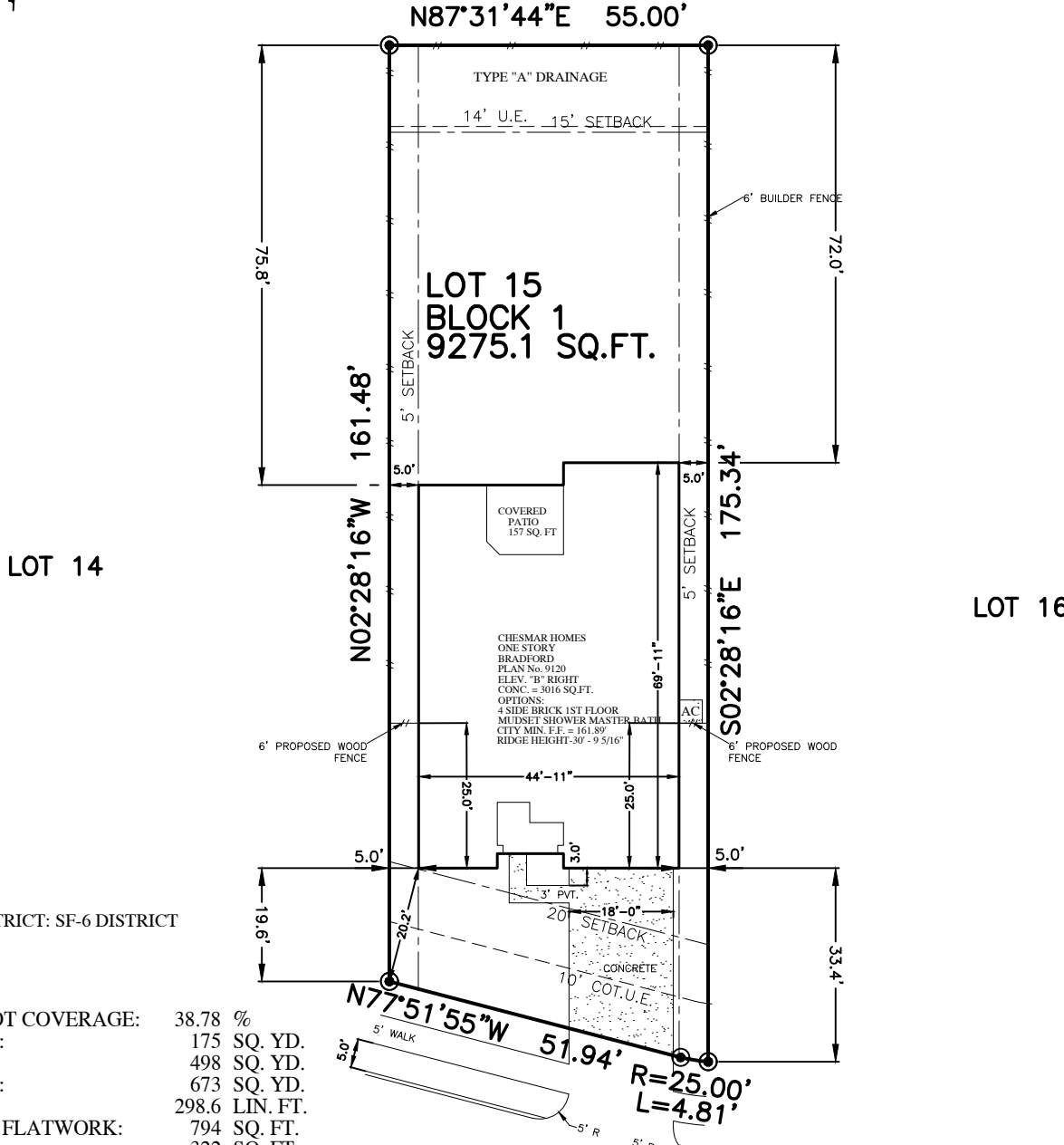




FLATWORK	B.L. BUILDING LINE	T.O.F. TOP OF FORM	U.V.E. UNOBSTRUCTED VISIBILITY EASEMENT	MANHOLE
PROPERTY LINE	B.L.(FL) FRONT LOAD BUILDING LINE	U.E. UTILITY EASEMENT	M.A.C.C.E. MAINTENANCE & ACCESS EASEMENT	GRATE DRAIN
BUILDING LINE	B.L.(SI) SWING IN BUILDING LINE	W.L.E. WATER LINE EASEMENT	ACC.E. ACCESS EASEMENT	PAD MOUNTED TRANSFORMER
EASEMENT	B.L.(3C) 3 CAR BUILDING LINE	STM.S.E. STORM SEWER EASEMENT	A.E. AERIAL EASEMENT	TELEPHONE PEDESTAL
WOODEN FENCE	G.B.L. GARAGE BUILDING LINE	S.S.E. SANITARY SEWER EASEMENT	D.E. DRAINAGE EASEMENT	GAS METER
WROUGHT IRON FENCE	(G.B.) BUILDER GUIDELINES	R.O.W. RIGHT-OF-WAY	E.E. ELECTRIC EASEMENT	CABLE PEDESTAL
CHAIN LINK FENCE	F.F. FINISHED FLOOR	P.A.E. PERMANENT ACCESS EASEMENT	WATER VALVE	WATER METER
OVERHEAD ELECTRIC	EXT. EXTENDED FLOOR	P.U.E. PUBLIC UTILITY EASEMENT	FIRE HYDRANT	MANHOLE & INLET
	PROP. PROPOSED	P.V.T. PRIVATE	MONUMENT	INLET
	C.M. CONTROL MONUMENT	FND. FOUND	IP. IRON PIPE	VAULT

RESERVE "B"



ZONING DISTRICT: SF-6 DISTRICT

APPROX. LOT COVERAGE: 38.78 %
 FRONT SOD: 175 SQ. YD.
 BACK SOD: 498 SQ. YD.
 TOTAL SOD: 673 SQ. YD.
 FENCE: 298.6 LIN. FT.
 STANDARD FLATWORK: 794 SQ. FT.
 INTURN: 322 SQ. FT.

CITY OF TOMBALL REQUIRED CALCULATIONS:

TOTAL LOT AREA	9275 SQ.FT.
	0.21 ACRES
BUILDING AREA	
(1ST FLOOR NON GARAGE)	2612 SQ.FT.
GARAGE AREA	404 SQ.FT.
TOTAL FOOTPRINT AREA	3016 SQ.FT.
SLAB COVERAGE	
3016/9275	32.52 %
1ST FLR. LIVING AREA	2341 SQ.FT.
LIVING AREA COVERAGE	
2341/9275.1	25.24 %

12502 BLOSSOM DRIVE
(60' R.O.W.)

PLOT PLAN
SCALE: 1" = 30'

NOTES:
 1. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT.
 2. SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY. ABSTRACTING BY TITLE COMPANY ONLY. ALL EASEMENTS, RESTRICTIONS AND OTHER MATTERS OF RECORD KNOWN TO SURVEYOR ARE SHOWN AND ARE BASED ON THE RECORDED PLAT AND/OR TITLE REPORT. ALLPOINTS LAND SURVEY, INC. IS NOT LIABLE FOR ANY DAMAGES DUE TO INFORMATION NOT PROVIDED TO SURVEYOR OR BUILDER PLACING ANY IMPROVEMENTS WITHIN A BUILDING LINE OR EASEMENT.
 3. FLATWORK AND FENCING ARE FOR ILLUSTRATION PURPOSES ONLY. REFER TO MUNICIPALITY, HOA, POA, BUILDER GUIDELINES, DEED RESTRICTIONS, DEVELOPMENT PLANS (WSD'S) OR LOCAL CODE FOR REQUIREMENTS. SPECIFIC INSTALLATION REQUIREMENTS TO BE VERIFIED BY BUILDER.
 4. MINIMUM FINISHED FLOOR REQUIREMENTS ESTABLISHED BY FEMA, LOCAL GOVERNMENT AUTHORITIES AND/OR DEVELOPMENT PLANS (INCLUDING APPLICABLE BENCHMARKS/DATUMS AND ADJUSTMENTS) ARE SUBJECT TO CHANGE DURING CONSTRUCTION PROCESS AND SHOULD BE VERIFIED BY BUILDER BEFORE PROCEEDING WITH EACH PHASE OF CONSTRUCTION. PROPOSED FINISHED FLOOR HEIGHTS ABOVE TOP OF CURB ARE CALCULATIONS FOR DRAINAGE PURPOSES TO BE ADJUSTED BASED UPON ACTUAL LOT CONDITIONS AND DO NOT ESTABLISH A MINIMUM FINISHED FLOOR.
 5. AS PER CITY OF TOMBALL SIDEWALK & DRIVEWAY CONSTRUCTION DETAILS FOR CURBED TYPE STREETS -DRAWING COT DW-01"

FOR: CHESMAR HOMES
 ADDRESS: 12502 BLOSSOM DRIVE
 ALLPOINTS JOB#: CH349750 BY: TT
 G.F.:
 JOB:
 FLOOD ZONE: X
 COMMUNITY PANEL:
 48201C0230L
 EFFECTIVE DATE: 06/18/2007
 LOMR: DATE:

LOT 15, BLOCK 1,
 CHERRYWOOD ESTATES, SECTION 1,
 FILM CODE NO. 697980, MAP RECORDS,
 HARRIS COUNTY, TX

