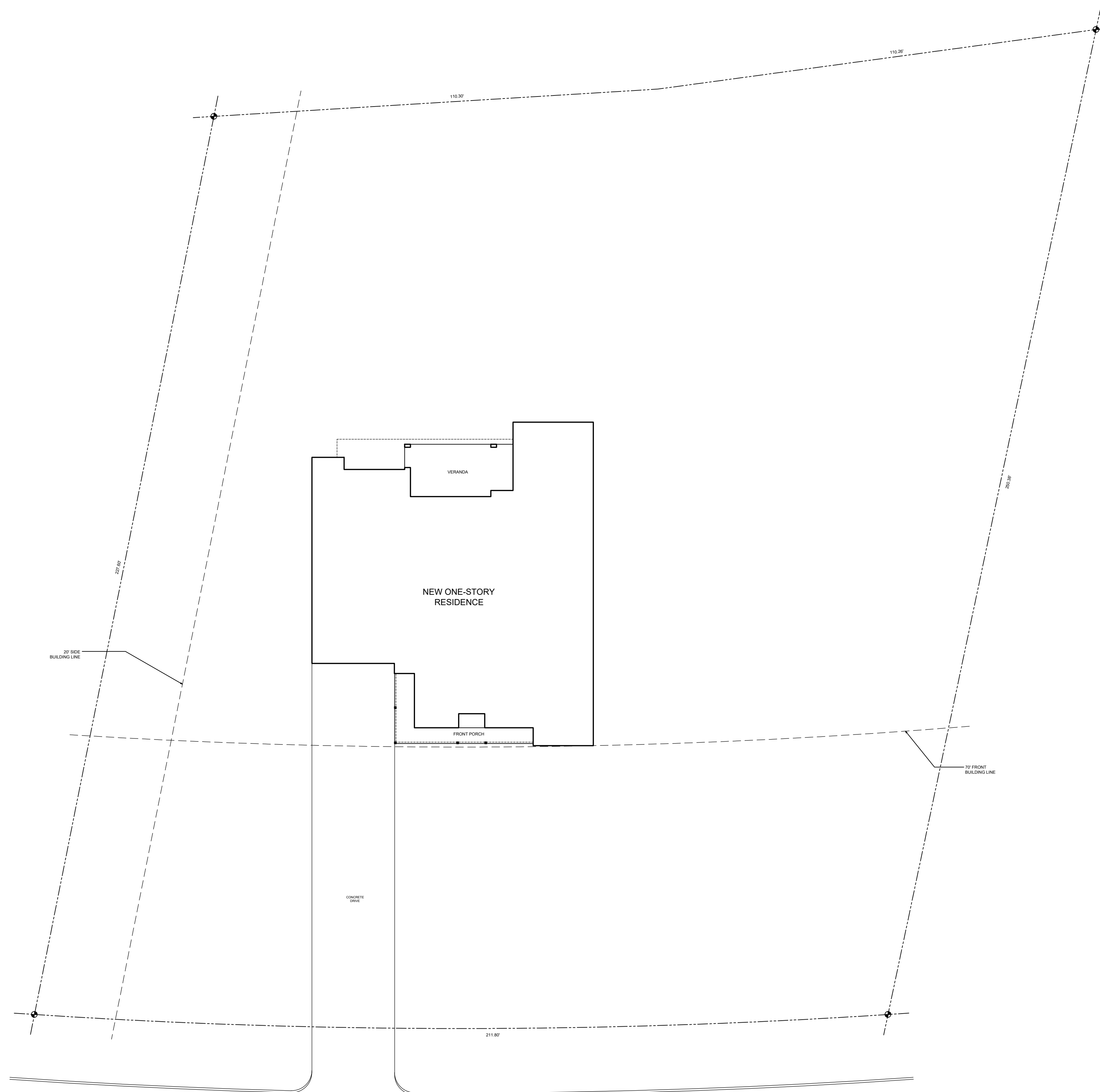


GENERAL NOTES:

1. PLANS SHALL BE BUILT PER GOVERNING CODES.
2. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE TO MAKE THEMSELVES AWARE OF ALL EXISTING CONDITIONS.
3. ALL RECEPTACLES AND OUTLETS INSTALLED IN BATHROOMS, KITCHEN, GARAGES, OUTDOORS, TO BE G.F.I. PROTECTED.
4. PROVIDE BLOCKING BETWEEN STUDS AND JOISTS FOR ANCHORAGE OF CABINETS, CEILING FANS AND BATH ACCESSORIES.
5. PROVIDE BLOCKING AS REQUIRED FOR SWITCHES TO BE PLACED WITHIN 3" OF ADJACENT CASING AND OUTLETS TO BE LOCATED AS PER DRAWINGS AND SPECIFICATIONS.
6. ALL SMOKE DETECTORS TO BE 110 VOLTS.
7. ALL CLOSET LIGHT FIXTURES TO BE LENSED AND 12" MIN. FROM ANY ROD OR SHELF AND 6" MIN. FROM ANY GYP. BD. WALL.
8. ATTIC AREA FOR A/C UNIT TO BE CLEAR OF FRAMING AND BRACING.
9. PROVIDE ONE ATTIC LIGHT AT EACH ATTIC A/C UNIT.
10. PROVIDE FIRESTOPPING AT FURRODOWNS, SOFFITS, DROPPED CEILINGS, STAIRS, VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES, BREEZEWAYS AND SIMILAR OPENINGS WHICH AFFORD PASSAGE OF FIRE AT CEILINGS AND OPENINGS WHICH AFFORD PASSAGE OF FIRE AT CEILING AND FLOOR LEVELS. PROVIDE FIRESTOPPING AND DRAFTSTOPPING PER 2000 I.R.C.
11. MAXIMUM BEDROOM FINISHED SILL HEIGHT IS 44" A.F.F. WITH A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET AND A MINIMUM OPENING WIDTH OF 20".
12. ALL FOUNDATION PLATES, SILLS AND SLEEPERS SHALL BE PRESSURE TREATED WOOD.
13. GLAZING AT SHOWER, BATHTUB DOORS AND ENCLOSURE SHALL BE IMPACT RESISTANT.
14. MAINTAIN 1" CLEARANCE BETWEEN CHIMNEY AND EXTERIOR COMBUSTIBLE MATERIAL. OR 2" CLEARANCE BETWEEN CHIMNEY AND INTERIOR FRAMING.
15. ALL EXHAUST FANS, DRYER VENTS AND WATER HEATER VENTS SHALL BE VENTED TO OUTSIDE OF BUILDING. VERIFY LOCATION WITH ARCHITECT.
16. ALL PLUMBING VENTS SHALL BE GANGED TOGETHER AND PENETRATE ROOF ON BACK SIDE OF HOUSE.
17. ALL DIMENSIONS ON ARCHITECTURAL PLANS A-2, A-3, A-4 ARE TO FACE OF STUD.
18. PROVIDE SUFFICIENT FURRING SO THAT VENT AND SOIL PIPES DO NOT PENETRATE WOODEN PLATE.
19. INSTALL GAS LINES AND FURNACE AS PER 2000 I.R.C. AND PER MANUFACTURER'S RECOMMENDATIONS.
20. ALL MOULDINGS SHALL BE CONTINUOUS AND UNINTERRUPTED BY LIGHT SWITCHES, ELECTRICAL OUTLETS, A/C GRILLES, ETC. CONTRACTOR SHALL CONSULT WITH ARCHITECT IN CASE OF CONFLICT.
21. ALL DOOR AND WINDOW MILLWORK TO BE UNBROKEN EXCEPT AT CORNERS.
22. INSULATION FLAME SPREAD SHALL NOT EXCEED 25 AND SMOKE DENSITY SHALL NOT EXCEED 450.
23. ALL GLASS DOORS SHALL COMPLY WITH 2000 I.R.C. GLASS DOORS AND WINDOWS SHALL BE TEMPERED AS REQUIRED BY CODE.
24. NO FINISHED CABINET OR DOOR HARDWARE SHALL BE INSTALLED PRIOR TO FINISH COAT OF PAINT ON DOORS AND CABINETS.
25. STAIR RAILS SHALL BE 34" MAX. ABOVE RISERS AND BALCONY RAILS SHALL BE 36" ABOVE FINISHED FLOOR. PROVIDE BALUSTERS AS ALL RAILS AT 4" O.C. MAX. DESIGN AND INSTALL AS PER 2000 I.R.C.
26. ADJUST THE PLACEMENT OF ALL FRAMING AS REQUIRED TO MAINTAIN THE EXACT LIGHT FIXTURE OR OTHER CEILING PENETRATION LOCATIONS THAT ARE IDENTIFIED ON THE ARCHITECTURAL DRAWING.
 - A. ADD ADDITIONAL FRAMING MEMBERS AS REQUIRED TO MAINTAIN THE CORRECT MEMBER SPACING INDICATED ON THE STRUCTURAL DRAWINGS.
 - B. IF THE DESIGN INTENT OF THE CEILING LAYOUT IS NOT CLEAR AND THE FIXTURE LOCATION IS NOT SPECIFICALLY DIMENSIONED, CONTACT THE ARCHITECT.
27. UNLESS OTHERWISE NOTED OR DIMENSIONED, ALL DOORS WILL BE LOCATED BY ONE OF THE FOLLOWING METHODS.
 - A. CENTER BETWEEN FLANKING PERPENDICULAR WALLS.
 - B. FINISH FACE OF HINGE JAMB SET 4" OFF PERPENDICULAR WALL FINISH.
 IF THE DESIGN CONTENT IS UNCLEAR, CONTACT THE ARCHITECT.
28. FOR CEILING HEIGHTS, CEILING FURRODOWNS AND CEILING PROFILES, REFER TO THE ARCHITECTURAL FLOOR PLANS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS. WHEN THE DESIGN INTENT OR SPECIFIC DIMENSIONS ARE UNCLEAR, CONTACT THE ARCHITECT IMMEDIATELY.
29. PROVIDE ACCESS PANELS OR SCUTTLE HOLES TO MINOR ATTIC SPACES AS REQUIRED.
30. LAUNDRY ROOMS AND SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20TH OF THE FLOOR AREA OF SUCH ROOMS WITH A MINIMUM OF 1 2/3" SQUARE FEET. IN LIEU OF NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM CONNECTED DIRECTLY TO THE OUTSIDE AND CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR SHALL BE PROVIDED.
31. WHERE WOOD FRAME WALLS AND PARTITIONS ARE COVERED ON THE INTERIOR WITH PLASTER, TILE OR SIMILAR MATERIALS AND ARE SUBJECT TO WATER SPLASH, THE FRAMING SHALL BE PROTECTED WITH APPROVED WATERPROOF PAPER.
32. SHOWER STALL WALLS SHALL BE FINISHED WITH A HARD NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. SHOWER STALLS SHALL HAVE A MEMBRANE PAN EXTENDING UP WALLS 12" ABOVE SILL OR BENCH.
33. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED. UTILITY TAP FEES AND CONNECTION PERMITS SHALL BE PAID BY CONTRACTOR.
34. ALLOW FOR 1 1/2" T & G PLYWOOD FLOORED ATTIC.
35. ALL PREFABRICATED FIREPLACES SHALL BE IBOUL APPROVED AND A COPY OF THE INSTALLATION MANUAL WILL BE AVAILABLE AT THE JOB SITE FOR THE INSPECTOR'S REVIEW.
36. ALL GYPSUM BOARD SHALL BE 1/2" UNLESS OTHERWISE NOTED.
37. CONTRACTOR SHALL COMPLY WITH LOCAL CODES REGARDING SITE AND TREE PROTECTION.
38. REFERENCE SOIL ENGINEER FOR TREE REMOVAL PROCEDURES.
39. GARAGE DOOR TO HOUSE SHALL BE FIRE RATED AND HAVE AUTOMATIC CLOSURE.
40. GENERAL CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES AND CITY OF HOUSTON REGARDING LOCATION OF GAS AND ELECTRICITY METERS. PREFERRED LOCATION IS INDICATED ON THE DRAWINGS.
41. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE EXECUTION OF A COMPLETE PIECE OF FIRST CLASS WORK, IN ACCORDANCE WITH THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE, WITHOUT EXTRA CHARGE, ALL ORDINARY INCIDENTAL ITEMS REQUIRED AS PART OF THE WORK.
42. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO CONSTRUCTION. **ALL DIMENSIONS ARE TO FACE OF STUDS.**
43. INSTALL GAS AND FURNACE AS PER 2000 I.R.C. AND PER MANUFACTURER'S RECOMMENDATIONS.
44. LOCATE ALL HVAC SYSTEMS IN ATTIC UNLESS OTHERWISE NOTED.
45. ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. ALL INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. WHEN THE DESIGN INTENT OR SPECIFIC DIMENSIONS ARE UNCLEAR, CONTACT THE ARCHITECT IMMEDIATELY.
46. ALL TRANSOMS TO HAVE 2" MIN. GASH. NO GLASS INSTALLED DIRECTLY IN DOOR OR WINDOW FRAME.
47. GRASPABILITY FOR ALL HANDRAILS 1 1/2" - 2".
48. PROVIDE 3/4" HOT AND COLD WATER LINES TO MASTER BATH TUB AND SHOWER DIRECTLY TO MAIN WATER SERVICE.
49. THE FIREPLACE CHIMNEY SHALL COMPLY WITH SECTION R100.6 (TERMINATION).
50. SMOKE DETECTORS SHALL COMPLY WITH R317.1 & R317.2.
51. INSTALL FIRE SPRINKLER SYSTEM PER CITY OF BELLAIRE CODE.
52. 1/2" GYP. BD. ROUND CORNERS ALL DOORS AND WINDOWS EXCEPT WHERE NOTED ON PLANS.
53. ALL ELEVATOR SHAFTS TO BE ABOVE BASE FLOOD ELEVATION.
54. NO WOOD 18" OR BELOW ON CRAWL SPACE FOUNDATIONS.



FM- 1008

1 SITE PLAN
SCALE: 1/8"=1'-0"

DRAWING INDEX

ARCHITECTURAL

- A-1 SITE PLAN / GENERAL NOTES
- A-2 FIRST FLOOR PLAN
- A-2.1 GARAGE OPTIONS
- A-3 FIRST FLOOR ELECTRICAL / LIGHTING PLAN
- A-4 ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 BUILDING SECTIONS
- A-8 WALL SECTIONS & DETAILS

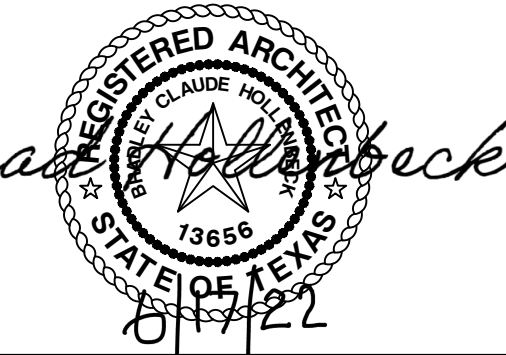
LEGAL DESCRIPTION

PROJECT AREA

FIRST FLOOR (HEATED)	3,764 SF
SECOND FLOOR (HEATED)	282 SF
TOTAL (HEATED)	4,046 SF
2-CAR GARAGE	476 SF
FRONT PORCH	225 SF
VERANDA	338 SF
TOTAL AREA	5,085 SF

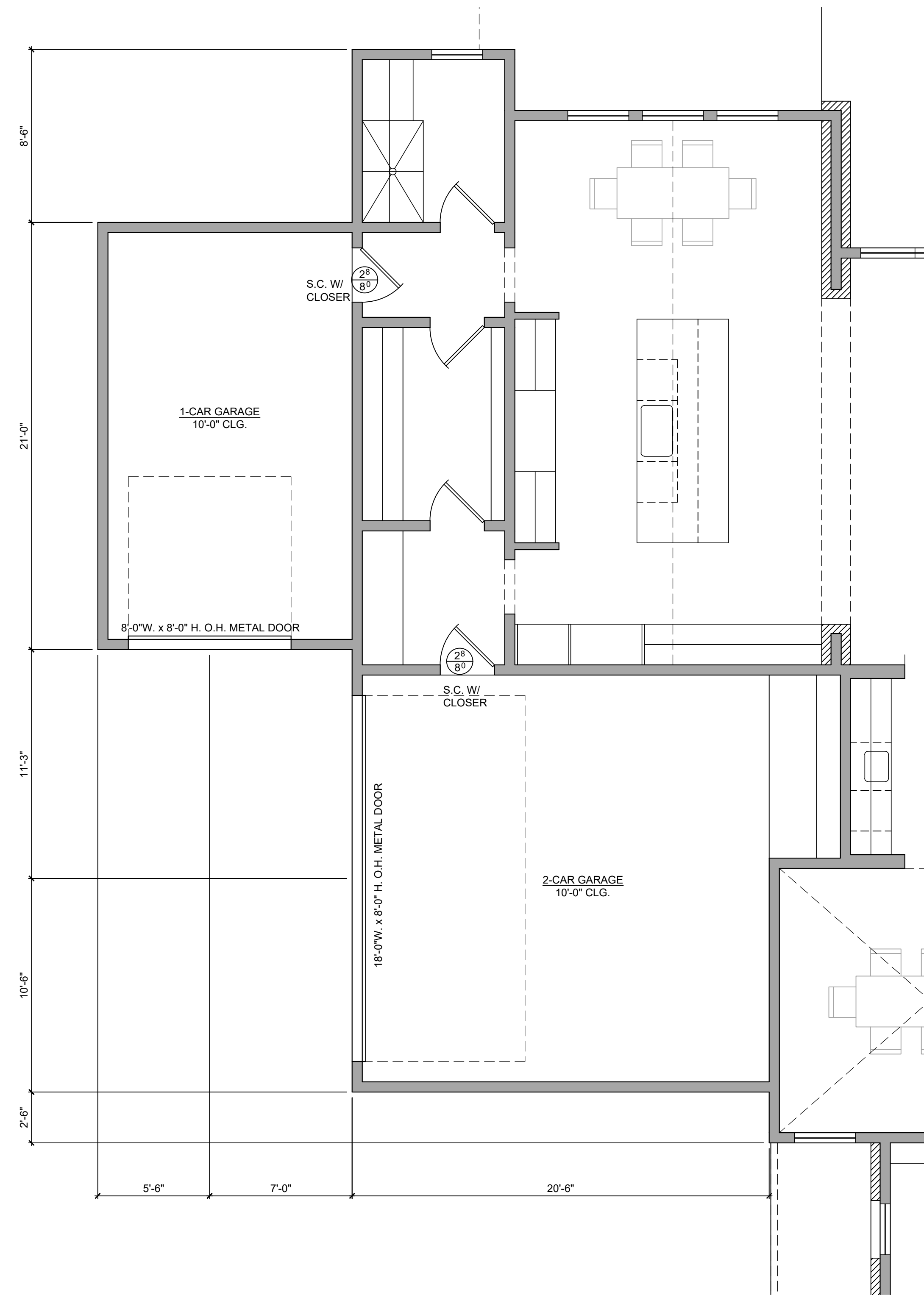
1 car garage option additional 263 sq ft

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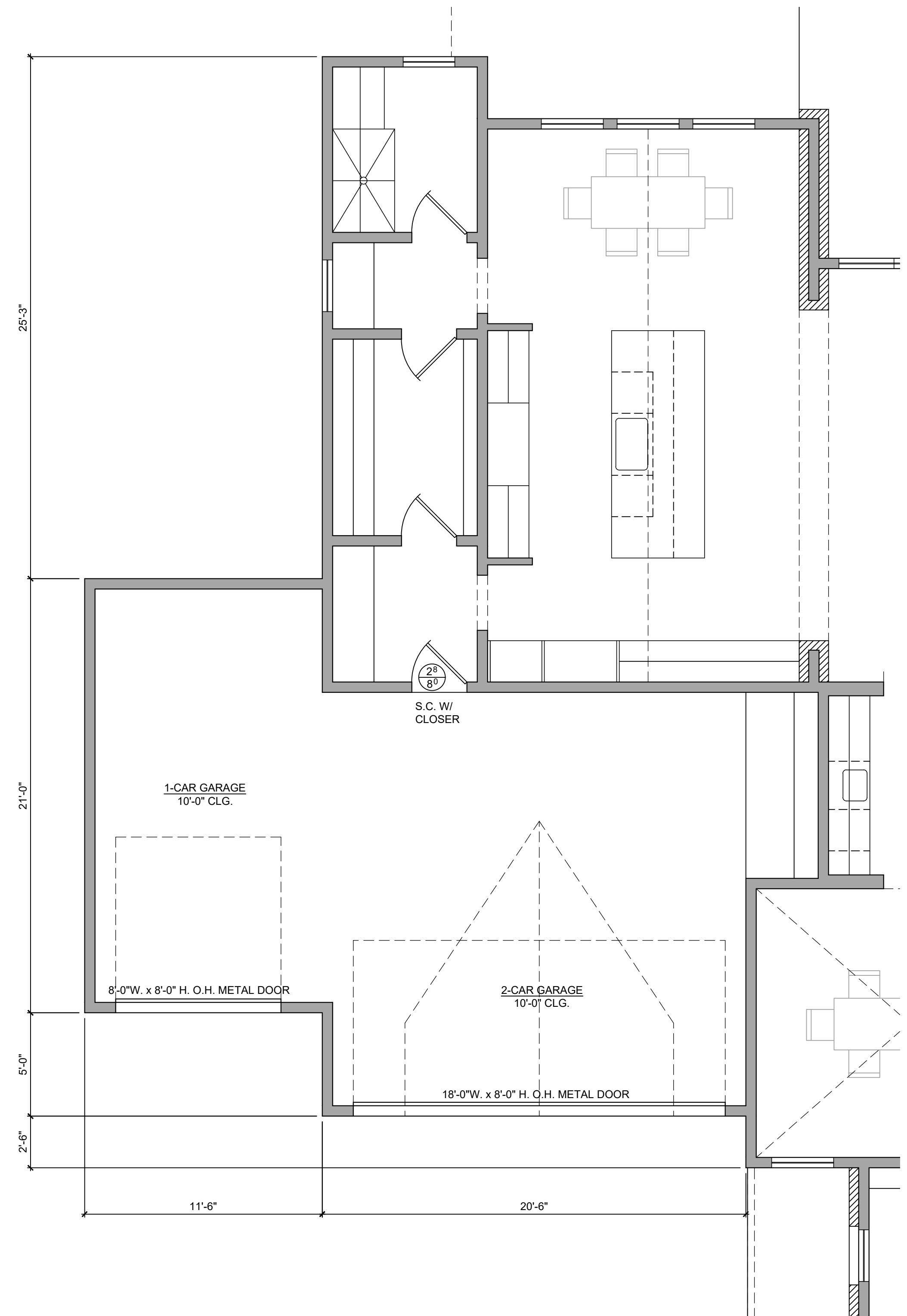


BRAD HOLLENBECK
REGISTERED ARCHITECT
STATE OF TEXAS
13656
04/12

AURORA CUSTOM HOMES The Richmond Houston, Texas	Project No: 2207 Drawn By: PD Checked By: BH
HOLLENBECK ARCHITECTS, INC. 3701 Kirby Drive, Suite 912 Houston, Texas 77098 (713) 529-5535 Fax (713) 529-5567	Date: 06/17/22 Sheet No: A-1 OF 12

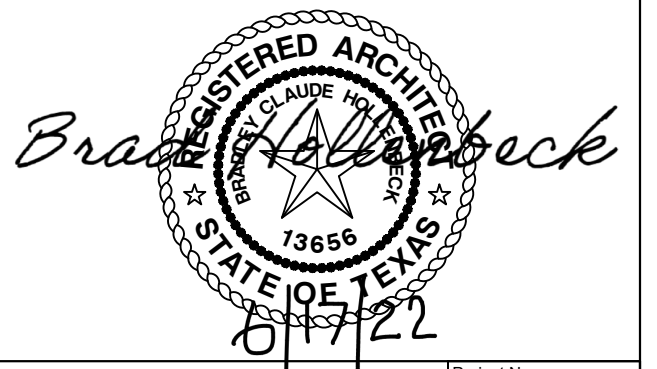


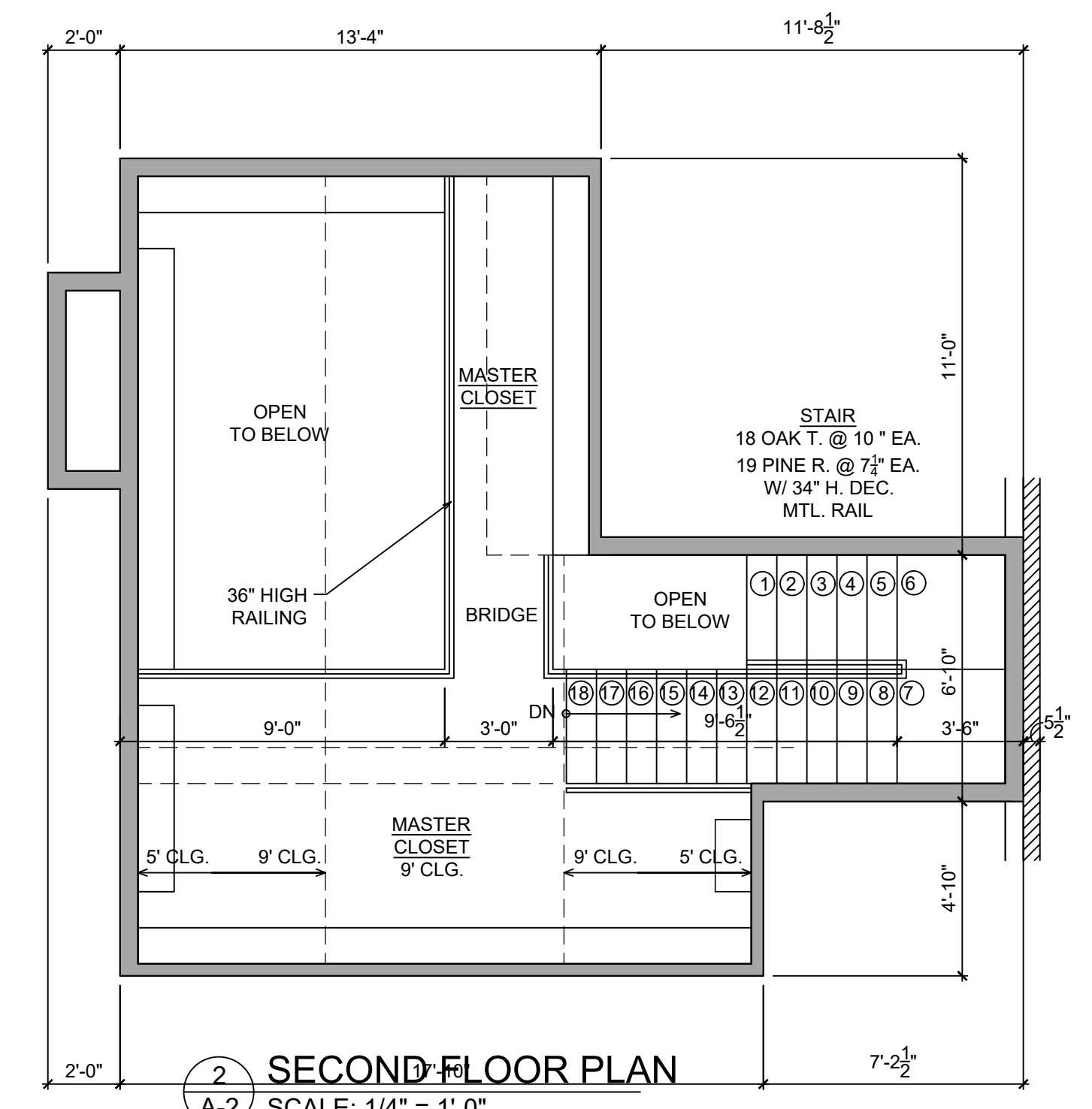
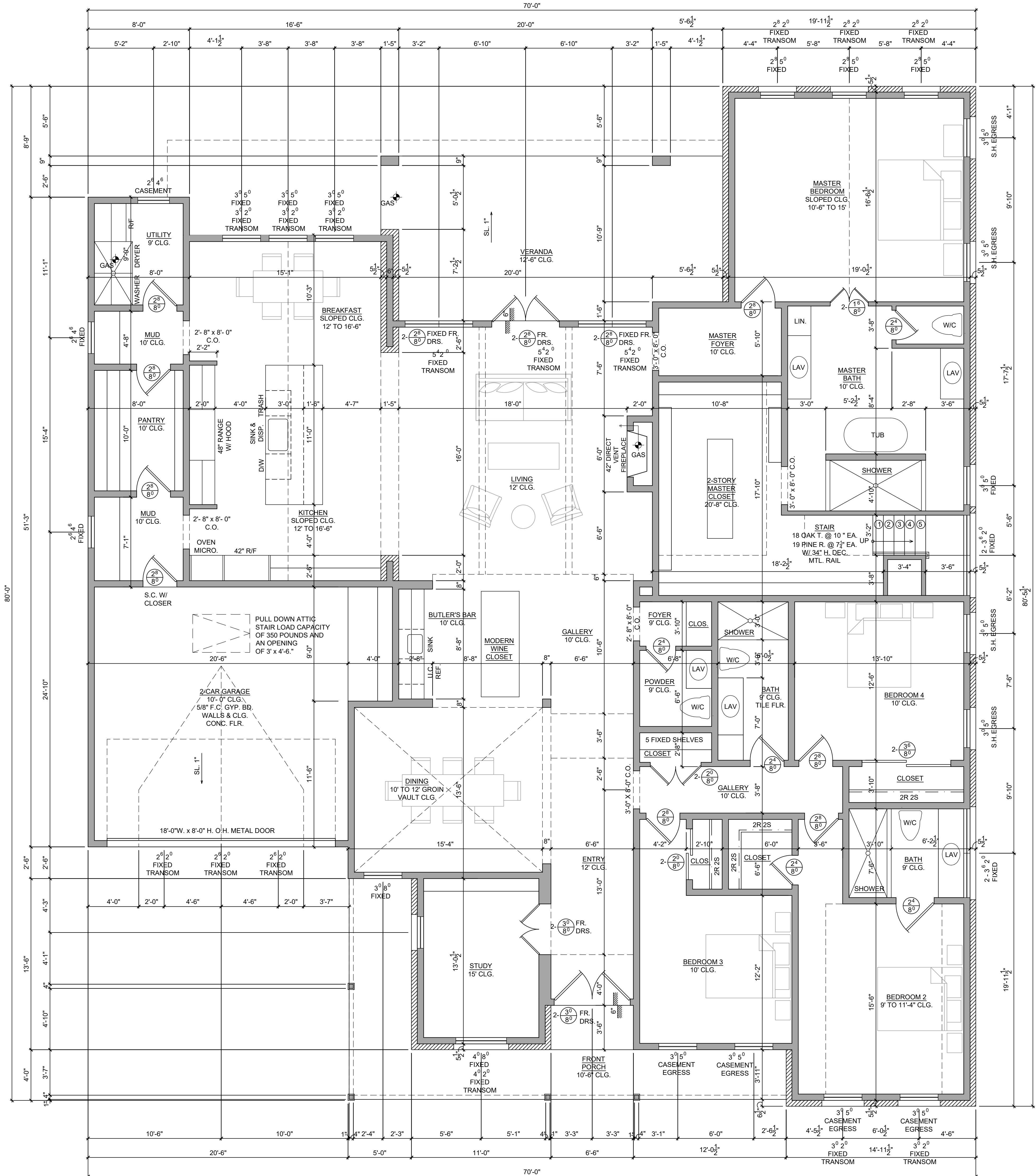
1 GARAGE OPTION "B"
A-2 SCALE: 1/4" = 1'-0"



1 GARAGE OPTION "C"
A-2 SCALE: 1/4" = 1'-0"

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A-2.1 of	



2 SECOND FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"

1 FIRST FLOOR PLAN
A-2 SCALE: 1/4" = 1'-0"

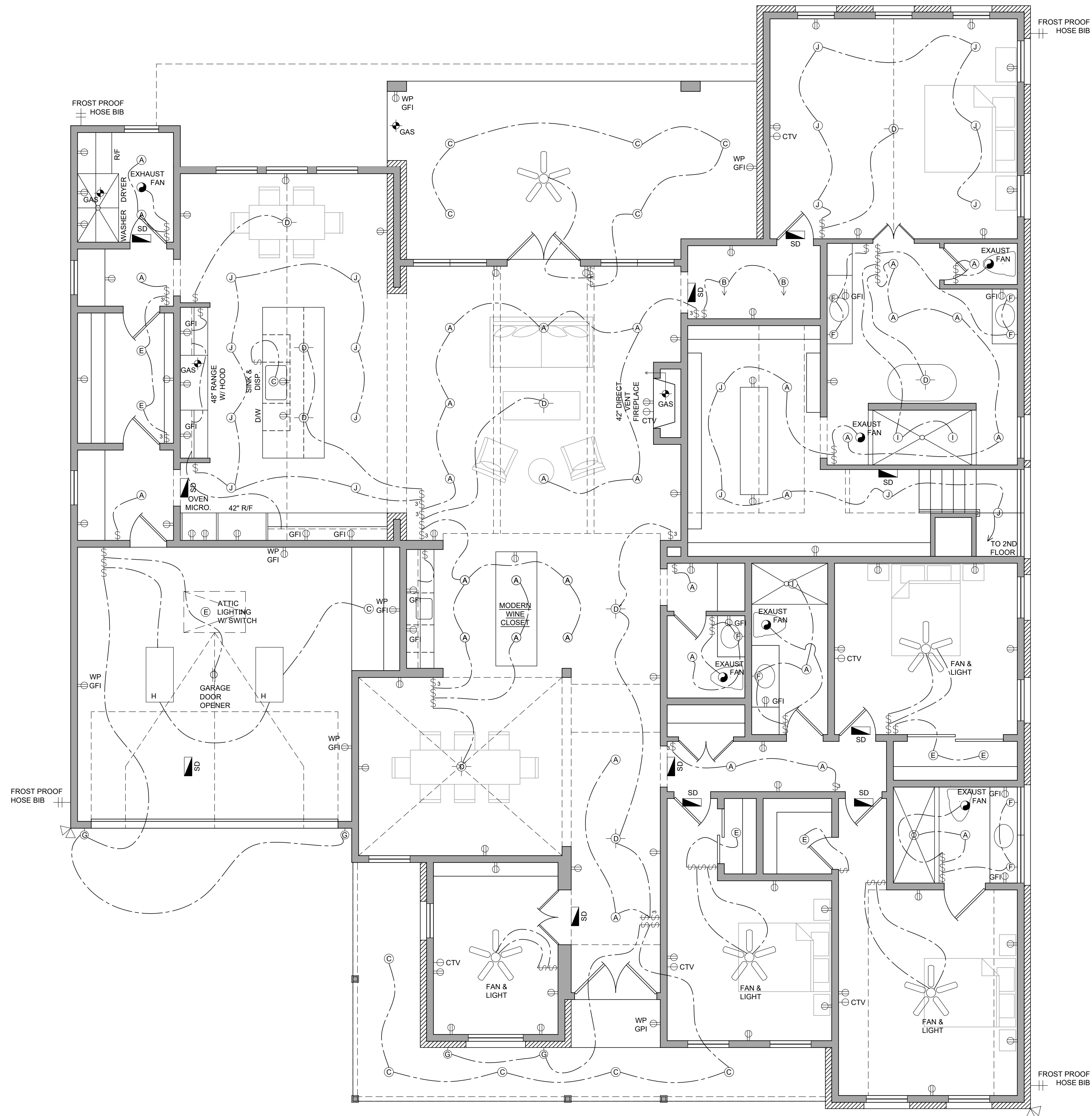
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REGISTERED ARCHITECT
CLAUDE HOLLERBECK
73656
STATE OF TEXAS
06/17/22

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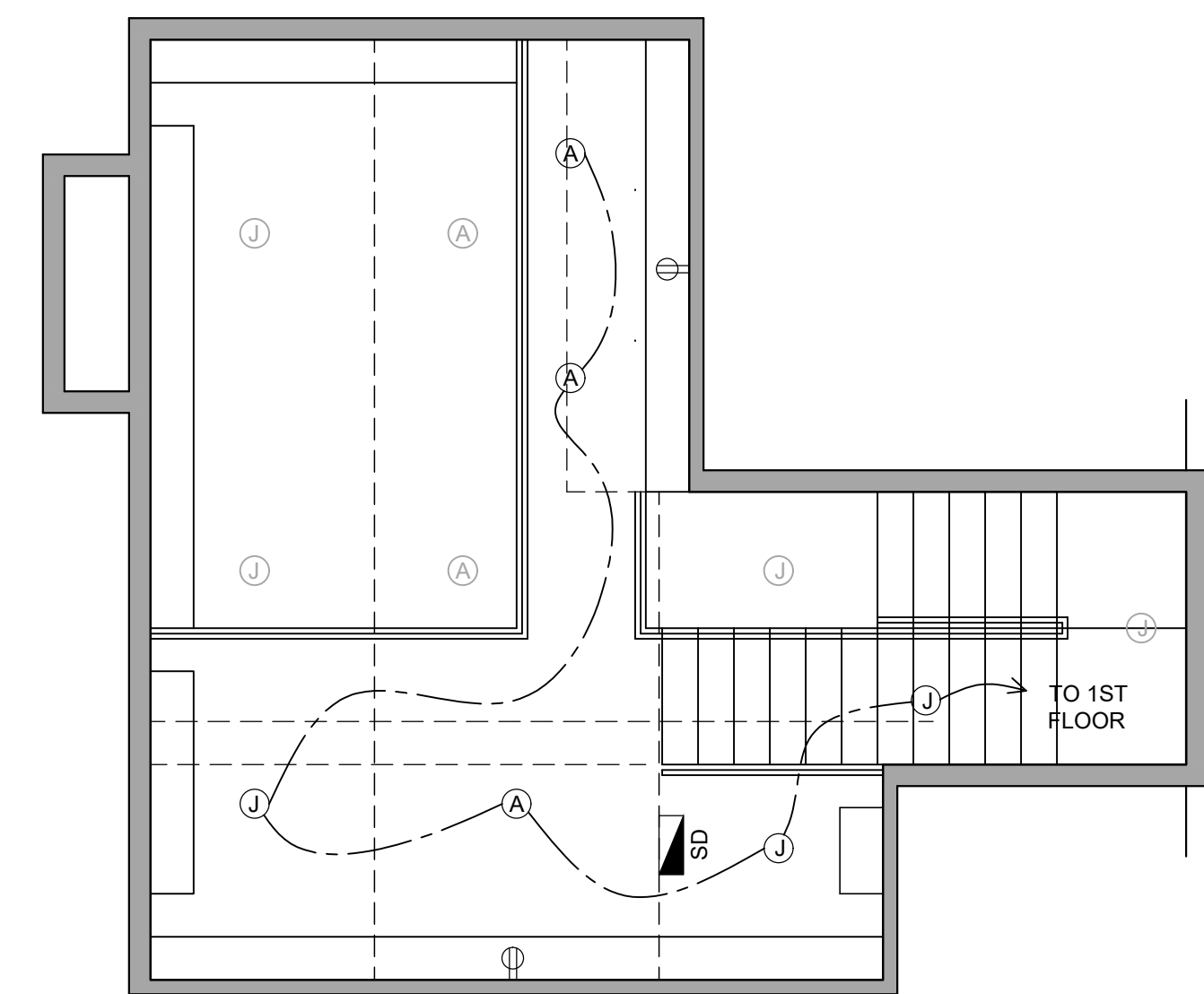
AURORA
CUSTOM HOMES
The Richmond
Houston, Texas

HOLLENBECK
ARCHITECTS, INC.
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Houston, Texas 77098
(713) 529-5535 Fax (713) 529-5567



1 FIRST FLOOR ELECTRICAL / LIGHTING PLAN
SCALE: 1/4" = 1'-0"

2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE: OWNER TO APPROVE ALL OUTLETS & SWITCH LOCATIONS PRIOR TO COVER UP.

ELECTRICAL SYMBOL LEGEND

- EXHAUST FAN
- 110 V DUPLEX OUTLET
- 220 V DUPLEX OUTLET
- 110 DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER WATERPROOFED
- JB JUNCTION BOX SWITCHED TO WALL
- CTV CABLE TV
- ETHERNET
- TELEPHONE OUTLET
- SMOKE DETECTOR SHALL COMPLY WITH SECTION PER R314
- OUTDOOR PHOTOCELL / (MOTION SENSOR) SWITCHED FLOODLAMPS
- D DIMMER
- WALL MOUNTED SWITCH
- S SPEAKER
- CO CARBON MONOXIDE DETECTOR PER IRC R315
- WP WEATHER PROOF IN SERVICE (BUBBLE COVER)
- FLOOR 110 VAC
- COMPLY NEC 210.8, 210.52
- COMPLY NEC 210.12, 406.12

LIGHTING SCHEDULE

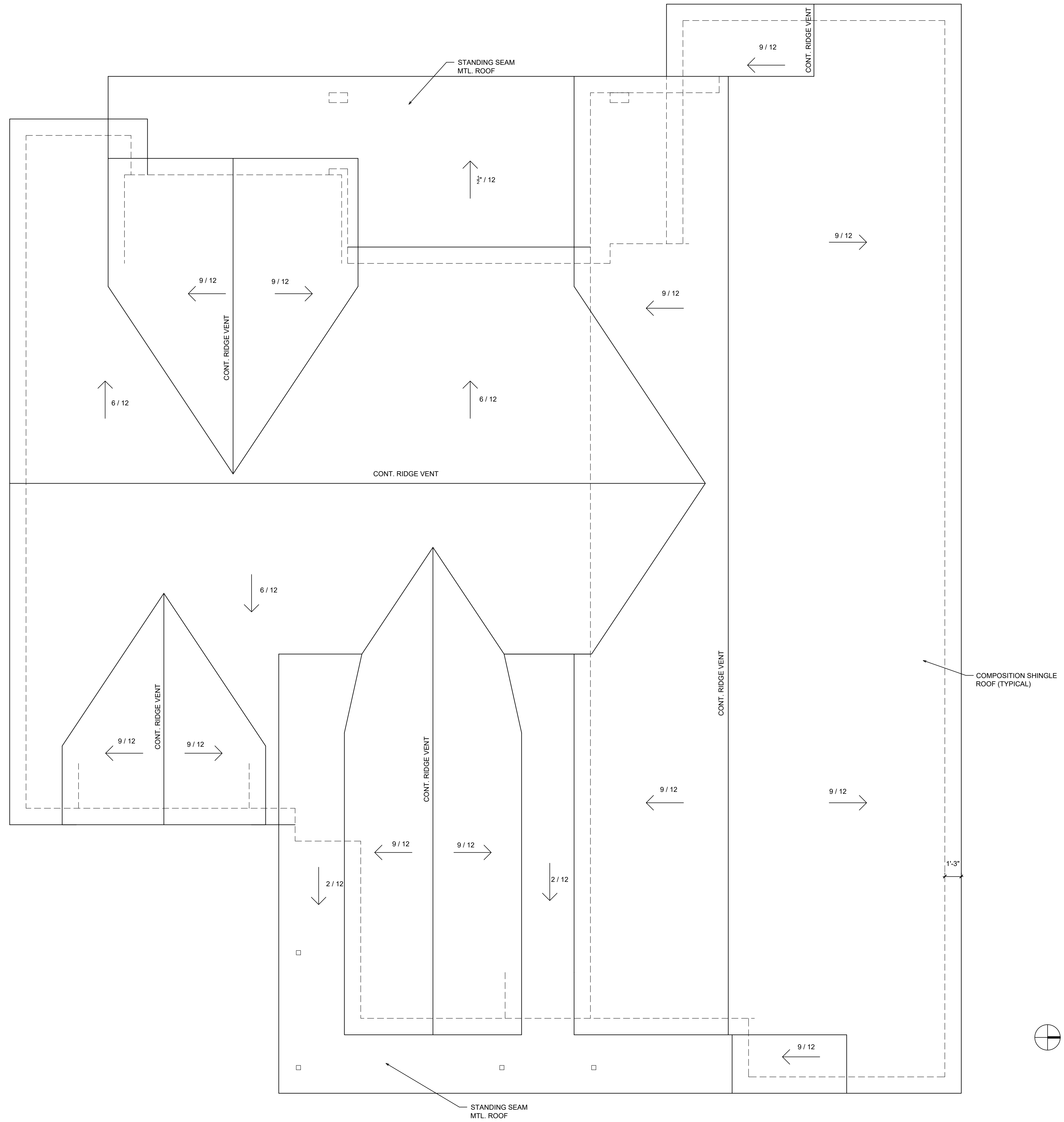
- A. RECESSED FIXTURE
- B. DIRECTIONAL RECESSED FIXTURE
- C. RECESSED EXTERIOR WATERPROOF FIXTURE
- D. DECORATIVE HANGING FIXTURE
- E. SURFACE MOUNTED CEILING FIXTURE PER NEC 410.16
- F. DECORATIVE SURFACE MOUNTED SCENCE
- G. SURFACE MOUNTED EXTERIOR WATERPROOF SCENCE
- H. SURFACE MOUNTED 2x4 FLUORESCENT
- I. RECESSED INTERIOR WATERPROOF FIXTURE
- J. SLOPED RECESSED FIXTURE
- K. RECESSED FLOOR FIXTURE
- L. LOW VOLTAGE FIXTURE
- P. PUCK FIXTURE
- S. STEP LIGHT
- TL. TAPE LIGHT

NOTE: SMOKE DETECTORS SHALL BE HARDWIRED, INTER-CONNECTED, AND WITH BATTERY BACKUP.

NOTE: ELECTRICAL OUTLETS TO BE IN BASEBOARD AT FIRST FLOOR.

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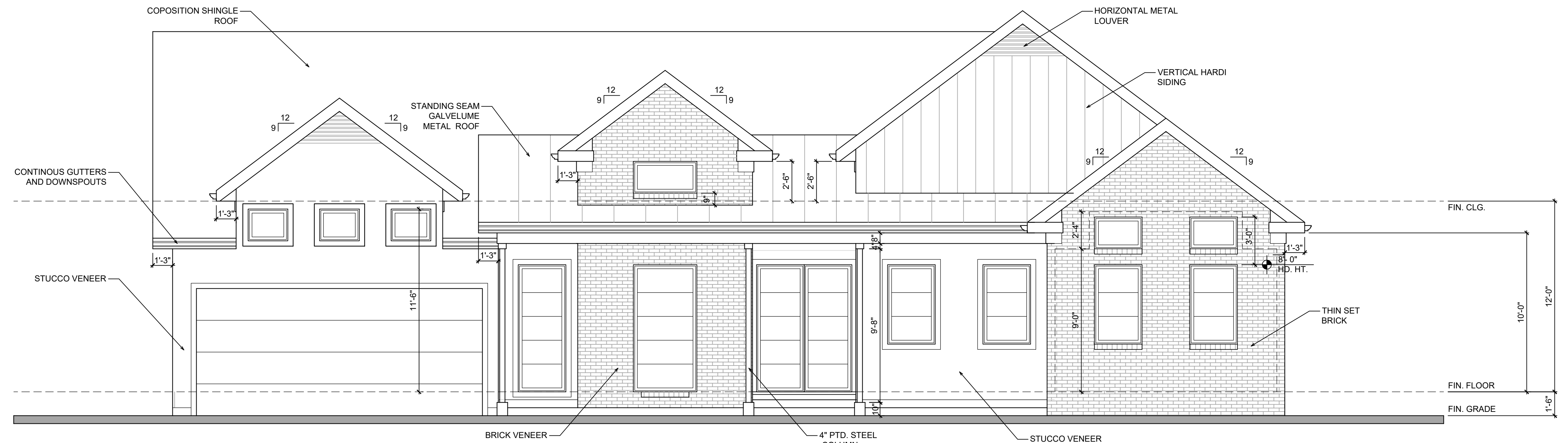
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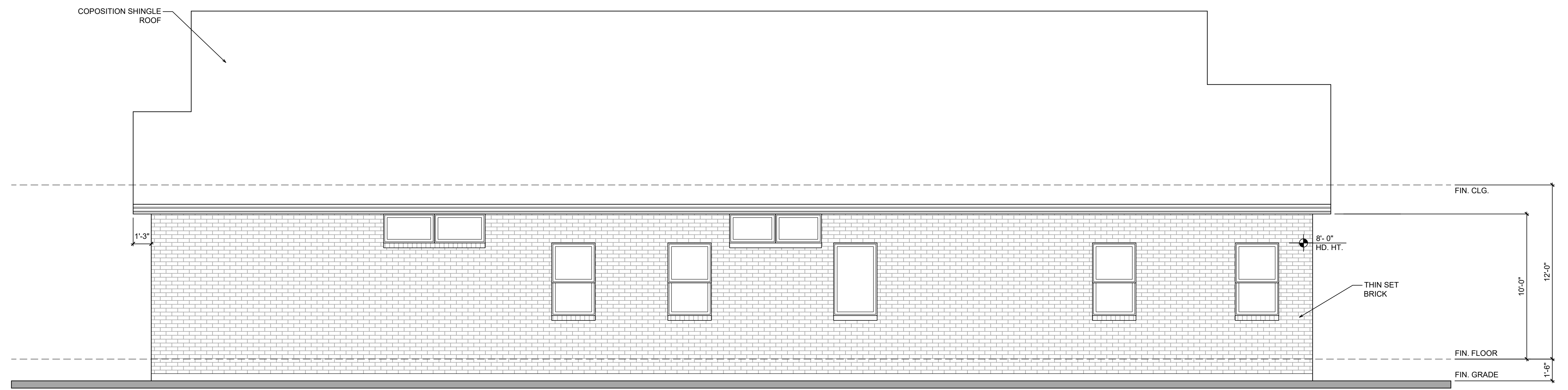
1 ROOF PLAN
A-4 SCALE: 1/4" = 1'-0"

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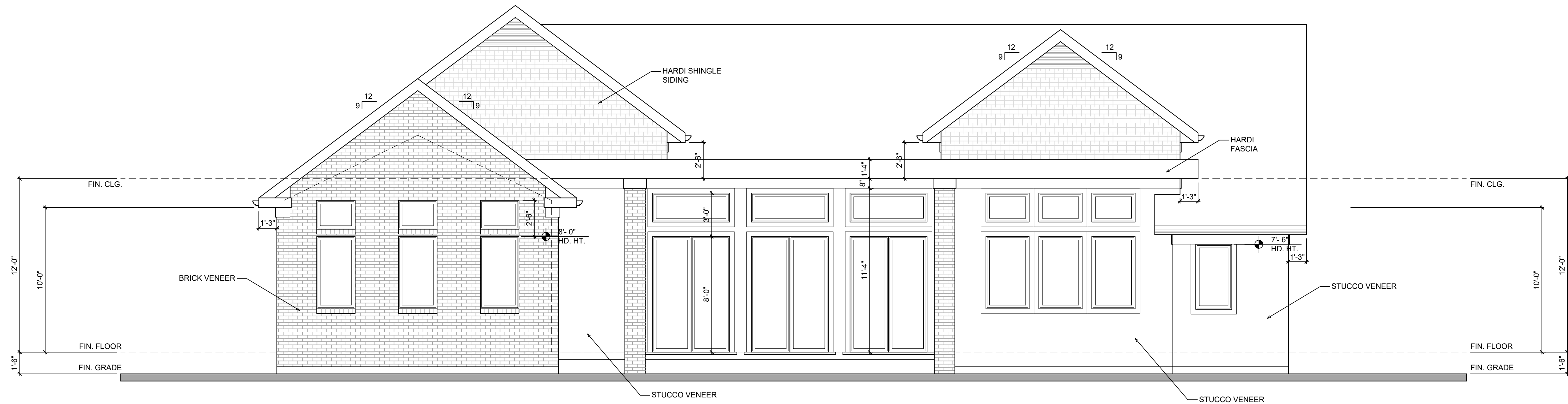
1 FRONT ELEVATION
 A-7 SCALE: 1/4" = 1'-0"



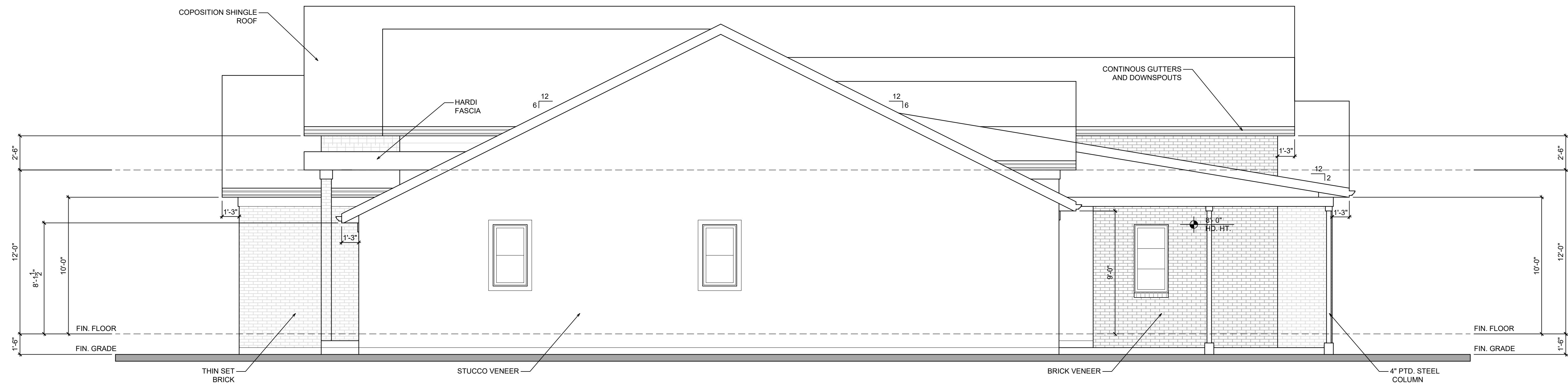
2 SIDE ELEVATION
 A-7 SCALE: 1/4" = 1'-0"

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	OF 12	

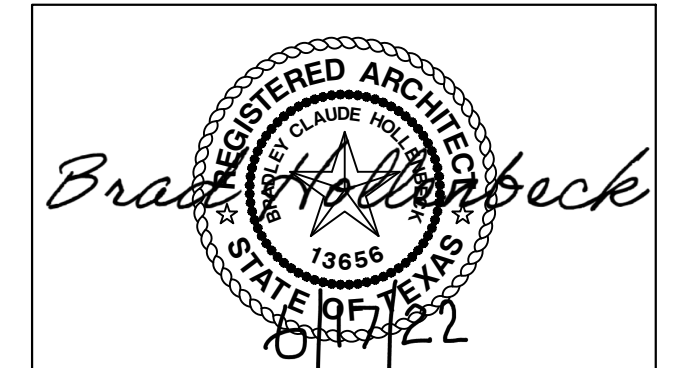


1 BACK ELEVATION
A-8 SCALE: 1/4" = 1'-0"



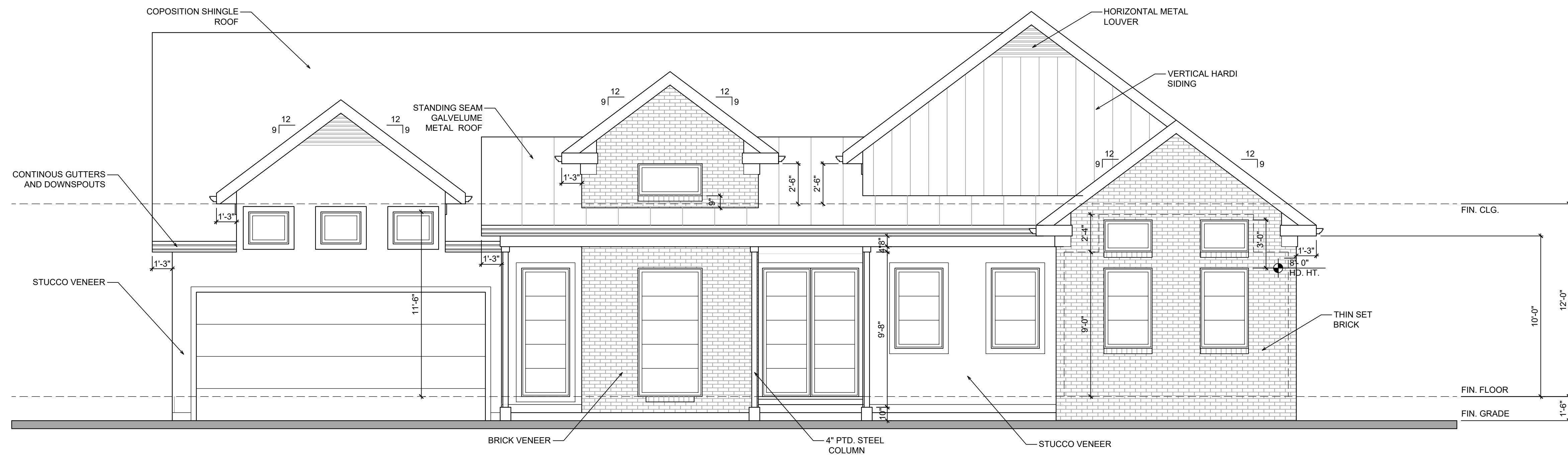
2 SIDE ELEVATION
A-8 SCALE: 1/4" = 1'-0"

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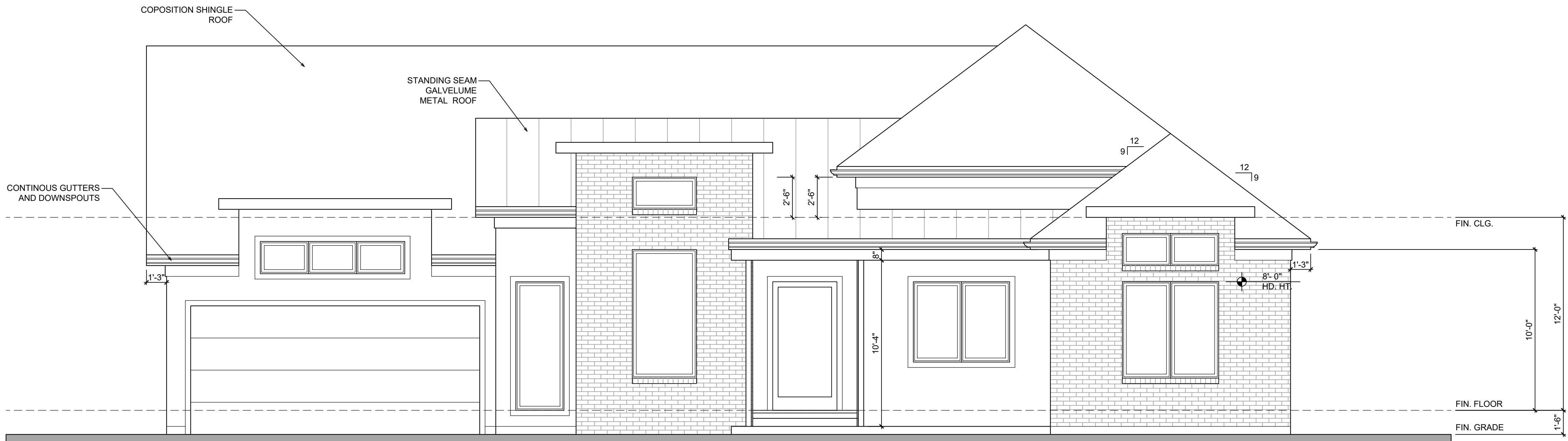


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1 FRONT ELEVATION
A-7 SCALE: 1/4" = 1'-0"



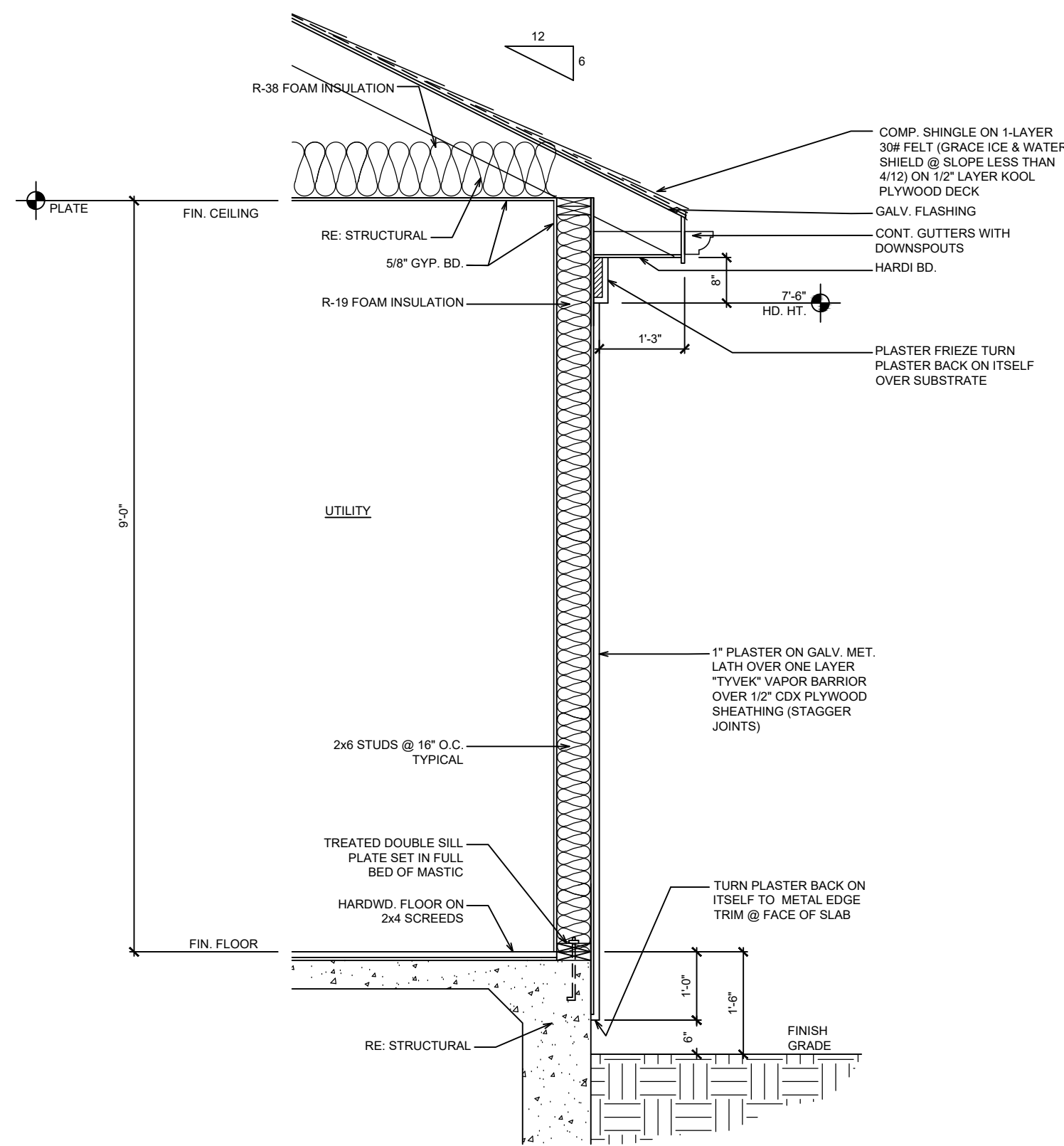
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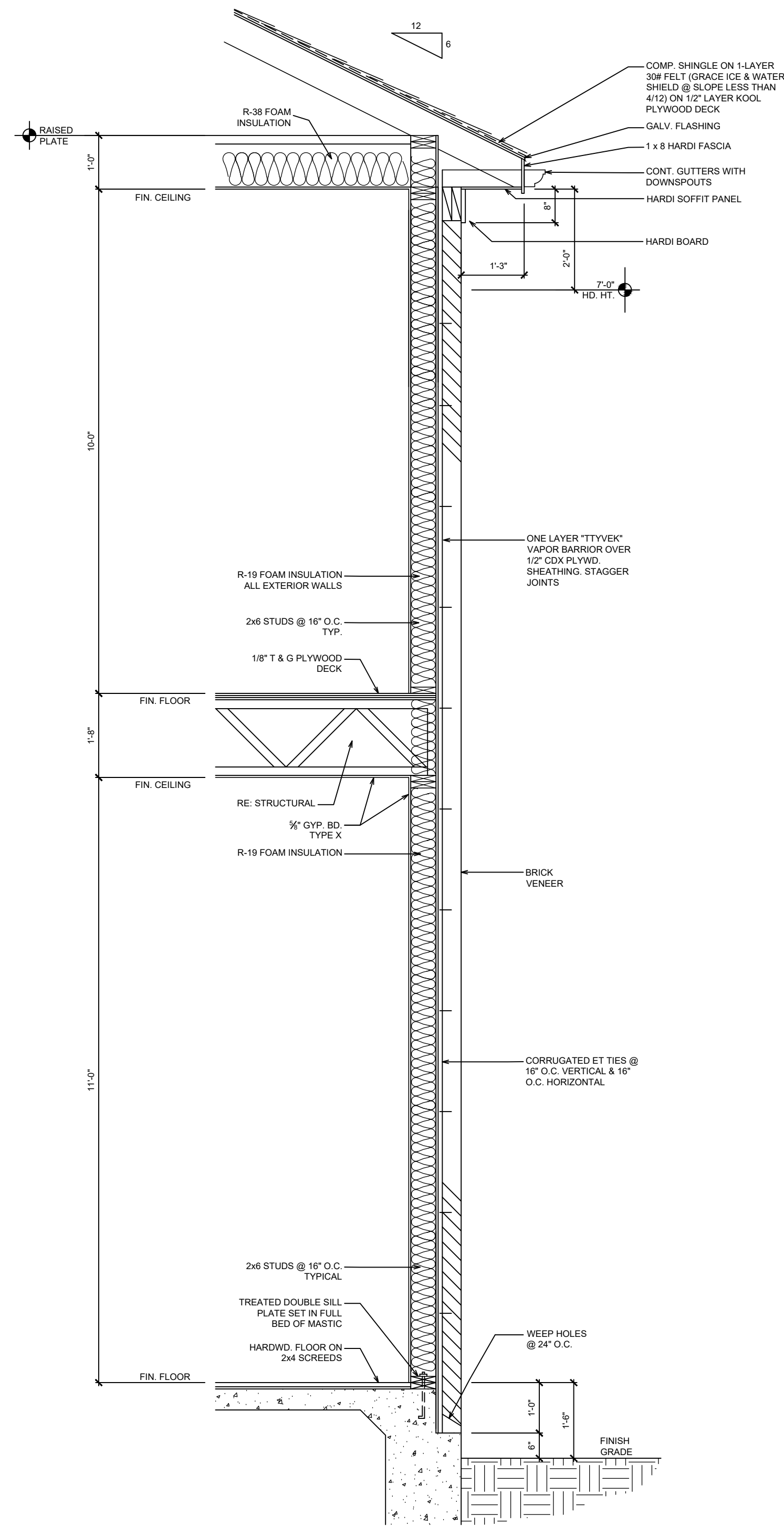
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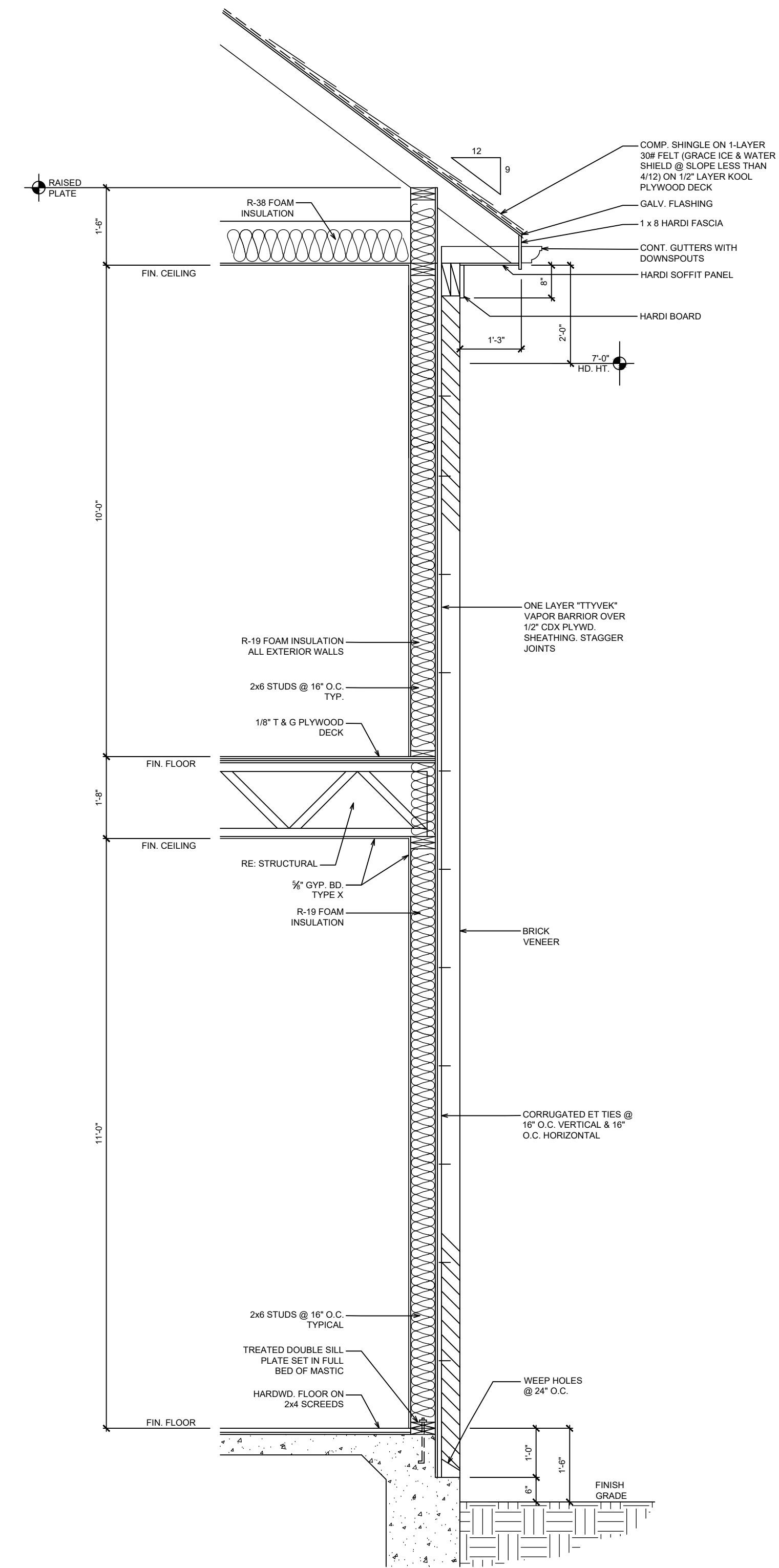
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1 TYPICAL WALL SECTION AT UTILITY RM.
A-10 SCALE: 1/2" = 1'-0"



2 TYPICAL WALL SECTION
A-10 SCALE: 1/2" = 1'-0"



3 TYPICAL WALL SECTION
A-10 SCALE: 1/2" = 1'-0"

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