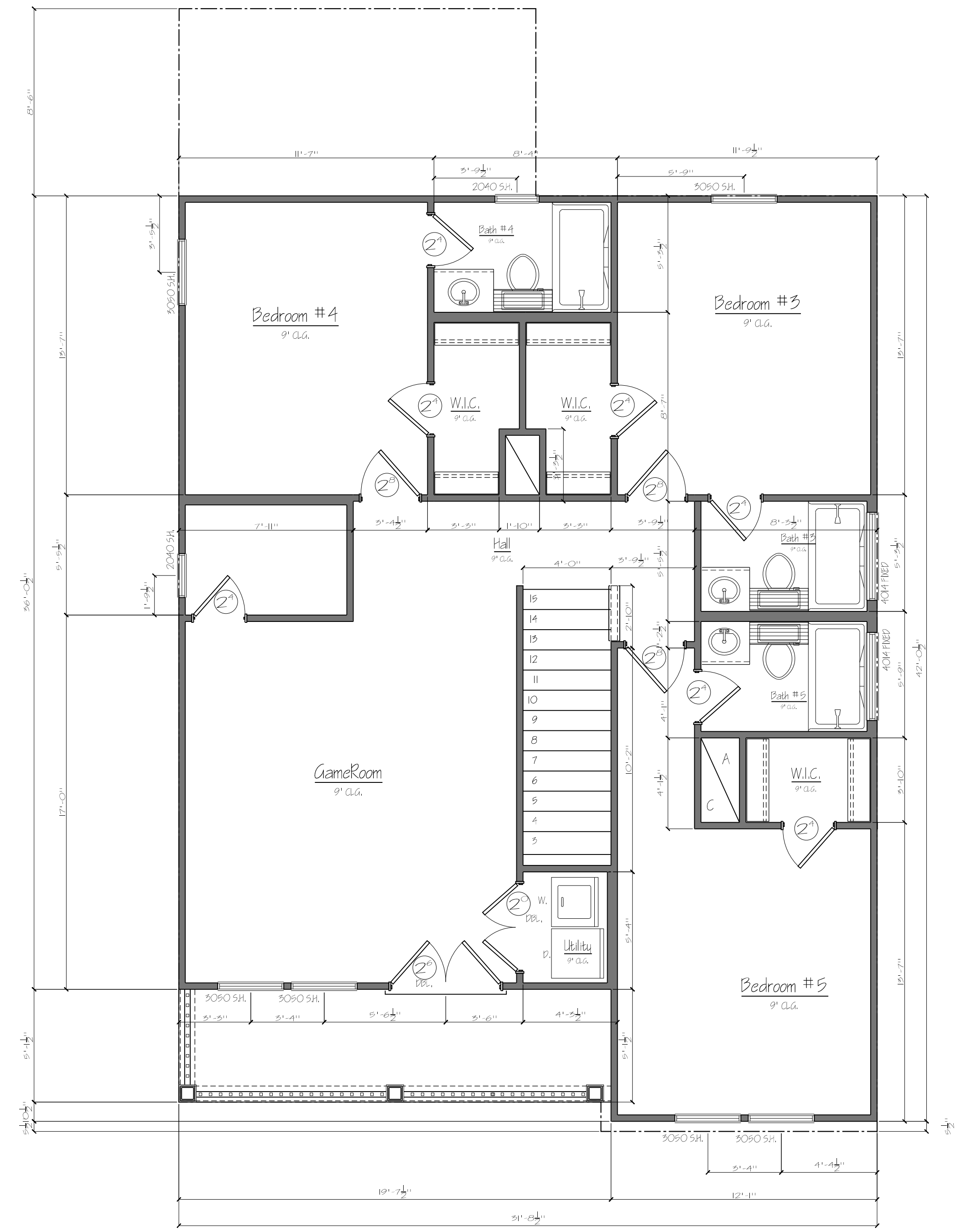


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- RESIDENTIAL GENERAL NOTES (UNLESS OTHERWISE NOTED)**
- 01 ALL WINDOWS WITHIN 2'-0" OF EXTERIOR DOOR SHALL BE MADE OF TEMPERED GLASS.
 - 02 FIRST FLOOR DOORS SHALL BE 6'-0" IN HEIGHT, SECOND FLOOR DOORS SHALL BE 6'-6" IN HEIGHT. (UNLESS OTHERWISE NOTED)
 - 03 MECHANICAL OR NATURAL VENTILATION IS REQUIRED AT ALL BATHROOMS AND UTILITY ROOMS.
 - 04 WALLS AND CEILINGS SHALL BE 1/2" GYPSUM BOARD.
 - 05 WINDOWS SHALL BE VINYL, SINGLE HUNG, WITH DIVIDED LIGHTS AND A 1 1/2" FLOOR 6'-0" HEADER AND A 2x4 7'-0".
 - 06 BEDROOM WINDOWS SHALL BE A MAXIMUM OF 5'-8" ABOVE FINISHED FLOOR, A MINIMUM OF 2'-0" HIGH, 1'-8" WIDE AND HAVE A 5.7 SQUARE FOOT NET CLEAR OPENING.
 - 07 CHEMICAL TREATMENT OR PHYSICAL BARRIER (SUCH AS METAL OR PLASTIC TERMITE SHIELDS) FOR PROTECTION AGAINST TERMITES. IF CHEMICAL TREATMENT IS USED, THE CONCENTRATION, RATE OF APPLICATION AND TREATMENT METHOD SHALL BE CONSISTENT WITH THE TERMITE LABEL. BORN-CARE TREATMENT IS A SUITABLE SUBSTITUTE. ONE OF THE METHODS MUST BE USED IN CONJUNCTION WITH TERMITES. PROOF OF METHOD TO BE USED SHALL BE RECEIVED IN CITY OFFICE BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED.
 - 08 ALL STRUCTURAL ITEMS SHALL BE DESIGNED BY ENGINEER.
 - 09 CONTRACTORS SHALL FOLLOW ALL 2015 I.R.C. AND 2014 N.E.C. CODES AND ALL APPLICABLE AMENDMENTS PER CITY OF COLLEGE STATION.
 - 10 NARROW WALL BRACING FULLY SHEARED.
 - 11 AN APPROVED EXPANSION TANK FOR THERMAL EXPANSION CONTROL SHALL BE PROVIDED FOR BUILDINGS UTILIZING STORAGE WATER HEATING EQUIPMENT AND A PRESSURE REDUCING VALVE WHICH CREATES A CLOSED SYSTEM.
 - 12 IF GAS HOT WATER HEATER IS TO BE USED AND IS NOT IN ATIC, THEN THE HOT WATER HEATER SHALL BE PLACED ON A RECESSED 1'-6" ABOVE FINISHED FLOOR.
 - 13 IF GAS HOT WATER HEATER IS LOCATED IN ATIC, THEN THE HOT WATER HEATER SHALL BE PLACED ABOVE A LOAD BEARING PARTITION WALL IN A PANEL RATHER THAN BEING PLACED ABOVE A WALL.
 - 14 B.O.V. CONNECTIONS AND BATTERY BACKUP REQUIRED FOR SMOKE DETECTORS.
 - 15 VENT ALL EXHAUST FANS TO THE OUTSIDE.
 - 16 GUILTS WITHIN 4'-0" RADIUS OF A WATER SOURCE SHALL BE GROUND FULLY INTERCEPT (G.F.I.).
 - 17 PROVIDE LIGHT FIXTURE AND SMOKE DETECTOR AT EACH HOT WATER HEATER AND AIR CONDITIONING UNIT LOCATION IN ATIC.
 - 18 PROVIDE ELECTRIC DISCONNECT FOR AIR CONDITIONING UNIT (S).
 - 19 VERIFY LOCATION OF ANY FLOOR PLUG WITH OWNER.
 - 20 CHECKETS SHALL BE APPLIED TO ROOF DECKING.
 - 21 REFER TO ELEVATIONS ON SHEET A-2 FOR ROOF FINISHES.
 - 22 CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
 - 23 CONTRACTORS TO ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES.
 - 24 IF SHOWER HAS TILE FLOOR, THEN THE PAN LINE MUST BE INSPECTED FOR LEAKS BEFORE THE WORK IS DONE, A SPECIAL INSPECTION SHOULD BE REQUESTED AND PERFORMED.
 - 25 ALL ATIC ACCESSORIES ARE INSULATED TO THE VALUE OF R-5/8.
 - 26 U-FACTOR RATINGS FOR WINDOWS IS 4.0 OR LOWER.
 - 27 THE COMBINED SOLAR HEAT GAIN COEFFICIENT (SHGC) OF ALL GLAZED PENETRATIONS/ WINDOW PRODUCTS SHALL BE 25% FACTOR OR LOWER.
 - 28 HEARTH EXTENSION NEEDED FOR HEARTH OPENING 4'-6" TO 5'-0" (8" SIDE & 16" FRONT) FOR OPENINGS > OR = 10'-6" TO 12'-0" (SIDE & 20" FRONT)
 - 29 INSULATION IN WALL SHALL BE R-15 & CEILING SHALL BE R-5/8.
 - 30 REQUIRED EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY, TOOLS, OR SPECIAL KNOWLEDGE/ EFFORT.
 - 31 A MINIMUM OF NO. 15 ASPHALT FELT OR OTHER APPROVED WATER RESISTIVE BARRIER SHALL BE PLACED OVER ALL EXTERIOR SHEATHING PER 2012 IRC SECTION R703.2 & 2012 IRC SECTION R703.2.2 ON NARROW WALL BRACING WHERE SPECIAL NAILING PATTERN OR HOLD DOWNS ARE REQUIRED THESE ITEMS MUST REMAIN VISIBLE UNTIL THE INSPECTION PROCESS HAS BEEN DONE TO ALLOW FOR COVER-UP. A SPECIAL "APA" NAILING PATTERN INSPECTION SHALL BE PERFORMED PRIOR TO FRAMING INSPECTION AND BEFORE COVERING WITH A MOISTURE BARRIER. IF 1/2" WIDE SUPPLY PIPING IS SLEAVED BELOW THE SLAB, SEAL AN ALL AROUND SPACE AT ENDS WITH GULK, FOAM OR OTHER MEANS. ALSO ASSURE PROPER PROTECTION OF PIPE TO UV, LIGHT.
 - 32 PERMIT CARD MUST BE POSTED ON-SITE AND TO BE VISIBLE FROM ROAD. MUST BE IN PLACE BEFORE ANY INSPECTIONS WILL BE PERFORMED.
 - 33 WHEN WATER MAIN PRESSURE EXCEEDS 80 PSI, AN APPROVED PRESSURE REDUCING VALVE SHALL BE PROVIDED THAT LIMITS THE MAXIMUM STATIC WATER PRESSURE TO 80 PSI.
 - 34 PROVIDE SANITARY FACILITIES/ PORTA-CAN FOR WORKERS ON-SITE LOCATED OFF THE PUBLIC RIGHT-OF-WAY.
 - 35 ALL TRASH AND DEBRIS GENERATED ON THE JOB SITE SHALL BE PICKED UP AND COLLECTED IN ALL APPROVED AREA WITHIN THE PROPERTY BOUNDARIES.
 - 36 SHOWERS AND TUB/ SHOWER COMBINATIONS SHALL BE EQUIPPED WITH AN ANTI-SCALD VALVE THAT LIMITS WATER TEMPERATURE TO 120 DEGREES.
 - 37 ALL SILLS AND BOTTOM PLATES IN CONTACT WITH CONCRETE MUST BE TREATED OR NATURALLY RESISTANT TO INSECTS AND DECAY.
 - 38 MAKE SURE THAT ALL GLAZING IN HAZARDOUS LOCATIONS INSTALLED COMPLY WITH SAFETY REQUIREMENTS OF SECTION R703.2 OF THE I.R.C.
 - 39 ALL PLUMBING, ELECTRICAL, AND HVAC (MECHANICAL) WORK MUST BE PERFORMED BY LICENSED CONTRACTORS. CONTACT BUILDING DEPARTMENT FOR PERMITS PRIOR TO WORK & INSPECTIONS PRIOR TO COVERING ANY WORK. (979) 264-5741
 - 40 VERIFY ALL REFLECTIONS WITH OWNER PRIOR TO ORDERING OR CONSTRUCTION.
 - 41 OWNERSHIP OF THIS PLAN AND/ OR DRAWINGS BELONGS TO R.A.I. DESIGNS, INC., 4500 CARTER CREEK, SUITE 205, BRYAN, TX, 77802. EVERY ATTEMPT HAS BEEN MADE BY THE DESIGNER TO INSURE THE ACCURACY OF THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CLIENT AND CONTRACTORS TO CHECK THESE DRAWINGS AND SITE PLANS BEFORE ANY CONSTRUCTION BEGINS. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR OMISSIONS OR ERRORS IN THESE DRAWINGS OR SITE PLAN AFTER CONSTRUCTION BEGINS. ANY CHANGE MADE ON THE JOB WITHOUT CONSULTING THE DESIGNER DUE TO CLIENT OR CONTRACTORS PREFERENCE OR ERROR ON PLANS, SITE PLANS, DRAWINGS, ETC. IS NOT THE RESPONSIBILITY OF THE DESIGNER AND THE OWNER. THIS PLAN AND/ OR DRAWINGS MAY NOT BE USED FOR REPEAT CONSTRUCTION WITHOUT THE WRITTEN APPROVAL OF R.A.I. DESIGNS, INC.

AREA SUMMARY	
1st FLOOR LIVING	1,256 SF
2nd FLOOR LIVING	1,165 SF
TOTAL LIVING	2,421 SF
BRICK-LEDGE	22 SF
FRONT PORCH	92 SF
REAR PORCH	97 SF
2nd FLOOR BALCONY	101 SF
TOTAL FRAMED	2,711 SF
TOTAL SLAB	1,467 SF



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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(979) 846-3366
4500 Carter Creek Dr. #203
Bryan, TX 77802
www.raidesigns.com

R.A.I. DESIGNS, INC.

JOB# 21-083

PROJECT SITE INFO:
1414 Magnolia
College Station, TX
Plantation Oaks, Section One,
Lot-16, Block-4

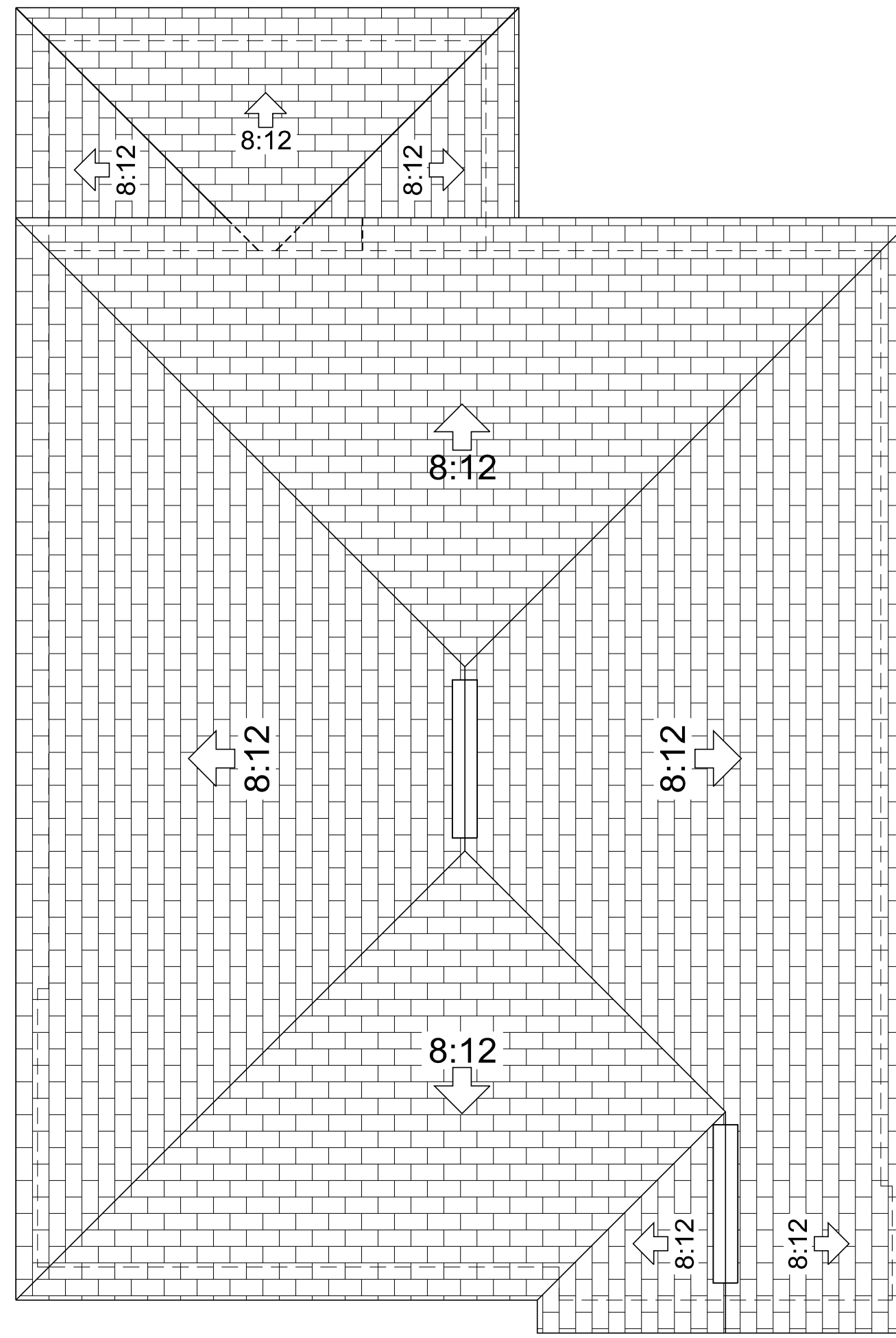
CLIENT:
Hancock Custom Homes
(979) 412-6301

JTR- INITIAL LAYOUT 09-01-21
JTR- CONTEXTUAL SETBACKS PER CITY 09-02-21

SHEET: **A-1** OF FOUR
DATE: 09-02-2021

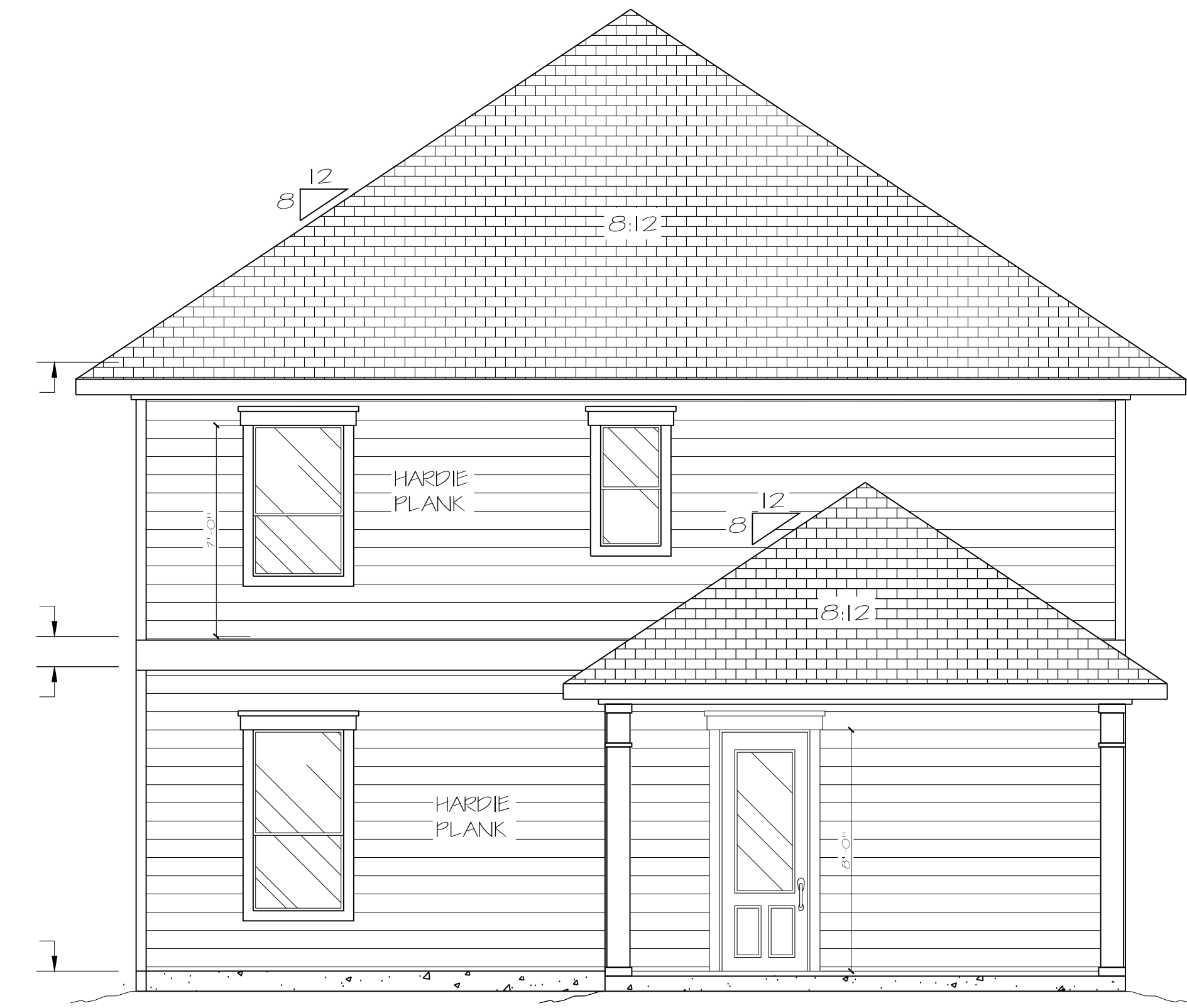


2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

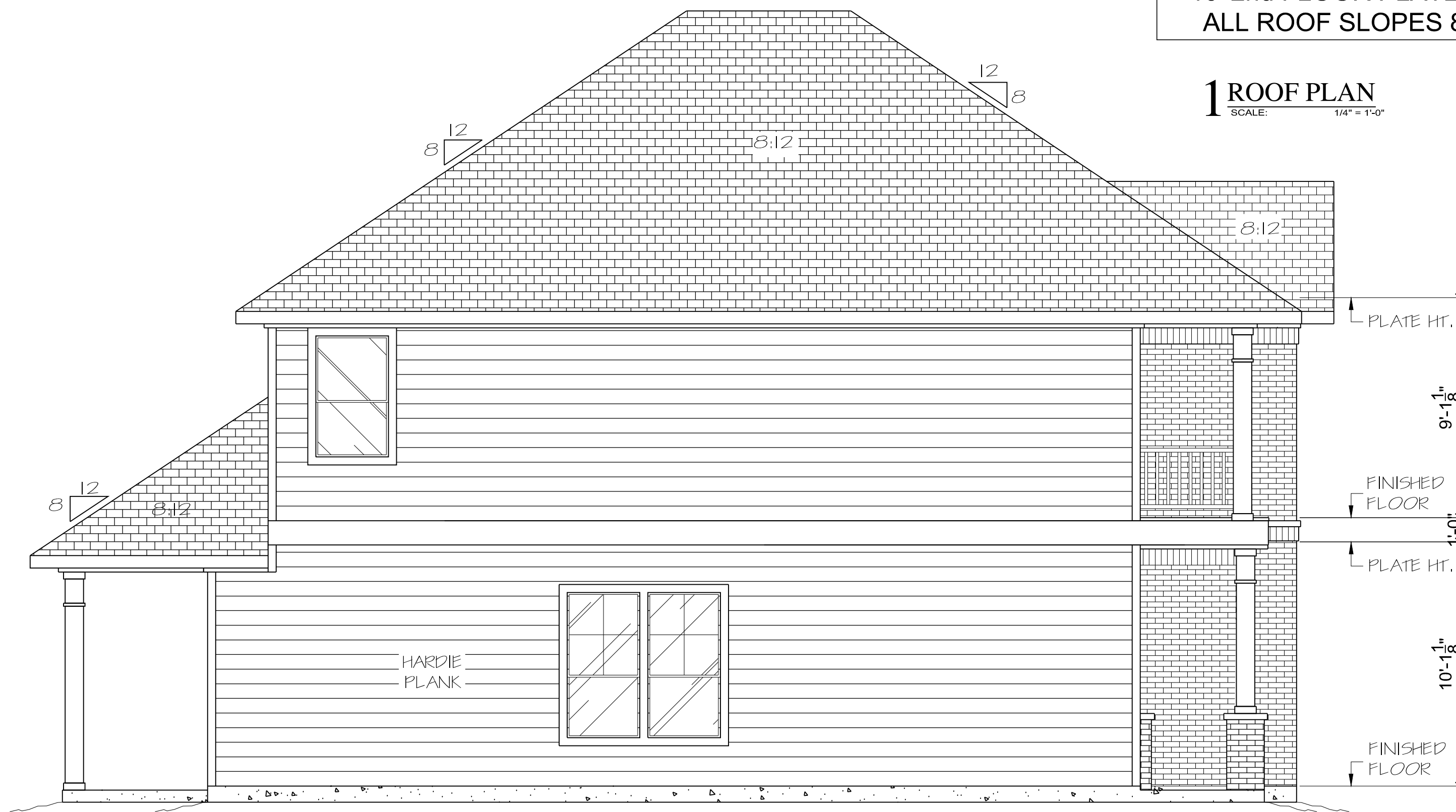


NOTE: 1st FLOOR PLATES
10' 2nd FLOOR PLATES 9'.
ALL ROOF SLOPES 8:12

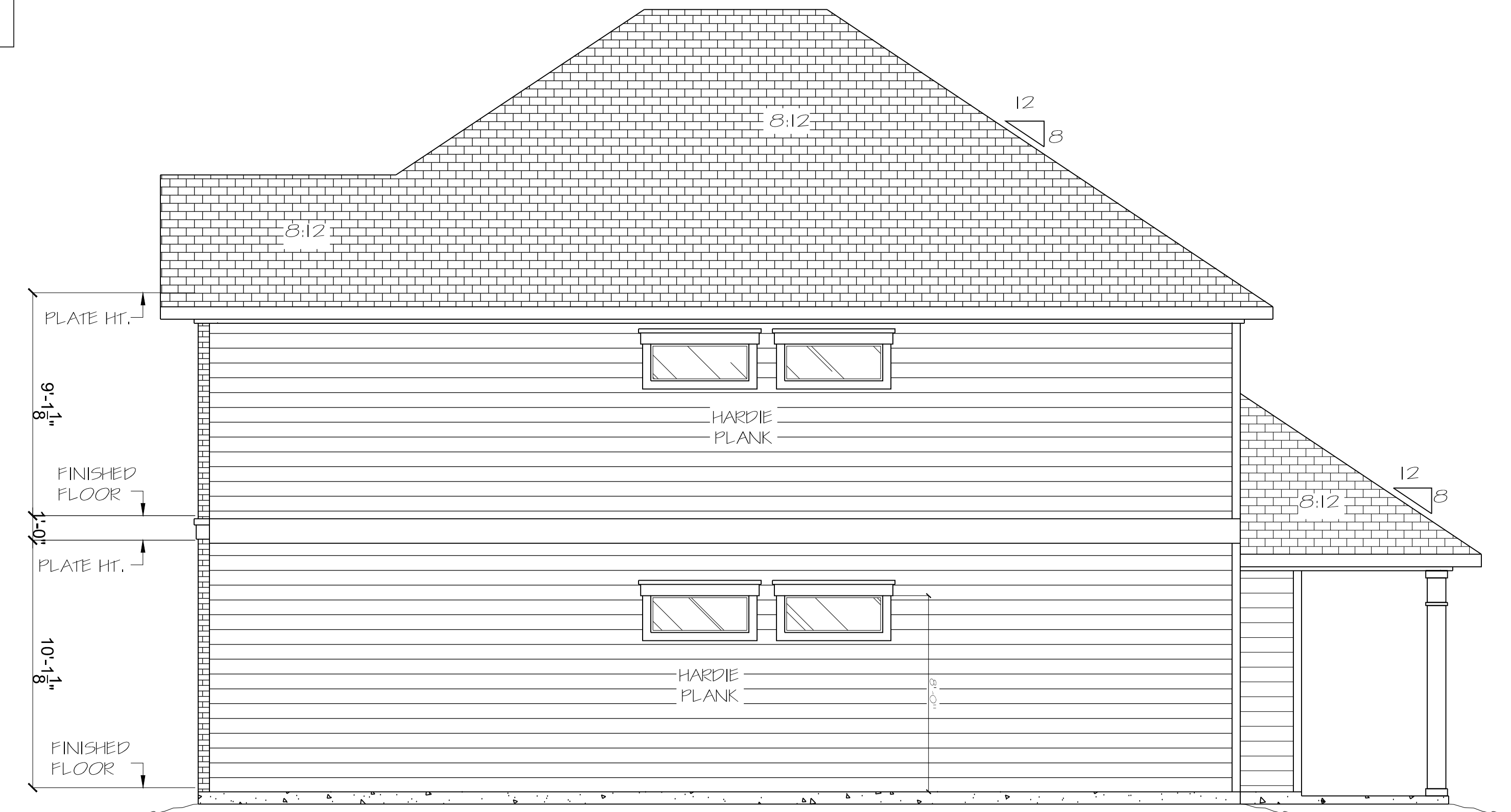
1 ROOF PLAN
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



5 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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DESIGNS, INC.

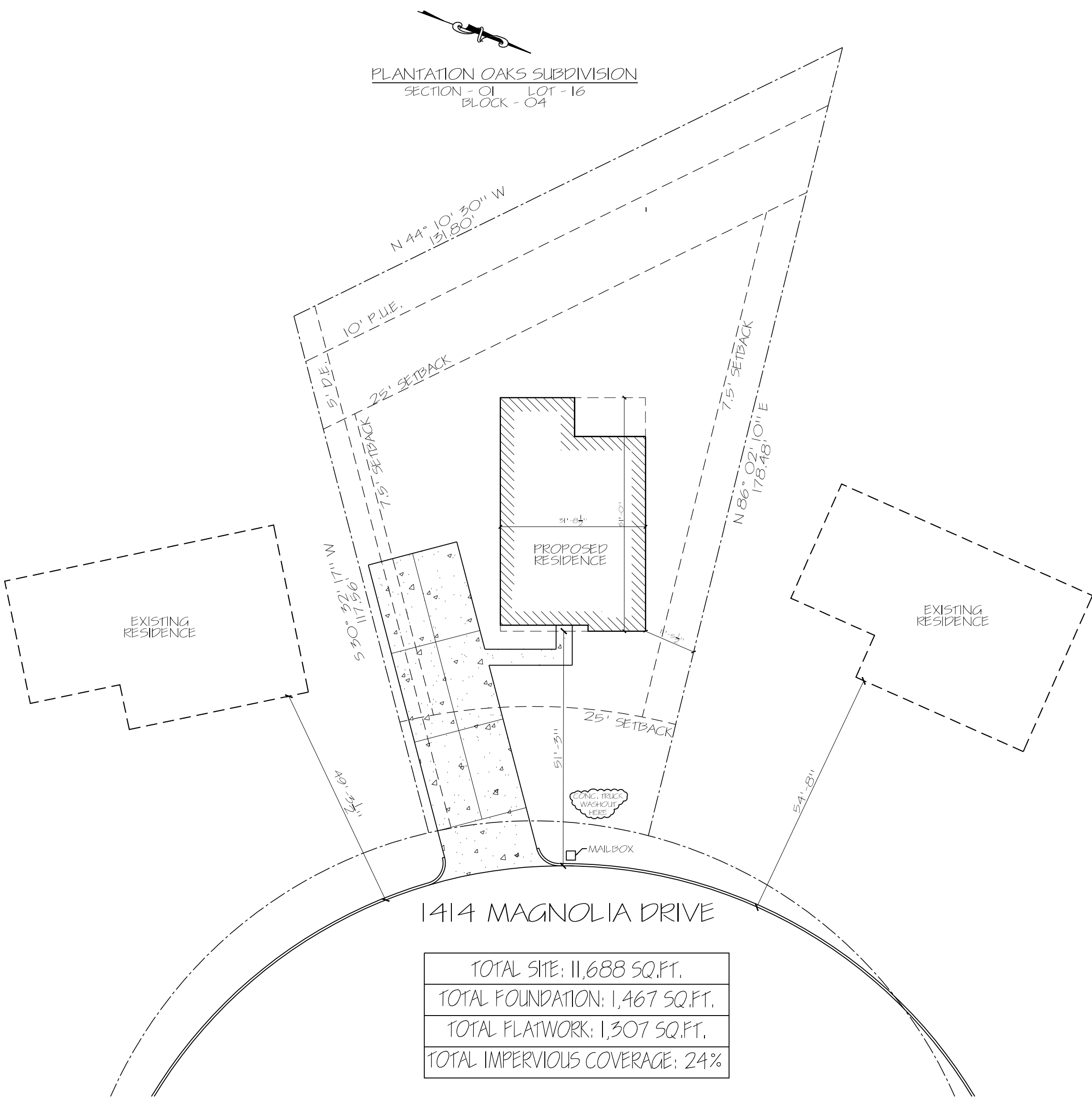
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JTR- CONTEXTUAL SETBACKS PER CITY	09-02-21

SHEET:
A-2
OF
FOUR
DATE:
09-02-2021



TOTAL SITE: 11,688 SQ.FT.
 TOTAL FOUNDATION: 1,467 SQ.FT.
 TOTAL FLATWORK: 1,307 SQ.FT.
 TOTAL IMPERVIOUS COVERAGE: 24%

1 SITE PLAN
 SCALE: 1" = 20'-0"

AREA SUMMARY	
1st FLOOR LIVING	1,256 SF
2nd FLOOR LIVING	1,165 SF
TOTAL LIVING	2,421 SF
BRICK-LEDGE	22 SF
FRONT PORCH	92 SF
REAR PORCH	97 SF
2nd FLOOR BALCONY	101 SF
TOTAL FRAMED	2,711 SF
TOTAL SLAB	1,467 SF

DEPENDING ON MATERIAL USED BY BUILDER, 5-1/2" BRICK LEDGE MAY BE DELETED IF NEEDED

FOUNDATION CONSTRUCTION

GRADE BEAM EXCAVATIONS SHALL BE PLUMB, NEAT AND THOROUGHLY CLEANED. CONCRETE SHALL BE PLACED IMMEDIATELY AFTER EACH POUR SECTION HAS BEEN PREPARED.

CONCRETE

ALL STRUCTURAL CONCRETE SHALL BE NORMAL-WEIGHT WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI. CONCRETE MIX SHALL CONTAIN 5 SACKS OF CEMENT PER CUBIC YARD (MINIMUM) AND 7 GALLONS OF WATER PER SACK OF CEMENT (MINIMUM). ALL CONCRETE WORK SHALL CONFORM TO ACI 318.

REINFORCING

ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60 (EXCEPT #3 BARS GRADE 40). DETAILING, FABRICATING AND PLACEMENT SHALL CONFORM TO THE ACI DETAILING MANUAL AND ACI 318. LAP CONTINUOUS BARS 40 DIAMETERS AT SPLICES. CONCRETE PROTECTION FOR REINFORCEMENT (COVER) SHALL BE AS FOLLOWS.

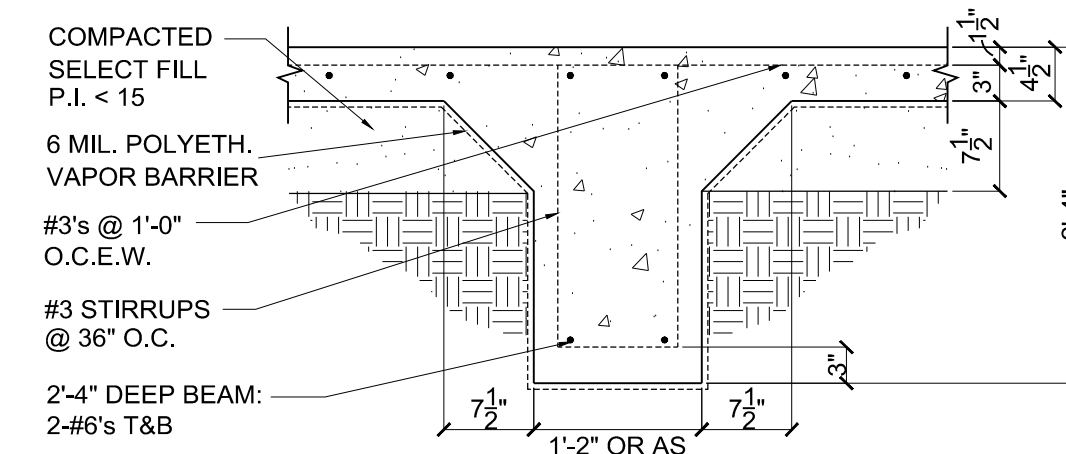
- 2" TOP FOR SLAB ON GRADE
- 1 1/2" TOP FOR GRADE BEAMS
- 2" CAST AGAINST FORMS
- 3" CAST AGAINST SOIL

PROVIDE SUPPORT CHAIRS FOR ALL REINFORCING STEEL INSTALL #5 x 4'-0" L-SHAPED BARS TOP AND BOTTOM IN EXPOSED FACE OF EXTERIOR GRADE BEAM CORNERS.

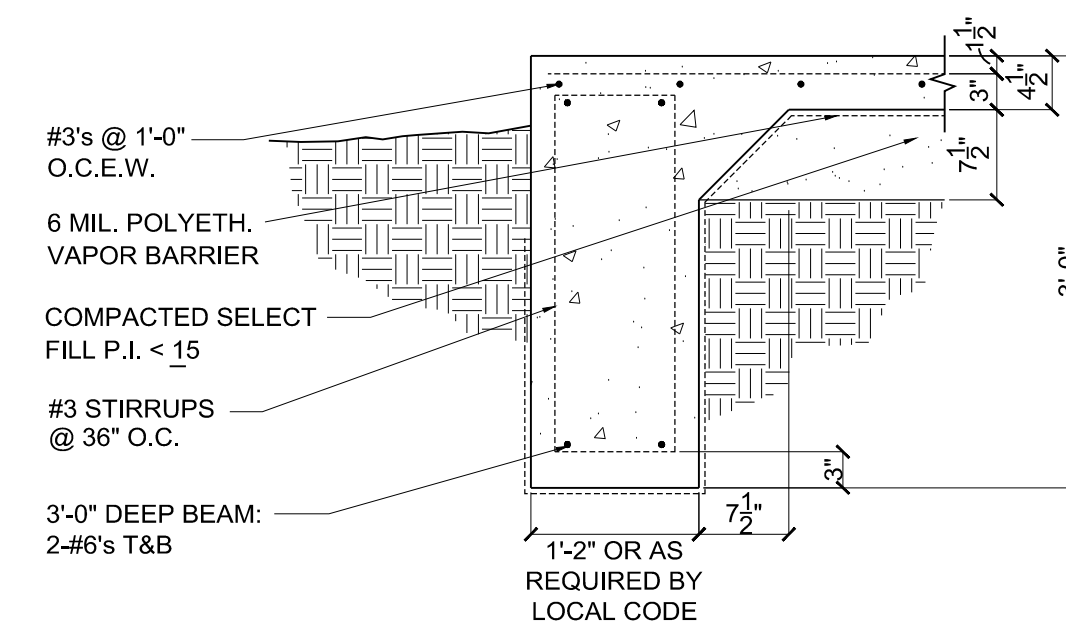
MISCELLANEOUS

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO:
 01 EXAMINE ALL DRAWINGS FOR FLOOR ELEVATIONS, CURBS, SLOPES DEPRESSED FLOOR AREAS AND EMBEDDED ITEMS.
 02 COMPARE ARCHITECTURAL AND STRUCTURAL SECTIONS AND REPORT ALL DISCREPANCIES TO THE DESIGNER PRIOR TO FABRICATING OR INSTALLING STRUCTURAL WORK.
 03 VERIFY DIMENSIONS PRIOR TO STARTING WORK.

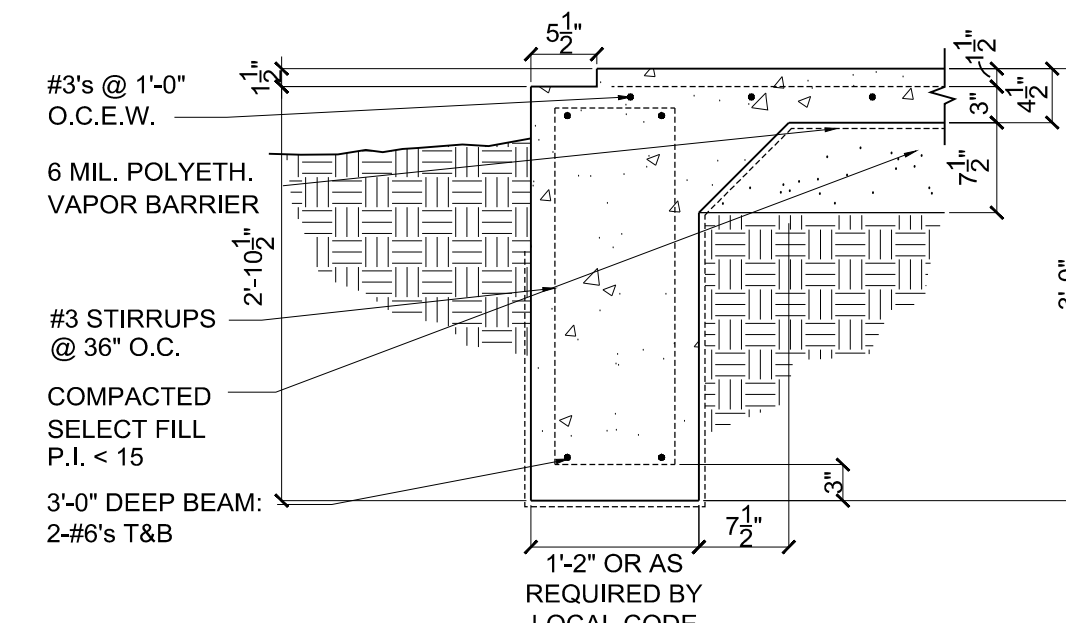
THESE DRAWINGS DO NOT INCLUDE ALL COMPONENTS NOR PROCEDURES NECESSARY FOR CONSTRUCTION SAFETY, SUCH ITEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



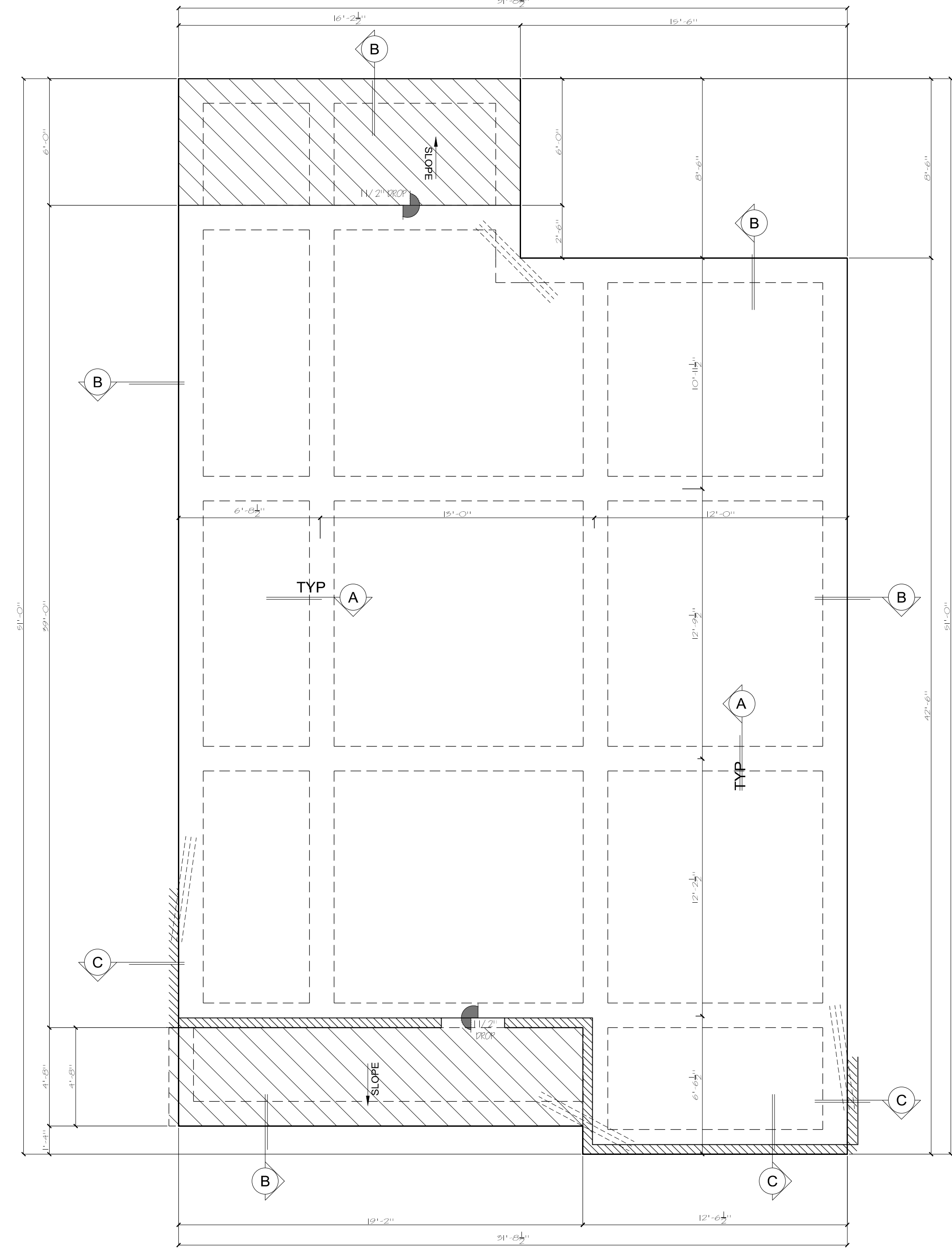
A INTERIOR BEAM DETAIL
 SCALE: 1/2" = 1'-0"



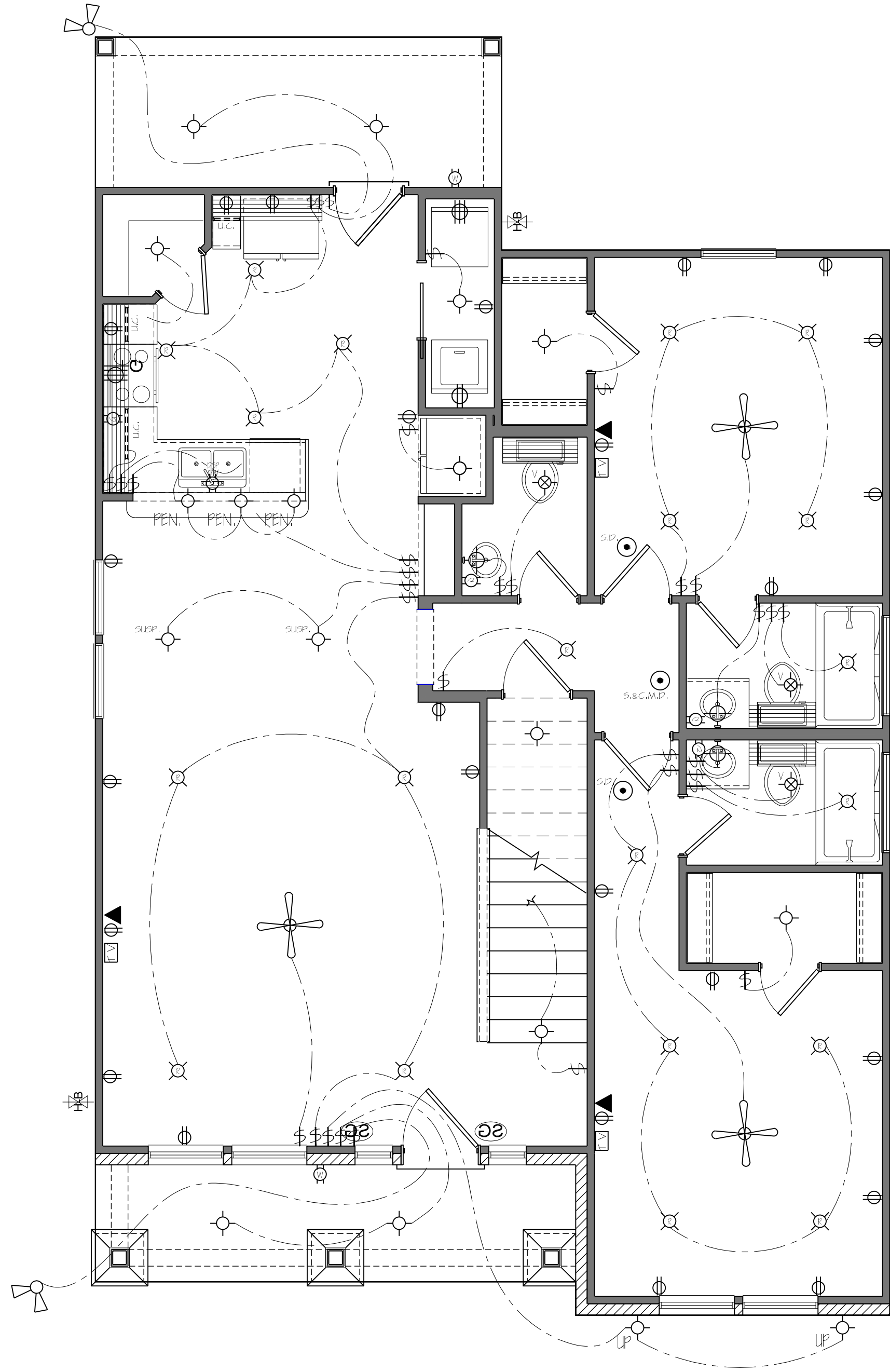
B PORCH BEAM DETAIL
 SCALE: 1/2" = 1'-0"



C EXTERIOR BEAM DETAIL
 SCALE: 1/2" = 1'-0"



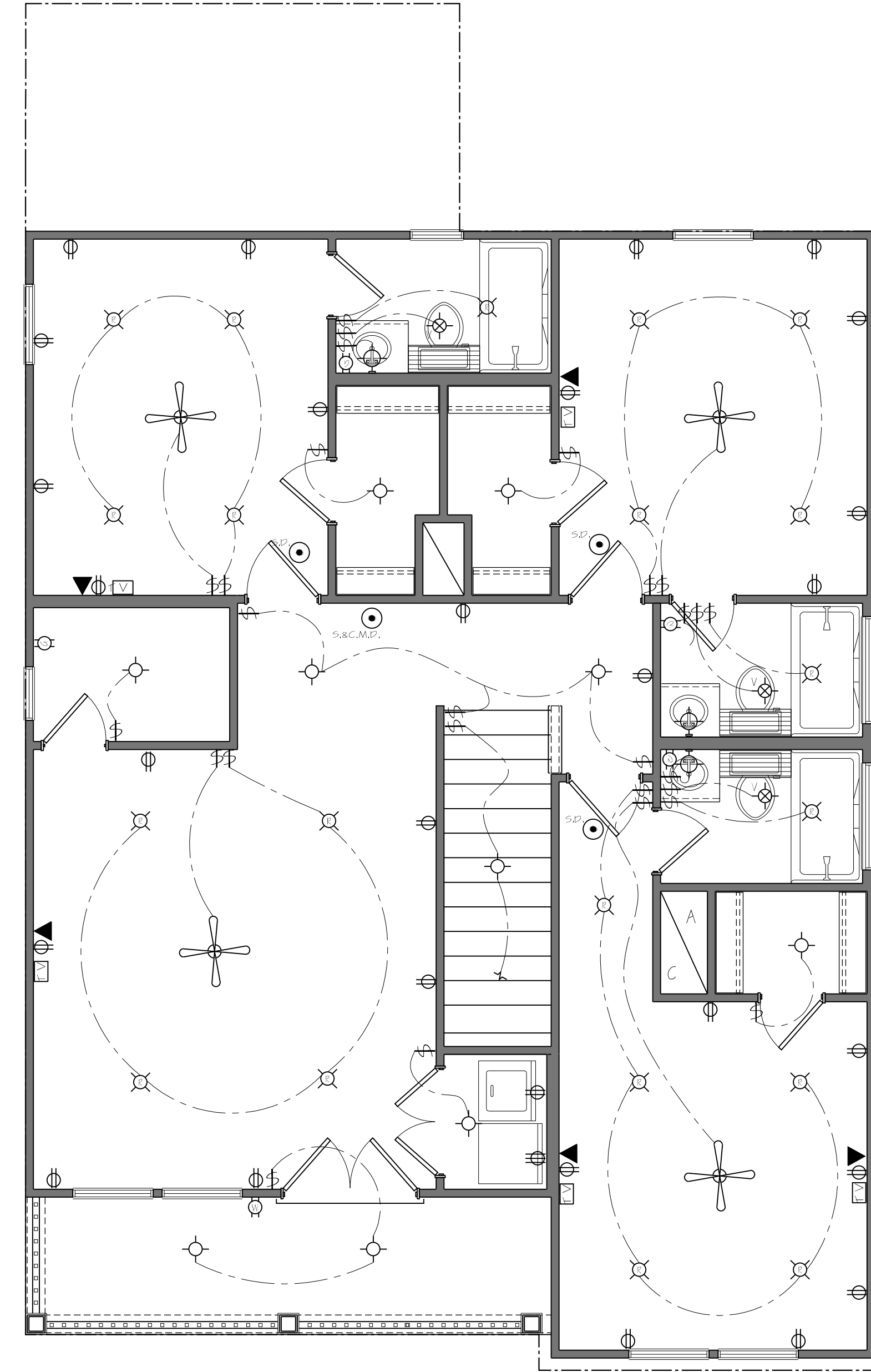
2 FOUNDATION PLAN
 SCALE: N.T.S.



1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL LEGEND			
	110 VOLT OUTLET		LIGHT FIXTURE
	220 VOLT OUTLET		WALL-HUNG LIGHT
	GFI OUTLET		COACH LIGHT
	DISPOSAL / DISHWASHER OUTLET		RECESSED LIGHT
	WATER-PROOF OUTLET		VENT
	VENTHOOD VOLT OUTLET		VENT-LIGHT
	CEILING MTD. VOLT OUTLET		FLOOD LIGHT
	ELECTRIC SWITCH		CEILING FAN
	3-WAY SWITCH		FLORE-SCENT LIGHT-SET
	3-WAY DIMMER SWITCH		
	DOORBELL		
	DOORBELL CHIME		TELEPHONE JACK
	GAS LINE		WALL MOUNTED TELEPHONE JACK
	A/C PAD		"CAT 5" TELEPHONE JACK
			CABLE TV JACK
	CARBON MONOXIDE & SMOKE DETECTOR		"RG-6" CABLE JACK
	SMOKE DETECTOR		SPEAKER WIRE

*ELECTRICAL SHALL BE INSTALLED PER 2012 NATIONAL ELECTRICAL CODE (LOCAL AMENDS).
 *CARBON MONOXIDE DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM AREAS IF HOUSE HAS GAS FIRED APPLIANCES OR ATTACHED GARAGE.
 *FANFIRE RESISTANT OUTLETS, ALL NON RECEPTACLES.
 *NEC FLOOR PROTECTION PER CODE. MOST OUTLETS REQUIRED TO BE PROTECTED.
 *BOX OF LIGHTING TO BE HIGH EFFICACY LIGHTING.
 *ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNIT FAMILY ROOMS, DINING, LIVING, PARLORS, LIBRARIES, BEDROOMS, SUNROOMS & SIMILAR ROOMS SHALL BE PROTECTED BY AN AFCI-FULLY CIRCUIT INTERRUPTERS (5).
 *ALL 120V, 15 & 20 AMP RECEPTACLES SHALL BE LISTED FANFIRE RESISTANT RECEPTACLES.
 *ASSURE PROPER GFI LOCATIONS, INCLUDING ONE WITHIN 25' OF OUTSIDE A/C UNIT.
 *ANY DEDICATED GARAGE APPLIANCES CIRCUITS WILL NEED TO BE GFI PROTECTED.
 *ELECTRIC STRIP HEATING IS NOT ALLOWED FOR RESIDENTIAL USE PROPERTIES WITH FLOOR AREA GREATER THAN 600 SQ.FT.
 *A MINIMUM OF 60% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES ARE TO BE HIGH EFFICACY LAMPS.
 *SMOKE DETECTORS MUST HAVE MIN. 3" CLEARANCE FROM FORCED AIR.
 *SMOKE DETECTORS SHALL BE INTERCONNECTED, 120V w/ BATTERY BACKUP AND LOCATED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH BEDROOMS DUCTS, CEILING FANS, AND RETURN AIR.
 *RECESSED LIGHTING INSTALLED IN THE BUILDING ENVELOPE SHALL BE IC RATED AND SEALED TO PREVENT AIR LEAKAGE.



2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"