

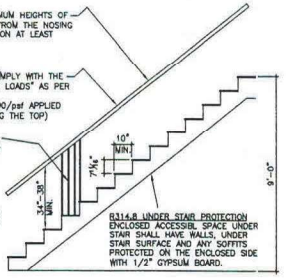
B316.1 HANDRAILS
HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38", MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRWAY.

HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE "MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS" AS PER TABLE R501.4. (A SINGLE CONCENTRATED LOAD OF 200/lb² APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP)

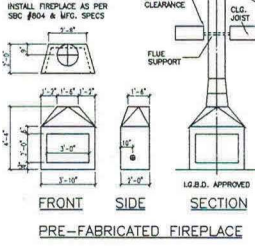
B316.2 GUARD OPENING LIMITATIONS
REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.

REQUIRED GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL WALLS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT.

STAIR DETAIL



FIREPLACE INSTALLATION MANUAL ON SITE FOR INSPECTOR REVIEW (CITY OF HOUSTON ONLY)



CONSTRUCTION DOCUMENTS

MAJERES RESIDENCE

ISSUED FOR CONSTRUCTION MONTH DAY, 2010

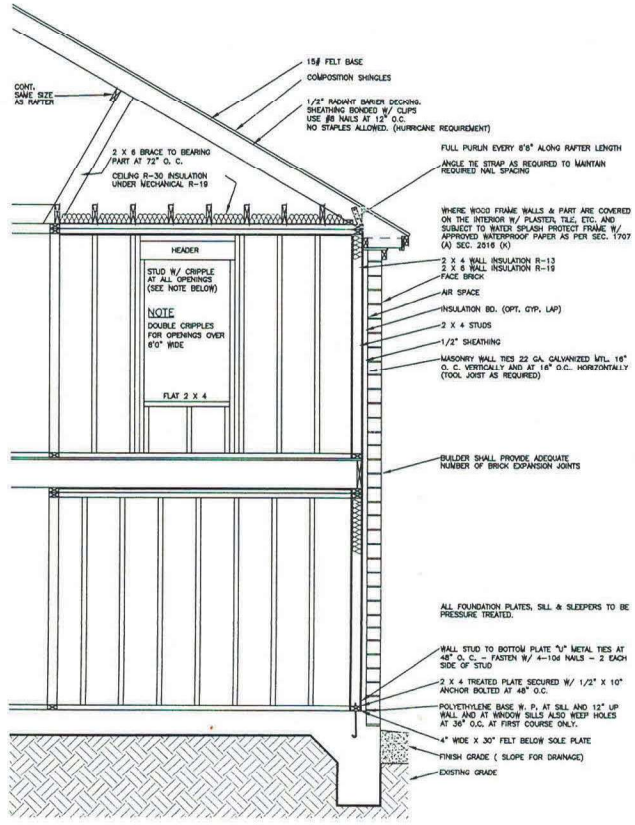
PROJECT DESCRIPTION

DATE	05-05-2010
NEW CONSTRUCTION	
FIRST FLOOR	79 SQ. FT.
SECOND FLOOR	807 SQ. FT.
TOTAL	886 SQ. FT.
PORCH	0 SQ. FT.
PATIO	0 SQ. FT.
GARAGE	101 SQ. FT.

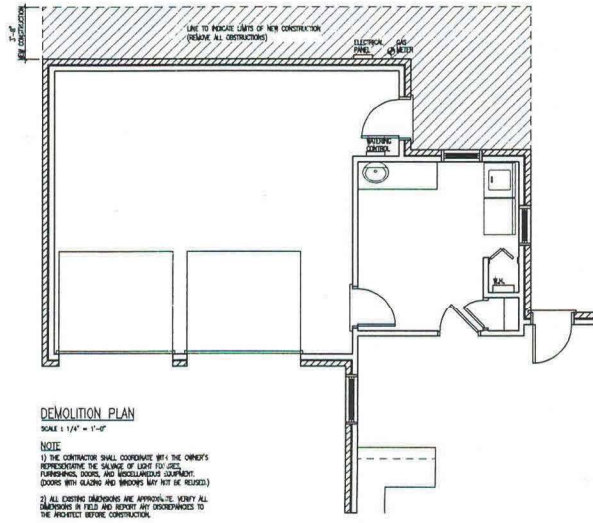
- GENERAL NOTES**
- 1) GONZALEZ ARCHITECTS SHALL FURNISH THE SERVICES SET FORTH IN THIS AGREEMENT WITH THE SHALL AND SHALL BE RESPONSIBLE FOR OTHER ARCHITECTS PROVIDING SIMILAR SERVICES ON PROJECTS OF SIMILAR SIZE AND COMPLEXITY IN THE SAME LOCALITY IN WHICH GONZALEZ ARCHITECTS PRACTICES.
 - 2) THIS DRAWING IS THE PROPERTY OF GONZALEZ ARCHITECTS, AND MAY NOT BE REPRODUCED OR USED WITHOUT WRITTEN PERMISSION. ANY UNAUTHORIZED ALTERATION WILL BE RESPONSIBLE BY GONZALEZ ARCHITECTS, ITS EMPLOYEES OR REPRESENTATIVES.
 - 3) THE GENERAL CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES APPLICABLE TO THIS WORK IN EFFECT AT THE TIME THIS WORK IS PERFORMED, AND IN CASES WHERE CONFLICTS ARISE, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
 - 4) THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND CONNECTION OF ALL NEW AND EXISTING UTILITIES FOR THIS PROJECT.
 - 5) THE GENERAL CONTRACTOR SHALL FIELD INSPECT AND VERIFY ALL EXISTING CONDITIONS OF THE SITE, UTILITIES, EXISTING DRAINAGE AND ADJACENT PROPERTIES PRIOR TO STARTING ANY OF THE WORK HEREIN DESCRIBED BY THESE DOCUMENTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT DIFFER FROM THESE DOCUMENTS PRIOR TO THE COMMENCEMENT OF ANY WORK FOR CORRECTION OR RESOLUTION OF THE DIFFERENCE (IF ANY).
 - 6) THE GENERAL CONTRACTOR SHALL COORDINATE ALL ASPECTS OF THE PROJECT AS RELATED TO THE EXISTENCE OF THESE DOCUMENTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FOUND FROM THESE DOCUMENTS DURING ANY PHASE OF THE WORK. THE CONTRACTOR SHALL RECEIVE DIRECTION FROM THE ARCHITECT TO RESOLVE THE DISCREPANCY (IF ANY) PRIOR TO COMMENCING ANY AREA OF THE WORK OR COMMENCING ANY RELATED WORK AFFECTING THE AREA IN QUESTION.
 - 7) ANY WORK INSTALLED IN CONFLICT WITH CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANT.

MARCELO GONZALEZ AIA
REGISTRATION # 96616
PRELIMINARY NOT FOR
CONSTRUCTION PERMIT OR
REGULATORY APPROVAL

REVISION DATE
05-05-2010
05-10-2010
05-19-2010
06-09-2010



TWO-STORY BRICK WALL SECTION (TYP.)
SCALE: 1/2" = 1'-0"



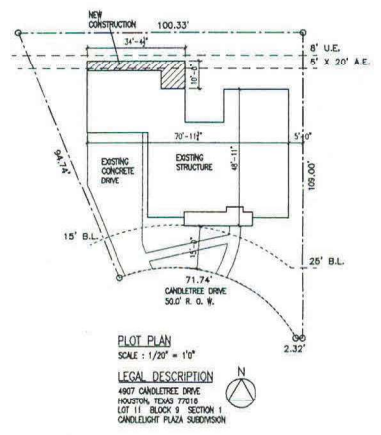
DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

NOTE

- 1) THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SEQUENCE OF LIGHT FIXTURES, FURNITURE, DOORS, AND MISCELLANEOUS EQUIPMENT (DOORS WITH GLASS AND WINDOWS MAY NOT BE REMOVED).
- 2) ALL EXISTING MEMBERS ARE APPROXIMATE; VERIFY ALL DIMENSIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE CONSTRUCTION.

LEGEND

- WALL TO REMAIN
- - - WALL TO BE REMOVED
- ▨ EXISTING BRICK WALL TO REMAIN
- ▩ EXISTING BRICK WALL TO BE REMOVED
- ⊗ WINDOWS & DOORS TO BE REMOVED



PLOT PLAN
SCALE: 1/20" = 1'0"

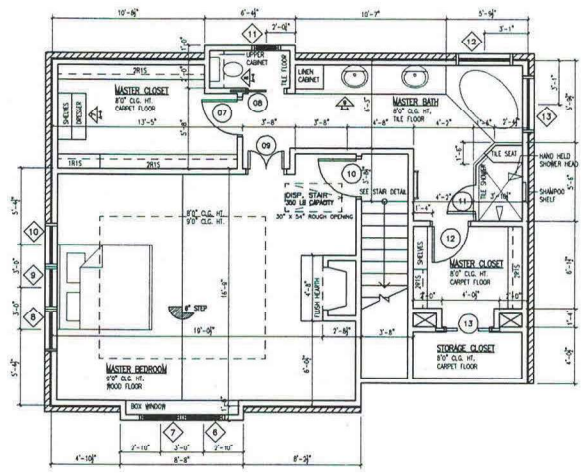
LEGAL DESCRIPTION
4907 CANDLETREE DRIVE
HOUSTON, TEXAS 77018
LOT 11, BLOCK 3, SECTION 1
CANDLELIGHT PLAZA SUBDIVISION

MAJERES RESIDENCE
4907 CANDLETREE DRIVE
HOUSTON, TEXAS 77018

GONZALEZ ARCHITECTS
FINE CUSTOM HOMES
2600 FOUNTAIN VIEW SUITE 104
HOUSTON, TEXAS 77057

A1

PROJECT # 10018
TOTAL SHEETS 4



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

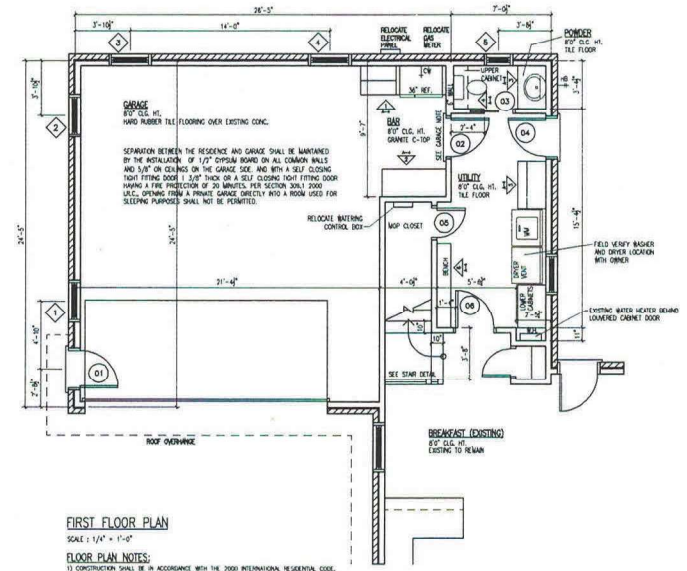
FLOOR PLAN NOTES:

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL RESIDENTIAL CODE, LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
- WALLS ARE DRAWN AT 4.5" (13.5" STUD) WITH 0.5" SHEET ROCK ON EACH SIDE UNLESS OTHERWISE NOTED.
- 8'0" C.L.G. HT. UNLESS OTHERWISE NOTED.
- R301.3 - BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGRICULTURAL GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH MUST BE OPERABLE.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 4" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WINDOW BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE. SEE IRC 2000 - R301.4 WINDOW LOCATIONS FOR ADDITIONAL REGULATIONS.
- BACKING FOR CERAMIC TILE INSTALLED IN TOILET ROOMS SHALL BE CONCRETE BACKER BOARD OR EQUAL.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS, THE NEW BUILDING OPERATOR'S GROUND FLOOR SHALL ALSO IN ELEVATION WITH RESPECTIVE FLOOR IN EXISTING BUILDING.
- ALL BEDROOM WINDOWS MUST HAVE MAX. 44" SILL HEIGHT WITH NET CLEAR OPENING OF 5.7 SQ. FT.
- FACTORY BUILT FIREPLACE MUST HAVE MANUFACTURER'S INSTRUCTION & SPECS ON JOB SITE.

WINDOW SCHEDULE				
MARK	SIZE (WIDTH x HEIGHT)	Head Height	Style	NOTES
0	3'-0" x 4'-0"	8'-0"	Single Hung	--
7	3'-0" x 3'-0"	8'-0"	Single Hung	--
8	3'-0" x 3'-0"	8'-0"	Picture	--
9	3'-0" x 3'-0"	8'-0"	Picture	--
10	3'-0" x 3'-0"	8'-0"	Picture	--
11	2'-0" x 3'-0"	8'-0"	Single Hung	--
12	4'-0" x 4'-0"	8'-0"	Picture	Tempered glass
13	4'-0" x 4'-0"	8'-0"	Picture	Tempered glass

ALL EXTERIOR WINDOWS AND DOORS TO HAVE S. H. G. C. OF 0.4

DOOR AND FRAME SCHEDULE				
MARK	SIZE (WD x HGT)	Style	Swing Direction	NOTES
7	2'-0" x 8'-0"	Hinged - Single	Right	--
8	2'-0" x 8'-0"	Pocket - Single	Right	--
9	2'-0" x 8'-0"	Hinged - Double	NA	--
10	2'-0" x 8'-0"	Hinged - Single	Right	--
11	2'-0" x 8'-0"	Hinged - Single	Left	Tempered glass
12	2'-0" x 8'-0"	Hinged - Single	Right	--
13	3'-0" x 8'-0"	Pocket - NA	NA	--



FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

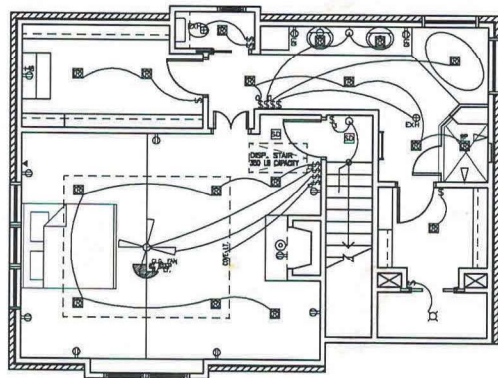
FLOOR PLAN NOTES:

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL RESIDENTIAL CODE, LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
- WALLS ARE DRAWN AT 4.5" (13.5" STUD) WITH 0.5" SHEET ROCK ON EACH SIDE UNLESS OTHERWISE NOTED.
- 8'0" C.L.G. HT. UNLESS OTHERWISE NOTED.
- R301.3 - BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGRICULTURAL GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF OF WHICH MUST BE OPERABLE.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 4" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WINDOW BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE. SEE IRC 2000 - R301.4 WINDOW LOCATIONS FOR ADDITIONAL REGULATIONS.
- BACKING FOR CERAMIC TILE INSTALLED IN TOILET ROOMS SHALL BE CONCRETE BACKER BOARD OR EQUAL.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS, THE NEW BUILDING OPERATOR'S GROUND FLOOR SHALL ALSO IN ELEVATION WITH RESPECTIVE FLOOR IN EXISTING BUILDING.

WINDOW SCHEDULE				
MARK	SIZE (WIDTH x HEIGHT)	Head Height	Style	NOTES
1	3'-0" x 4'-0"	8'-0"	Single Hung	--
2	3'-0" x 4'-0"	8'-0"	Single Hung	--
3	3'-0" x 4'-0"	8'-0"	Single Hung	--
4	3'-0" x 4'-0"	8'-0"	Single Hung	--
5	3'-0" x 4'-0"	8'-0"	Single Hung	--

DOOR AND FRAME SCHEDULE				
MARK	SIZE (WD x HGT)	Style	Swing Direction	NOTES
1	2'-0" x 8'-0"	Hinged - Single - Exterior	Right	--
2	2'-0" x 8'-0"	Hinged - Single - Exterior	Left	See garage note
3	2'-0" x 8'-0"	Pocket - Single	Right	--
4	2'-0" x 8'-0"	Hinged - Single - Exterior	Right	--
5	2'-0" x 8'-0"	Hinged - Single	Left	--
6	2'-0" x 8'-0"	Hinged - Single	Left	--

ALL EXTERIOR WINDOWS AND DOORS TO HAVE S. H. G. C. OF 0.4



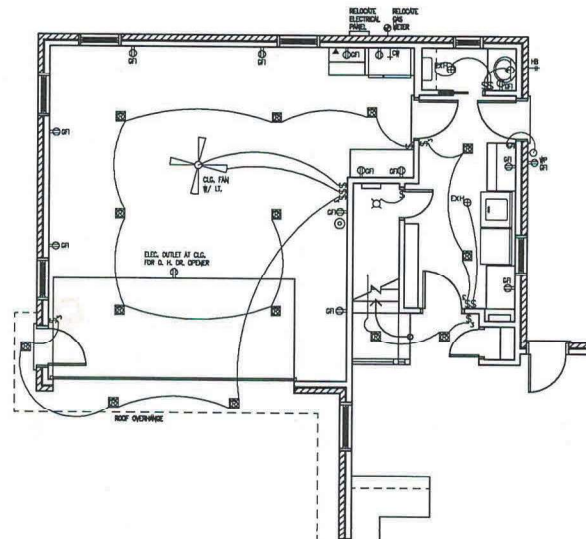
SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN NOTES

- 1) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL WIREING CODE, LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
- 2) ALL SMOKE DETECTORS TO BE 110V BY BATTERY BACKUP. ALL SMOKE DETECTORS TO BE INTERCONNECTED AND HARD WIRED.
- 3) SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED TO BE INTERCONNECTED AND HARD WIRED UNLESS THE ALARMING OR SIGNALS DO NOT RESULT IN THE REGIONAL OF INTERIOR WALL OR CEILING FRIGES EXPOSING THE STRUCTURE, UNLESS THERE IS AN EYE, CORN, SPICE OR INGREDIENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND INTERCONNECTED WITHOUT THE REGIONAL OF INTERIOR FRIGES.
- 4) SMOKE ALARMS IN ALL HABITABLE ROOMS MUST BE AT A MINIMUM DISTANCE OF 12'-0" O.C.
- 5) HALLWAYS MUST HAVE EXHAUST FANS OR BRIDGES WITH A MINIMUM OPENING AREA OF 3.0 SQ. FT.

LEGEND	
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOR LIGHT
	RECESSED LIGHT
	PODCAST LIGHTING
	FLUORESCENT
	LCL UNDER CABINET LIGHTING
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	GFI/ GROUND FAULT ISOLATE
	DUPLEX RECEPTACLE OUTLET
	QUADRUPLEX RECEPTACLE OUTLET
	220V OUTLET
	WEATHER PROOF OUTLET
	EXHAUST FAN
	DOOR BELL
	PHONE
	SMOKE DETECTOR
	SPEAKER
	CABLE
	EXISTING FIXTURE



FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN NOTES

- 1) CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2000 INTERNATIONAL WIREING CODE, LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
- 2) ALL SMOKE DETECTORS TO BE 110V BY BATTERY BACKUP. ALL SMOKE DETECTORS TO BE INTERCONNECTED AND HARD WIRED.
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- 5) HALLWAYS MUST HAVE EXHAUST FANS OR BRIDGES WITH A MINIMUM OPENING AREA OF 3.0 SQ. FT.

LEGEND	
	LIGHT FIXTURE
	WALL MOUNTED FIXTURE
	FLOOR LIGHT
	RECESSED LIGHT
	PODCAST LIGHTING
	CHANDILLER
	ACCENT LIGHT FIXTURE
	FLUORESCENT
	LCL UNDER CABINET LIGHTING
	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	DIMMER SWITCH
	GFI/ GROUND FAULT ISOLATE
	DUPLEX RECEPTACLE OUTLET
	QUADRUPLEX RECEPTACLE OUTLET
	220V OUTLET
	WEATHER PROOF OUTLET
	EXHAUST FAN
	DOOR BELL
	PHONE
	SMOKE DETECTOR
	SPEAKER
	CABLE
	EXISTING FIXTURE

MARCELO GONZALEZ/AAA
REGISTRATION # 18616
PRELIMINARY NOT FOR
CONSTRUCTION PERMIT OR
REGULATORY APPROVAL

REVISION DATE
03-15-2010
05-10-2010
05-19-2010
06-09-2010

MAJERES RESIDENCE
4907 CANDLETREE DRIVE
HOUSTON, TEXAS 77018

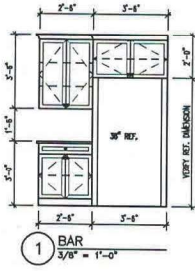
GONZALEZ ARCHITECTS
FINE CUSTOM HOMES
2620 FOUNTAIN VIEW SUITE 104
HOUSTON, TEXAS 77057
OFFICE: 713-532-1185
GonzalezArchitects.com

A3

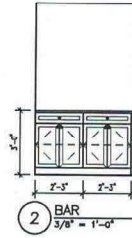
PROJECT # 10018
TOTAL SHEETS 4

CABINET NOTES:

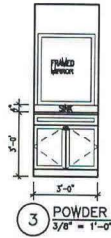
- 1) ALL CABINETS TO BE FINISH GRADE UNLESS OTHERWISE NOTED
- 2) ALL SHELVES TO BE ADJUSTABLE UNLESS OTHERWISE NOTED.
- 3) ALL DRAWERS TO HAVE FULL EXTENSION SLIDES UNLESS OTHERWISE NOTED



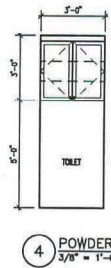
1 BAR
3/8" = 1'-0"



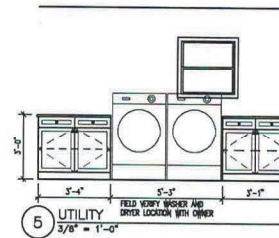
2 BAR
3/8" = 1'-0"



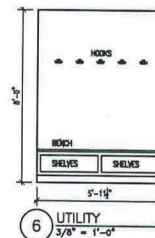
3 POWDER
3/8" = 1'-0"



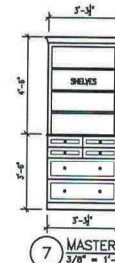
4 POWDER
3/8" = 1'-0"



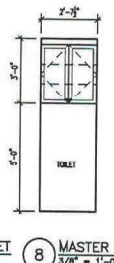
5 UTILITY
3/8" = 1'-0"



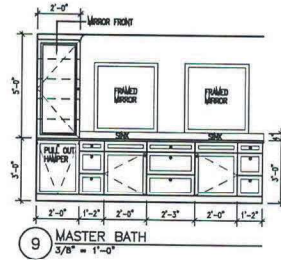
6 UTILITY
3/8" = 1'-0"



7 MASTER CLOSET
3/8" = 1'-0"



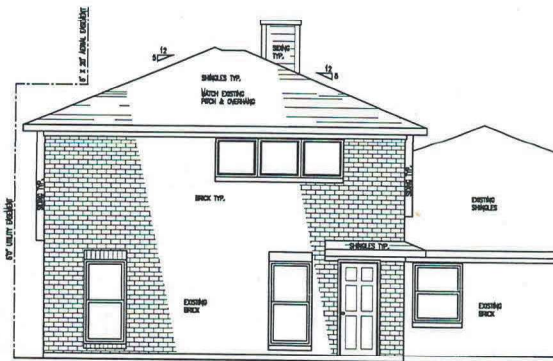
8 MASTER WC
3/8" = 1'-0"



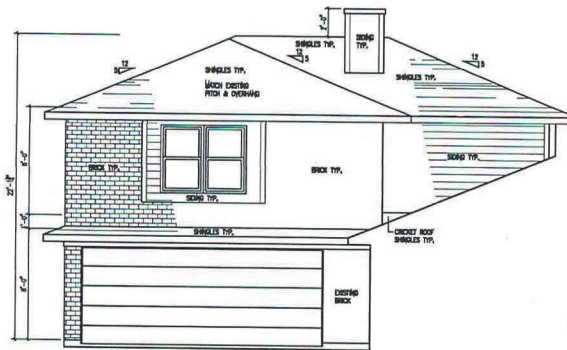
9 MASTER BATH
3/8" = 1'-0"



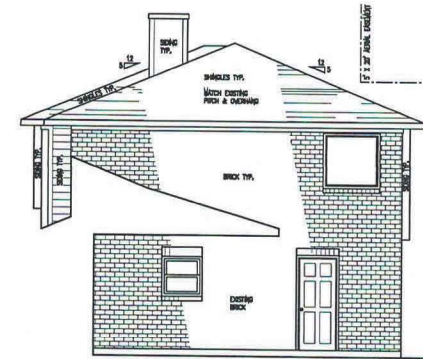
1 REAR ELEVATION
1/4" = 1'-0"



2 LEFT SIDE ELEVATION
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

MARCELO GONZALEZ, AIA
REGISTRATION # 16816
PRELIMINARY NOT FOR CONSTRUCTION OR REGULATORY APPROVAL
REVISION DATE
05-03-2010
05-10-2010
05-19-2010
06-09-2010

MAJERES RESIDENCE
4807 CANDLETREE DRIVE
HOUSTON, TEXAS 77018

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A4
PROJECT # 10018
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