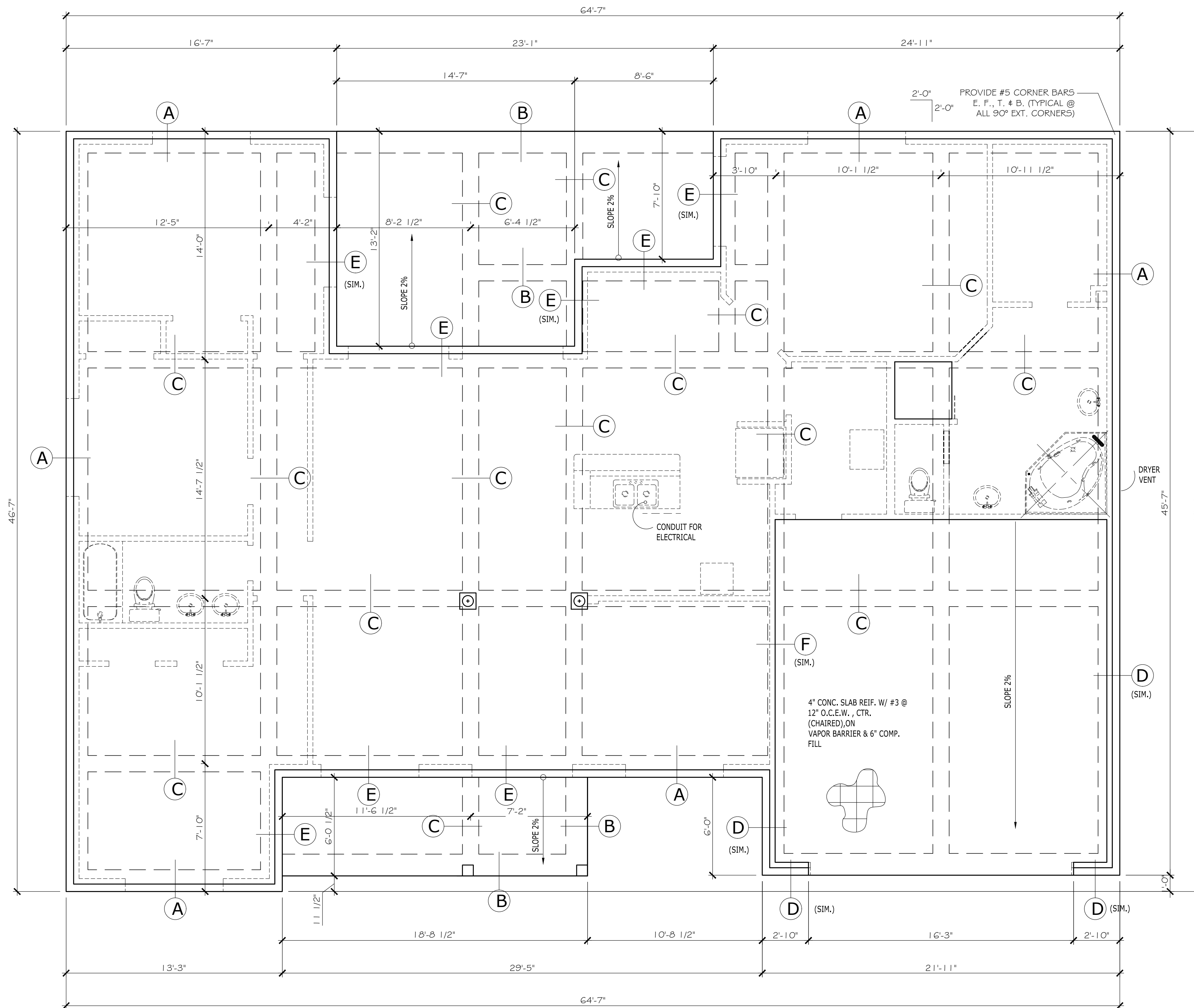
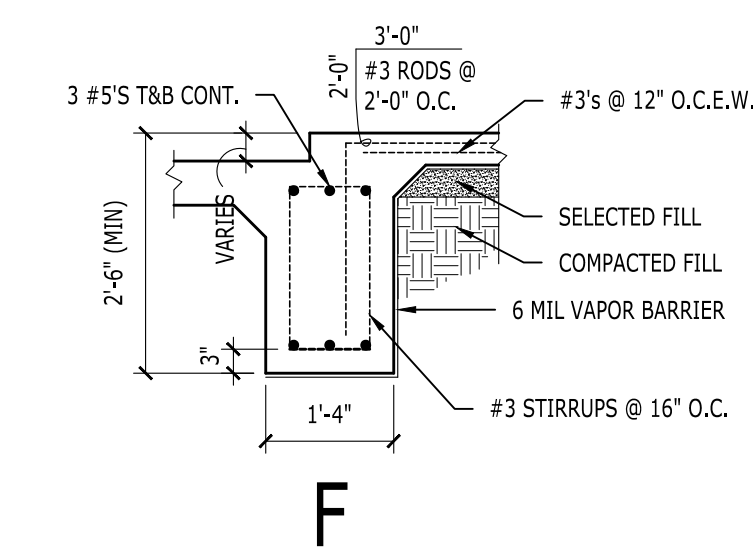
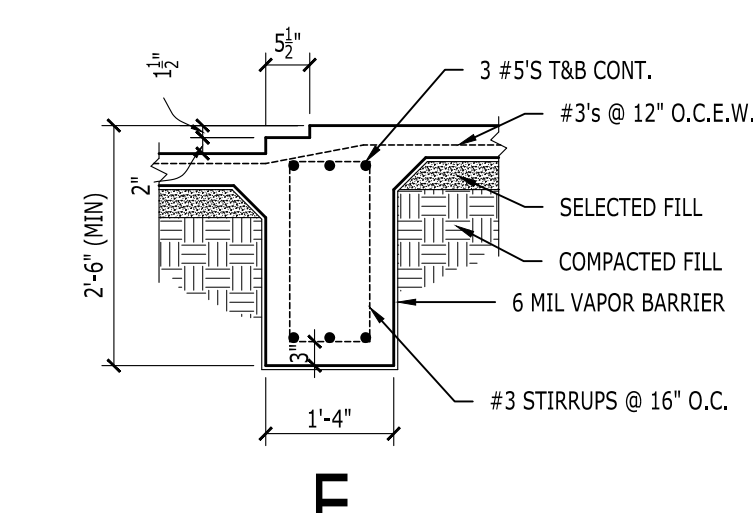
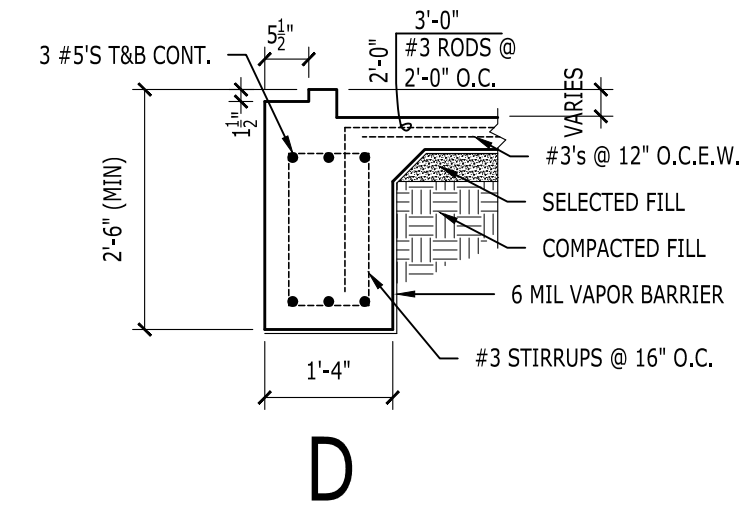
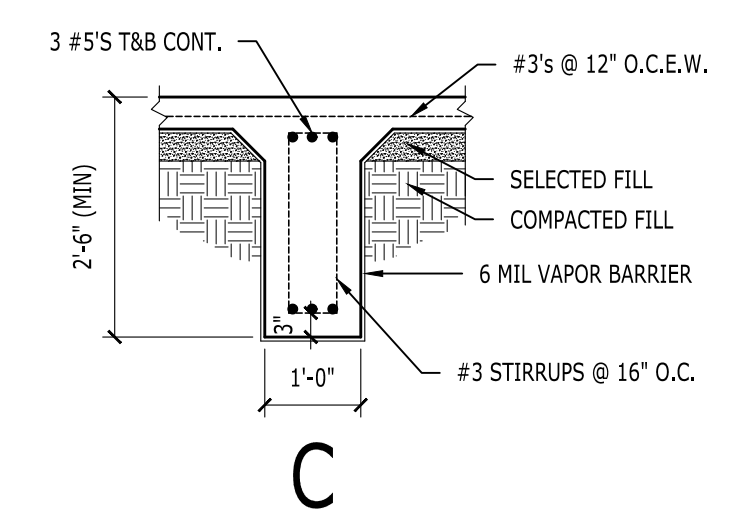
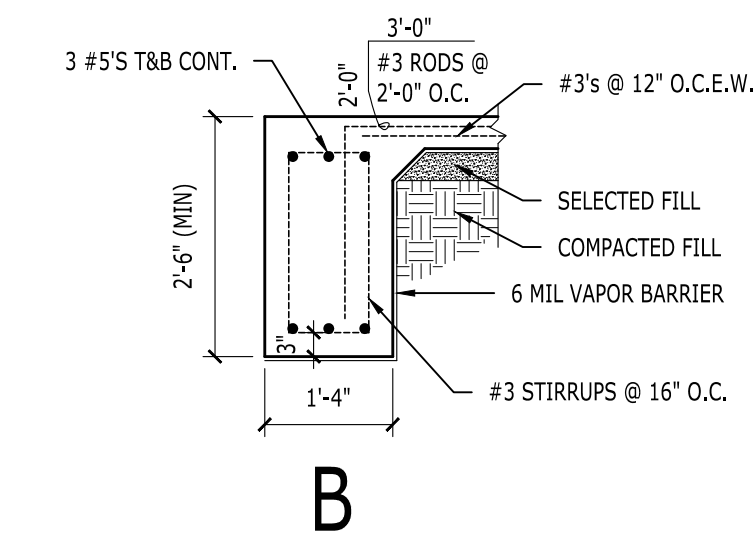
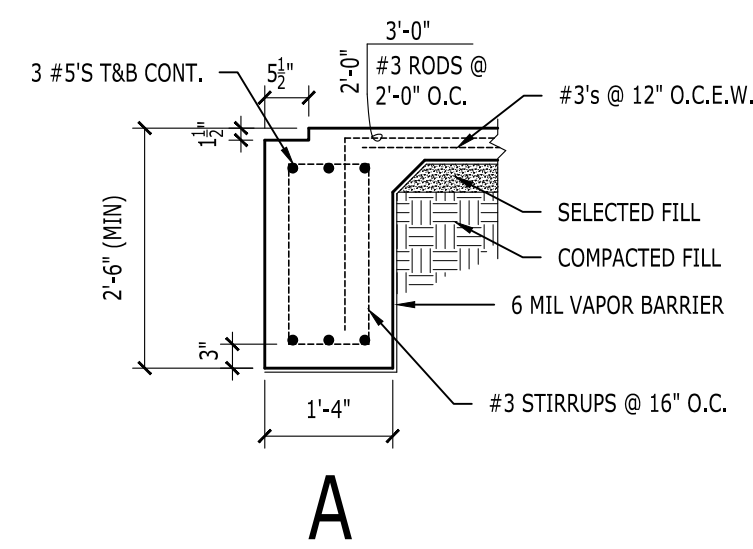
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ROOF PLAN

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		JOB NO. 306-3-22070	PLAN NO. R-2064-TR

SHEET
A5.1
OF - SHEETS



SITE PREPARATION

1. THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED.
2. PROOFROLL SUBGRADE.
3. CONSTRUCT PAD USING SELECT UNDERFILL HAVING A PLASTICITY INDEX OF 10-20 W/ A MINIMUM OF 12" OF COMPACTED FILL UNDER BOTTOM OF BEAMS.
4. ALL SOIL UNDER SLAB MUST BE COMPACTED TO 95% OF STANDARD PROCTOR DENSITY. ALL FILL SOIL UNDER SLAB SHALL BE PLACED IN STRICT ACCORDANCE WITH THE SOIL ENGINEER'S SPECIFICATIONS. THE SOIL ENGINEER SHALL CERTIFY THE FILL SOIL.
5. FINAL GRADING SHALL BE DONE USING SAND OR A NON-CAPILLARY MATERIAL. MIN. 6 MIL POLY BARRIER USED PER SOIL ENGINEER.
6. PROVIDE FINAL SUITABLE SITE DRAINAGE.

NOTES & SPECIFICATIONS:

1. ALL CONCRETE SHALL DEVELOP MIN. FC + 3000 PSI @ 28 DAYS (5 SK/5" SLUMP).
2. REINFORCING STEEL SHALL BE ASTM GRADE 60.
3. PRESUMPTIVE DESIGN BRG. CAP. OF 1200 P.S.F. FOR G.B.'S SHALL BE VERIFIED IN FIELD.
4. ALL BEAMS MUST EXTEND A MINIMUM OF 18" INTO UNDISTURBED (VIRGIN) SOIL OR ON A MIN 12" APP'D COMP. FILL.
5. FOR GRADE BEAMS GREATER THAN 3'-0" DEPTH, ADD 1-#5 HORIZONTAL CONT. FOR EACH FOOT OF DEPTH OR FRACTION THEREOF & SPACE EVENLY W/ REMAINING REINF. - EXTEND SLAB STEEL ENTIRE O.F. OF BEAM.
6. GRADE BEAMS GREATER THAN 5'-0" MUST BE APPROVED BY ENGINEER.
7. DISTANCES SHOWN ON PLAN ARE CL TO CL PIER OR FOOTING, U.N.O. (LOCATIONS ARE APPROXIMATE, AND SHALL BE FIELD VERIFIED BY ENGINEER OR ON-SITE INSPECTOR)
8. DEPTH OF PIER/ FOOTING SHOWN IS FOR ESTIMATE PURPOSES ONLY. ACTUAL DEPTH WILL BE TO REFUSAL AS APPROVED BY ENGINEER OR ON-SITE INSPECTOR
9. ALL STEEL SPLICES SHALL HAVE A MINIMUM OF A 30" OVERLAP.
10. ALL GRADE BEAMS TO BE VIBRATED.
11. FORMS USED ON HIGH SIDE TO BE (1) 2 X 12 OR EQUAL.
12. 1/2" X 10" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE @ 48" O.C., 2 ANCHOR BOLTS @ ALL CORNERS LOCATED WITHIN 12" OF EACH END. ANCHOR BOLTS TO BE INSTALLED ON EITHER SIDE OF ALL DOOR OPENINGS.
13. THE CONTRACTOR IS REQUIRED TO COORDINATE THIS FOUNDATION PLAN WITH THE ARCHITECTURAL DRAWING FOR OFFSETS, DROPS, OPENINGS AND INSERTED ITEMS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS BEFORE CONSTRUCTION OF SLAB.
14. DESIGN IS BASED ON INFORMATION & RECOMMENDATIONS PROVIDED THRU BUILDERS GEOTECHNICAL REPORT No. G22-201 (ARM) DATED FEBRUARY 21, 2022.

REVISIONS

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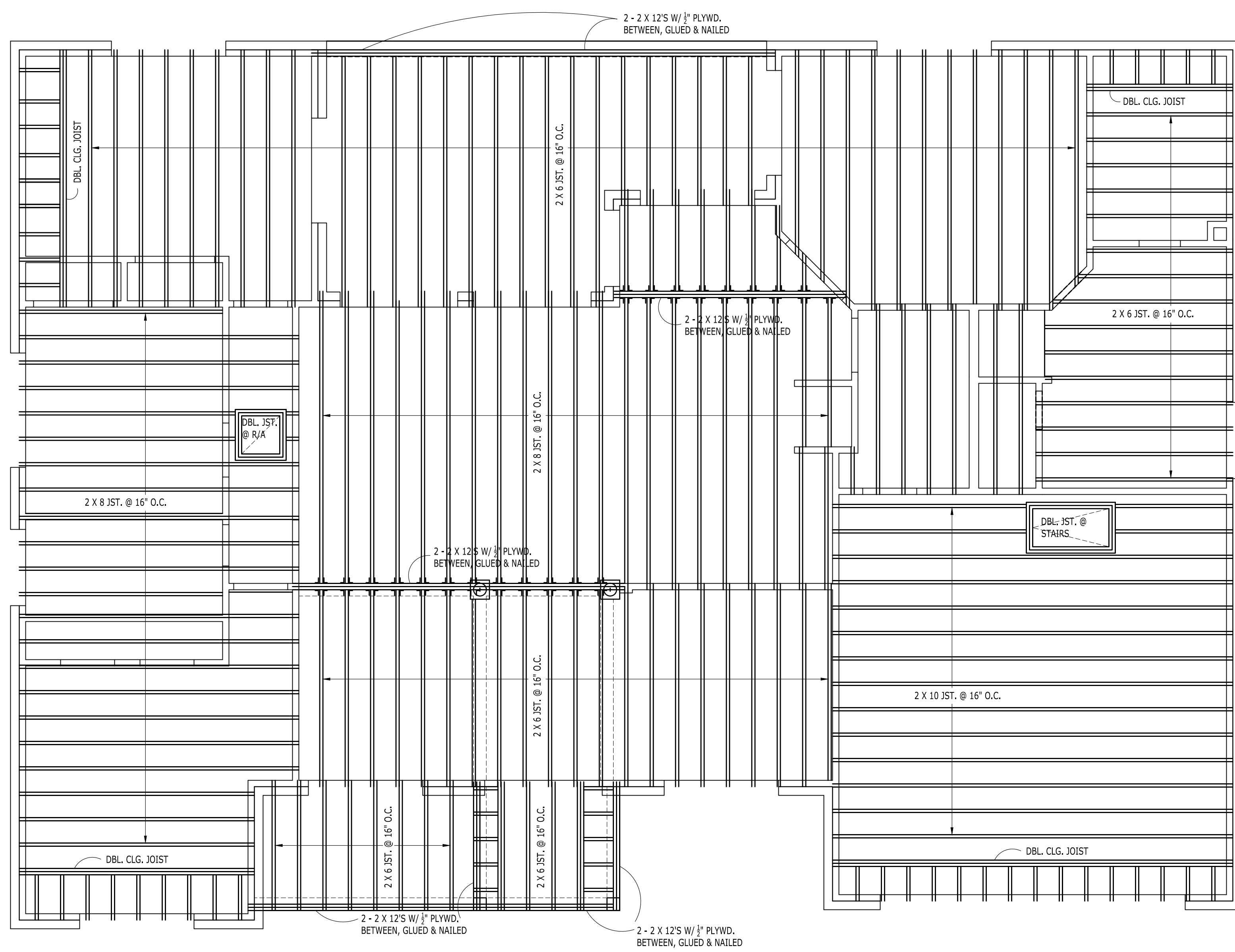
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FOUNDATION PLAN

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			306-3-22070
			PLAN NO.
			R-2064-TR

SHEET **S1.1**
OF SHEETS

DEL-PHI ENGINEERING ASSOCIATES, INC. FIRM #: 002236



CEILING FRAMING NOTES
(UNLESS OTHERWISE NOTED)

CEILING JOISTS SHALL BE #2 S.Y.P., SIZE & SPACING PER DRAWING.

HEADER SPANS BETWEEN TRIMMERS:

ONE STORY	TWO STORY
2 X 6 SPANS 6'	2 X 6 SPANS 4'
2 X 8 SPANS 8'	2 X 8 SPANS 6'
2 X 10 SPANS 10'	2 X 10 SPANS 8'
2 X 12 SPANS 12'	2 X 12 SPANS 10'

DBL. JOIST UNDER ALL LOAD BEARING PARTITIONS.

TOP WALL PLATES SHALL BE TWO CONTINUOUS 2X (SAME SIZE AS WALL BELOW).

BOTTOM SILL PLATES SHALL BE ONE CONTINUOUS 2X (SAME SIZE AS WALL ABOVE).

ALL FLUSH BEAM TO BEAM CONNECTIONS SHALL BE SIMPSON HGB OR HGLT.

CEILING JOIST & RAFTERS SHALL BE NAILED TO EACH OTHER IN ACCORDANCE W/ TABLE R602.3(1) & R802.5.1(9), & THE ASSEMBLY SHALL BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE W/ TABLE R602.3.(1). CEILING JOIST SHALL BE CONTINUOUS OR SECURELY JOINED WHERE THEY MEET OVER INTERIOR PARTITIONS & NAILED TO ADJACENT RAFTERS TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS.

A LICENSED ENGINEER MUST MODIFY AND REDRAW ACCORDINGLY TO MAKE RIGHT AND SOUND IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

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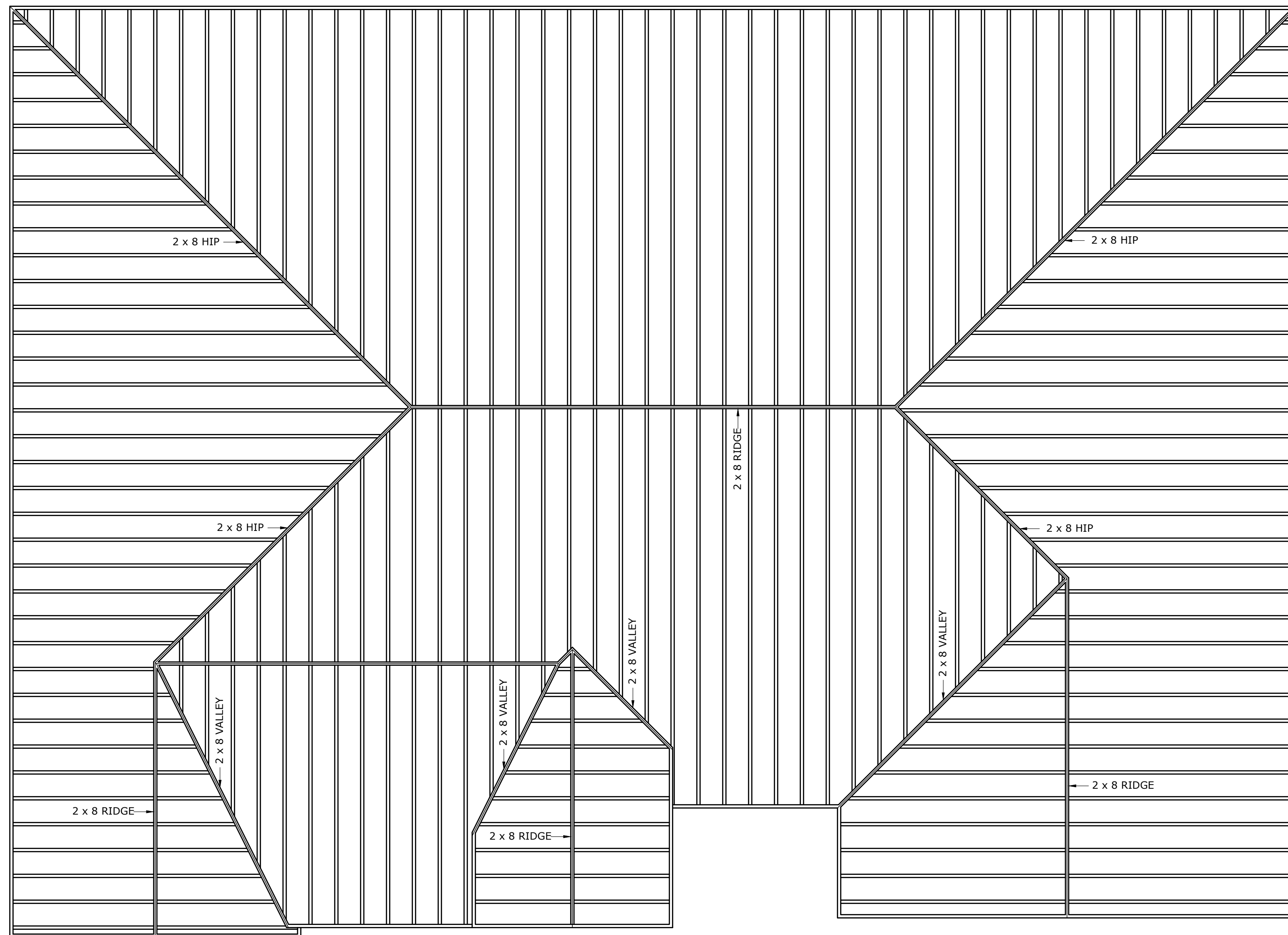
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CEILING JOIST PLAN

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JOB NO. 306-3-22070	PLAN NO. R-2064-TR	SHEET S2.1	



RAFTER FRAMING NOTES:
UNLESS NOTED OTHERWISE

- ALL CONSTRUCTION TO FOLLOW THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE, THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE AND ANY CITY AMENDMENTS TO THESE CODES.
- ROOF RAFTERS STRUCTURAL DESIGN LOADS SHALL BE BASED UPON 20 PSF LIVE / 10 PSF DEAD FOR COMPOSITION SHINGLE ROOFING AND 20 PSF LIVE LOAD AND 20 DEAD LOAD FOR TILE ROOFING. (IRC 2009 TABLE R802.5.1(2))
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2009 TABLE R802.5.1(9).
- ALL RAFTERS SHALL BE MINIMUM 2x6 #2 S.Y.P. @ 16" O.C. AND WITH NO MORE THAN 11'-2" UNSUPPORTED SPANS.
- RAFTERS SHALL BE FRAMED TO RIDGE BOARD OR TO EACH OTHER WITH A GUSSET PLATE AS A TIE. RIDGE BOARD SHALL BE AT LEAST 1-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. AT ALL VALLEYS AND HIPS THERE SHALL BE A VALLEY OR HIP RAFTER NOT LESS THAN 2-INCH NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
- CEILING JOIST AND RAFTERS SHALL BE NAILED TO EACH OTHER IN ACCORDANCE WITH IRC 2009 TABLE R602.3(1) AND R802.5.1(9), AND THE ASSEMBLY SHALL BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE WITH IRC 2009 TABLE R602.3(1). CEILING JOIST SHALL BE CONTINUOUS OR SECURELY JOINED WHERE THEY MEET OVER INTERIOR PARTITIONS AND NAILED TO ADJACENT RAFTERS TO PROVIDE A CONTINUOUS TIE ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS.
- PROVIDE 2x6 RAFTER TIES AT ALL PLATES WHERE CLG JOIST RUN PERPENDICULAR TO RAFTERS. MAX. UNSUPPORTED RAFTERS SPANS SHALL BE 12'. BRACE LONGER SPANS W/ CONT. 2x6 PURLINS SUPPORTED BY 2x4 BRACES @ 48" O.C. TO BEAM OR WALL BELOW. BRACES SHALL BE NOT LESS THAN 45 DEG. AND SHALL NOT EXCEED 8' IN LENGTH W/O LATERAL SUPPORT.
- COLLAR TIES SHALL BE 2x6 @ 48" O.C. IN UPPER ONE THIRD OF ATTIC SPACE.
- STRAP TIES OVER THE RIDGE AT EVERY THIRD RAFTER TO RAFTER CONNECTION (SIMPSON HSTA 24)
- SIMPSON STRONG TIE ANCHORS (H2) AT EVERY THIRD RAFTER TO STUD CONNECTION.
- ROOF OPENINGS SHALL HAVE DOUBLE TRIMMERS AND HEADERS (I.E. AT CHIMNEY, DORMER, ECT..)
- RAKE ROOF OUTLOOKERS SHALL BE 2x6 @ 16" O.C.
- FASCIAS AND RAKE BOARDS SHALL BE 1x8 W/ 1x2 DRIP BOARD.
- ROOF SHEATHING SHALL BE 5/8" CDX W/ RADIANT BARRIER APA RATED W/ 8D NAILS @ 6" O.C. EDGES, 12" FIELD.
- THE BUILDER AND OR OWNER SHALL BE RESPONSIBLE FOR CONSULTING WITH A LICENSED PROFESSIONAL ENGINEER REGARDING THE FOUNDATION, SUPERSTRUCTURE AND SITE DRAINAGE. HERRIDGE & ASSOC., INC. IS A PROFESSIONAL BUILDING DESIGN FIRM, NOT AN ENGINEERING FIRM AND CONSEQUENTLY IS NOT QUALIFIED NOR LICENSED TO DESIGN STRUCTURAL FRAMING OR FOUNDATIONS. SHOULD AN ENGINEER SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR RESPONSIBILITY FOR THE STRUCTURAL DESIGN. HERRIDGE & ASSOC., INC. WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY OR WITH ANY PROBLEMS ASSOCIATED WITH THE ENGINEERING ASPECTS OF THE STRUCTURE.
- THE ENGINEER NOTES SHALL, WHEN MORE RIGOROUS, SUPERSEDE THE ABOVE.

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RAFTER PLAN

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SHEET
S3.1
OF - SHEETS