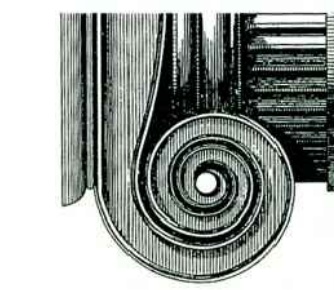


PROPOSED RESIDENCE AT
4023 WEST MAIN STREET
FOR
ASPIRE FINE HOMES

ARCHITECTURAL
SOLUTIONS, INC.



1415 S. Voss #110-96
Houston, Texas 77057
Phone: (713)978-6989
Fax: (713)978-7085

ARCHITECT

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DATE
04-08-2021

PROJECT TITLE

A Custom Residence for:
ASPIRE FINE HOMES

PROJECT ADDRESS

4023 WEST MAIN STREET
HOUSTON, TX 77027

PLAN NUMBER

4974

DRAWN BY

BPS / CBO

CHECKED BY

XXX

AREA TABULATION

FIRST FLOOR	2,291 S.F.
SECOND FLOOR	2,683 S.F.
TOTAL LIVING AREA	4,974 S.F.

2 CAR GARAGE	495 S.F.
FRONT PORCH	14 S.F.
REAR PORCH	15 S.F.
COVERED PATIO	378 S.F.
TOTAL NON-LIVING AREA	902 S.F.

TOTAL COVERED AREA	5,876 S.F.
--------------------	------------

SHEET TITLE

COVERSHEET

SCALE

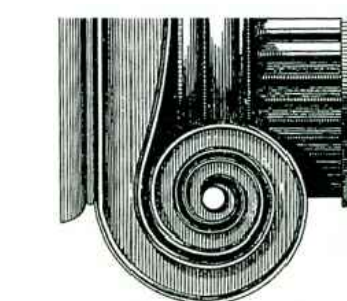
NONE

DATE

April 8, 2021

SHEET NUMBER

■



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ARCHITECT

U:\Meeting\55881_C2038804\01010.jpg

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04-08-2021

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SHEET TITLE

SITE PLAN

SCALE

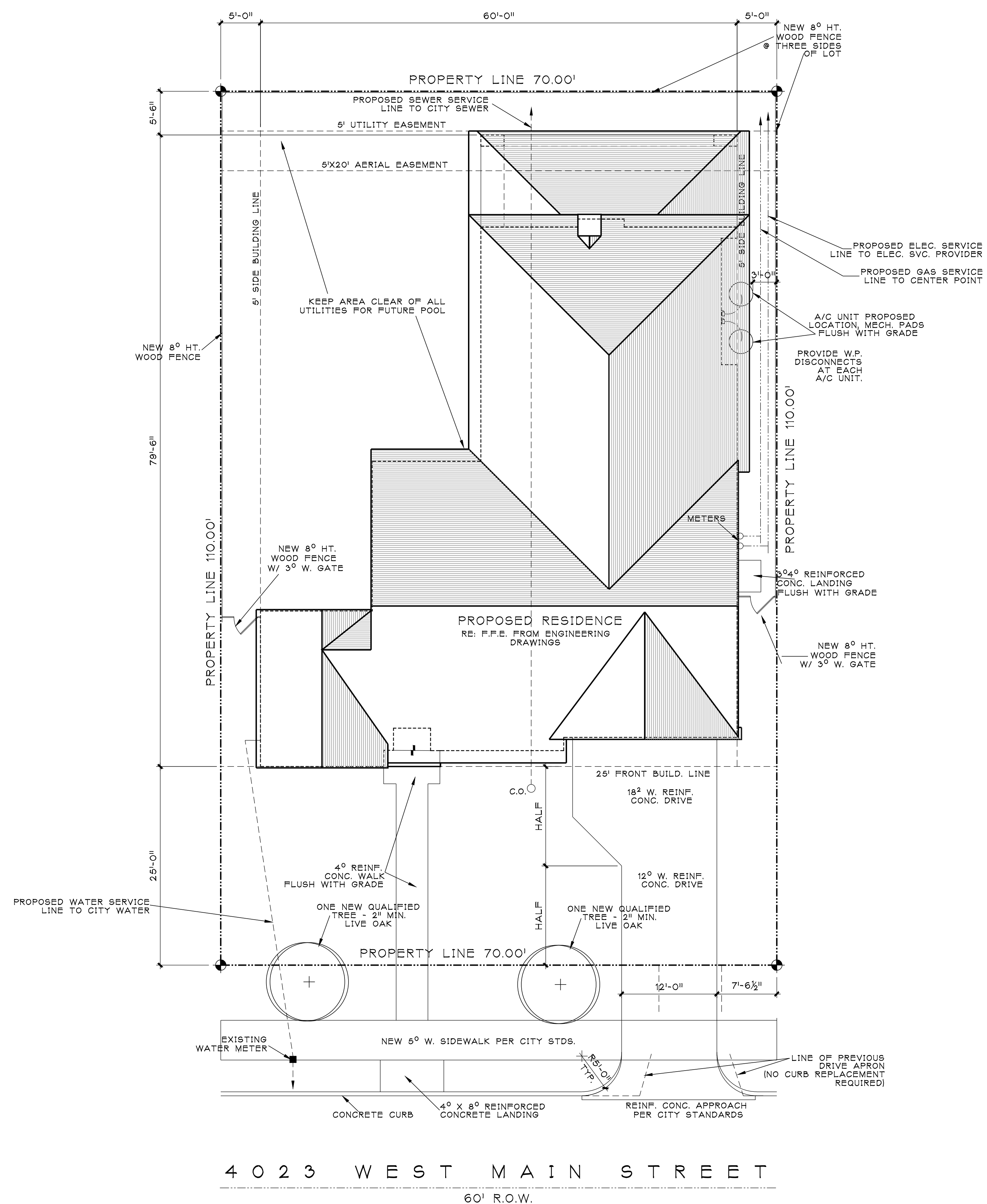
1/8" = 1'-0"

DATE

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SHEET NUMBER

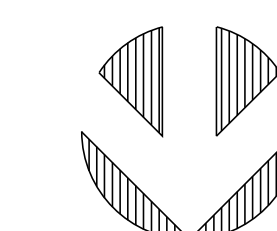
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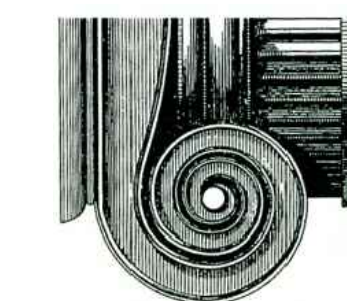
LOT CALCULATIONS

LOT AREA	7,700 S.F.
IMPROVEMENTS	
FIRST FLOOR	2,291
GARAGE	495
COVERED PATIO	378
FRONT AND REAR PORCH	29
DRIVEWAY & MOTOR COURT WALKS, LANDINGS & STEPS	
	408
	116
TOTAL IMPROVEMENTS	3,717 S.F.
LOT COVERAGE	48.27 %

FINISHED FLOOR ELEVATION AS PER IRC 2012 HOUSTON AMENDMENT R401.5 THE FINISHED FLOOR SHALL BE 12" ABOVE NEAREST MANHOLE COVER SERVING THIS RESIDENCE, OR NOT LESS THAN 4" ABOVE THE CROWN OF THE STREET.



NORTH
LOT: 4
BLOCK: 5
LYNN PARK
SUBDIVISION



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FIRST FLOOR PLAN

SCALE

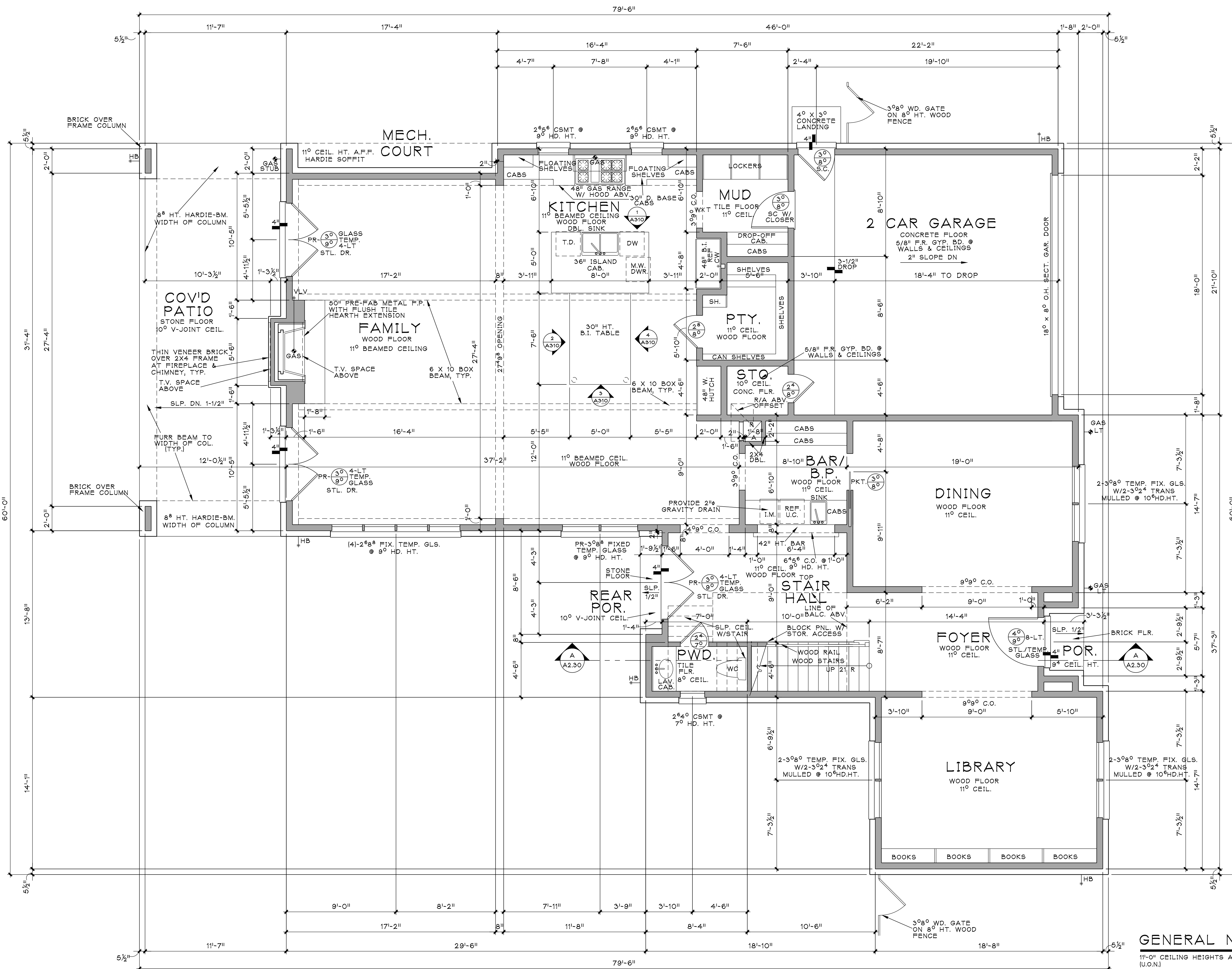
1/4" = 1'-0"

DATE

April 8, 2021

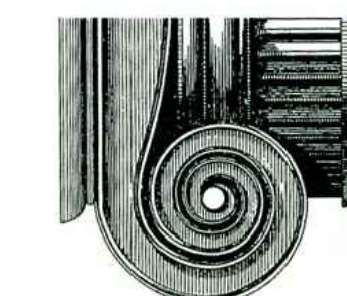
SHEET NUMBER

A1.10



GENERAL NOTES

- 11'-0" CEILING HEIGHTS AT FIRST FLOOR (U.O.N.)
- 10'-0" CEILING HEIGHTS AT SECOND FLOOR (U.O.N.)
- WOOD FLOORS (U.O.N.)
- WOOD CASEMENT WINDOWS, AT 9'-0" HEAD HT. @ FIRST, 8'-0" HT. @ SECOND FLOOR
- 1-3/8" 2-PANEL INTERIOR DOORS. 8'-0" HT. AT FIRST & SECOND.
- 1-3/4" SOLID CORE EXTERIOR DOORS.
- ALL EXTERIOR WALL STUDS TO BE 2X6 @ 16" O.C.



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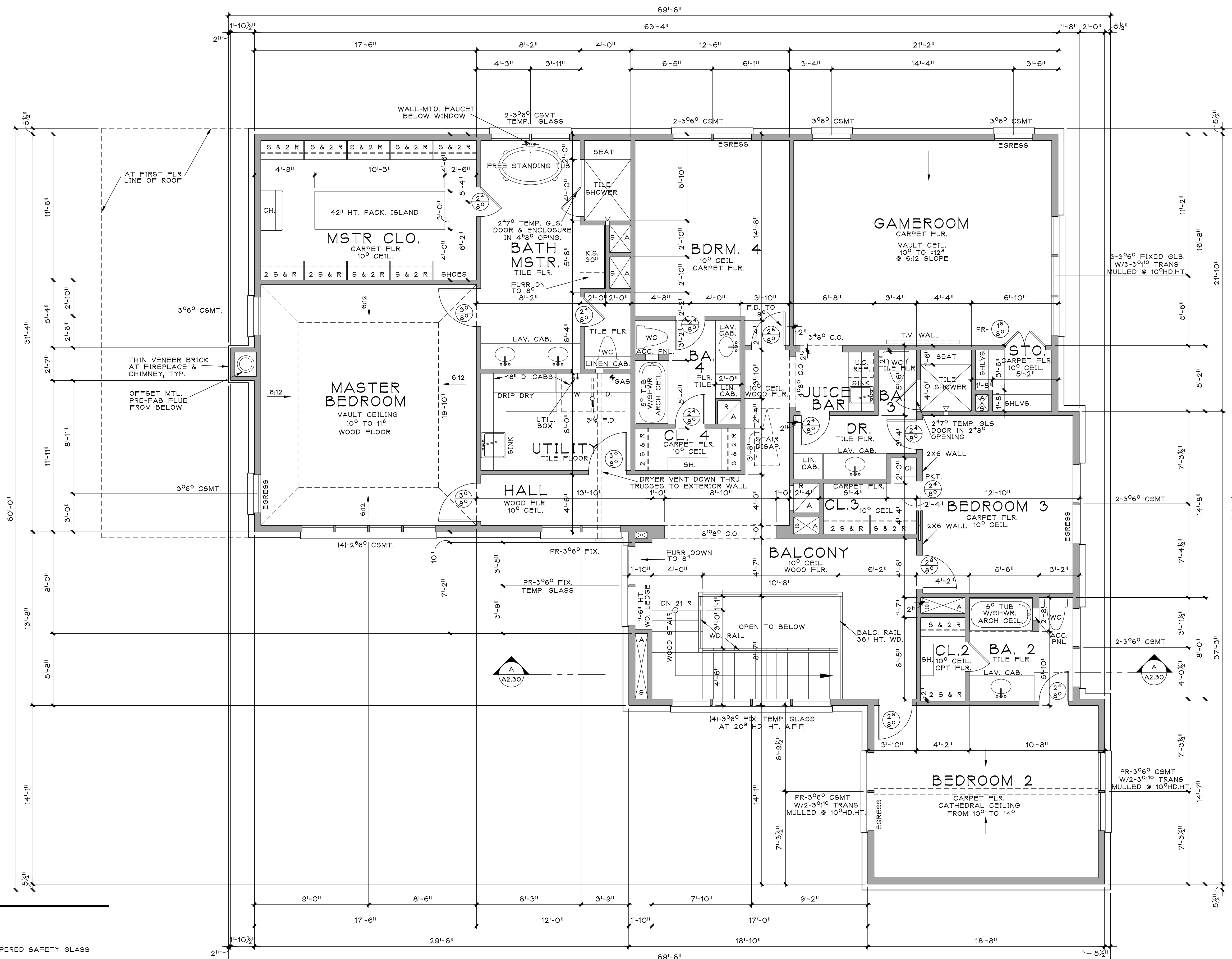
SECOND FLOOR PLAN

SCALE
1/4" = 1'-0"

DATE
April 8, 2021

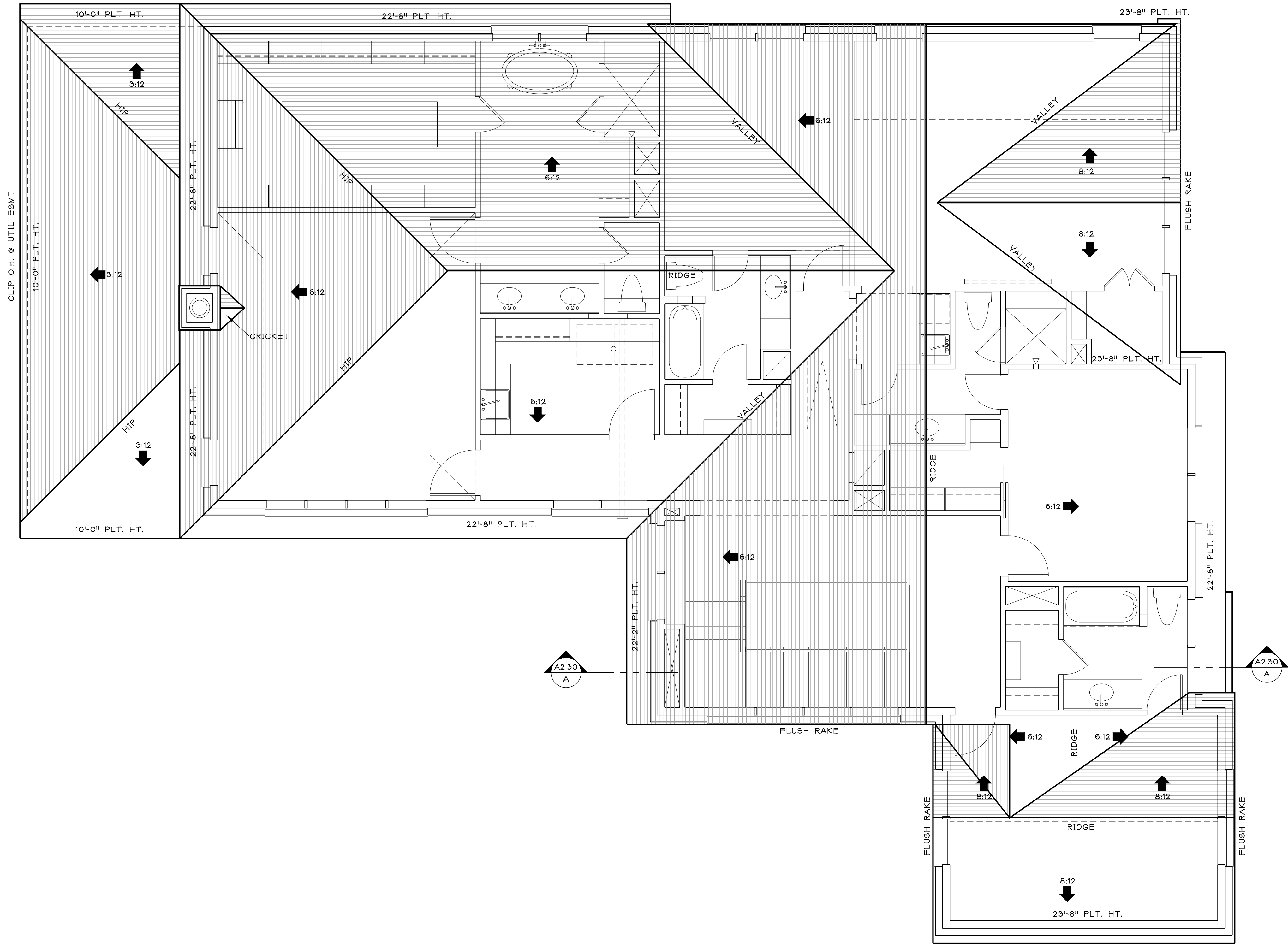
SHEET NUMBER

A1.20



GENERAL NOTES

- TILE FLOORS (U.O.N.)
- TILE WALLS AT TUB ALCOVES TO CEILING.
- TILE FULL AT SHOWERS.
- STONE SLAB DRAIN AND SPLASH (U.O.N.)
- ALL GLASS AT TUBS AND SHOWERS TO BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH IRC SECTION R308.
- SHOWER STALLS AND TUB WALLS TO BE FINISHED WITH NONABSORBANT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE FLOOR OVER WATERPROOF SHEETROCK (GREENROCK) MIN.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH IRC R303.3.
- ALL EXTERIOR WALLS THIS LEVEL TO BE 2X6'S @ 16" O.C. WINDOWS ARE AT 8'-0" HD. HT. AND MEET IRC R612.2
- STAIR RAIL AND ALL GUARD RAILS TO COMPLY WITH TABLE R301.6 & FOOTNOTE D. DESIGN FOR MIN. 200 LB LIVE LOAD & SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- ATTIC ACCESSSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECKED AREAS EXCEED 500 SQUARE FEET. ATTIC ACCESS SHALL BE A PULL DOWN STAIRWAY W/ CLEAR OPNG OF 22" MIN. BETWEEN HARDWARE, AND A 350# LOAD CAPACITY MIN. PROVIDE A CLEAR AND UNOBSTRUCTED PASSAGEWAY MIN. 30" HIGH AND 30" W. TO ANY APPLIANCE IN ATTIC. PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORD W/ IRC CHAPTER 5. PROVIDE LEVEL SPACE 30" DEEP AND 30" W. ALLONG ALL SIDES OF APPLIANCE WHERE ACCESS IS REQ'D. CLEAR ACCESS OPNG DIMENSIONS SHALL BE 30" X 54" MIN. WHERE SUCH



TIME: Mon, 12 Apr 2021 - 7:28am
pre-A209 - W:\Admin\Project Templates\CA\A130.dwg

ARCHITECTURAL SOLUTIONS, INC.



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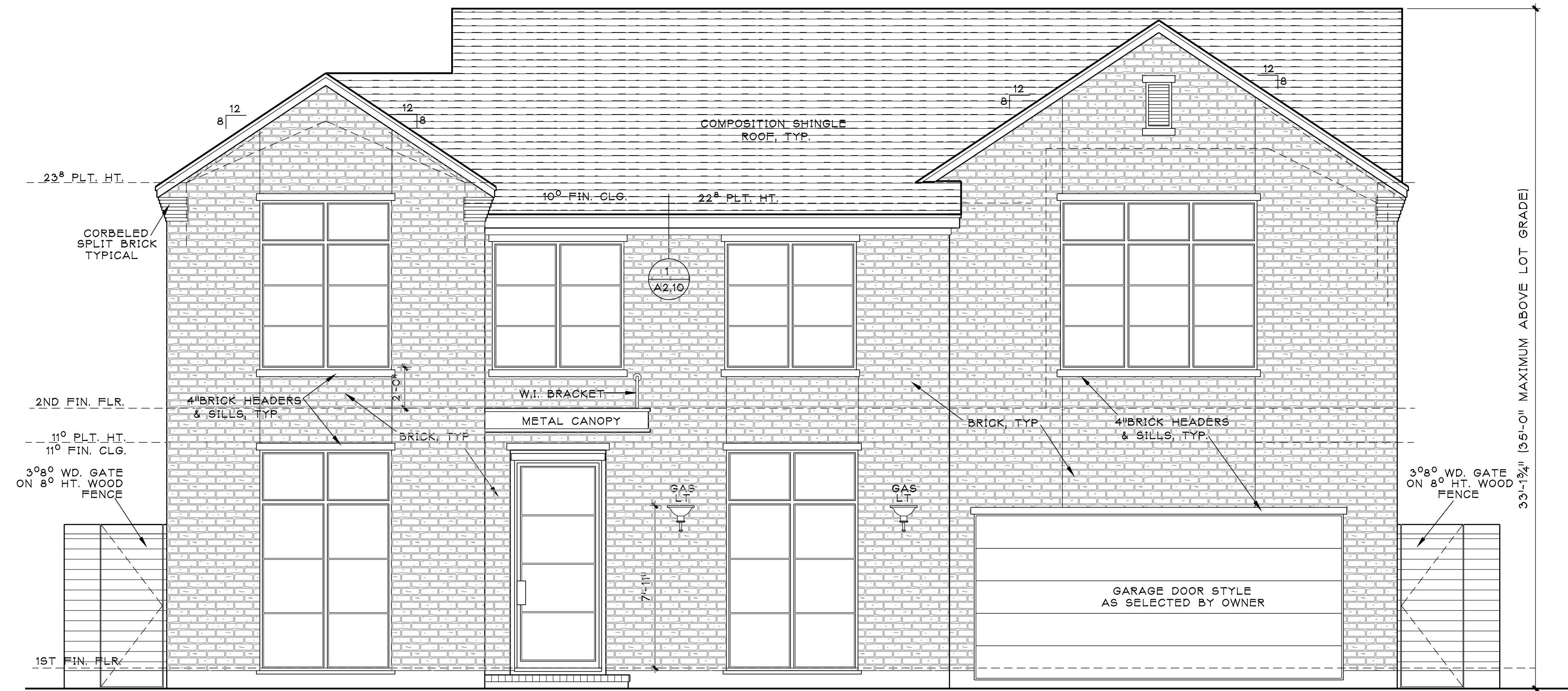
ROOF PLAN

SCALE
1/4" = 1'-0"

DATE
April 8, 2021

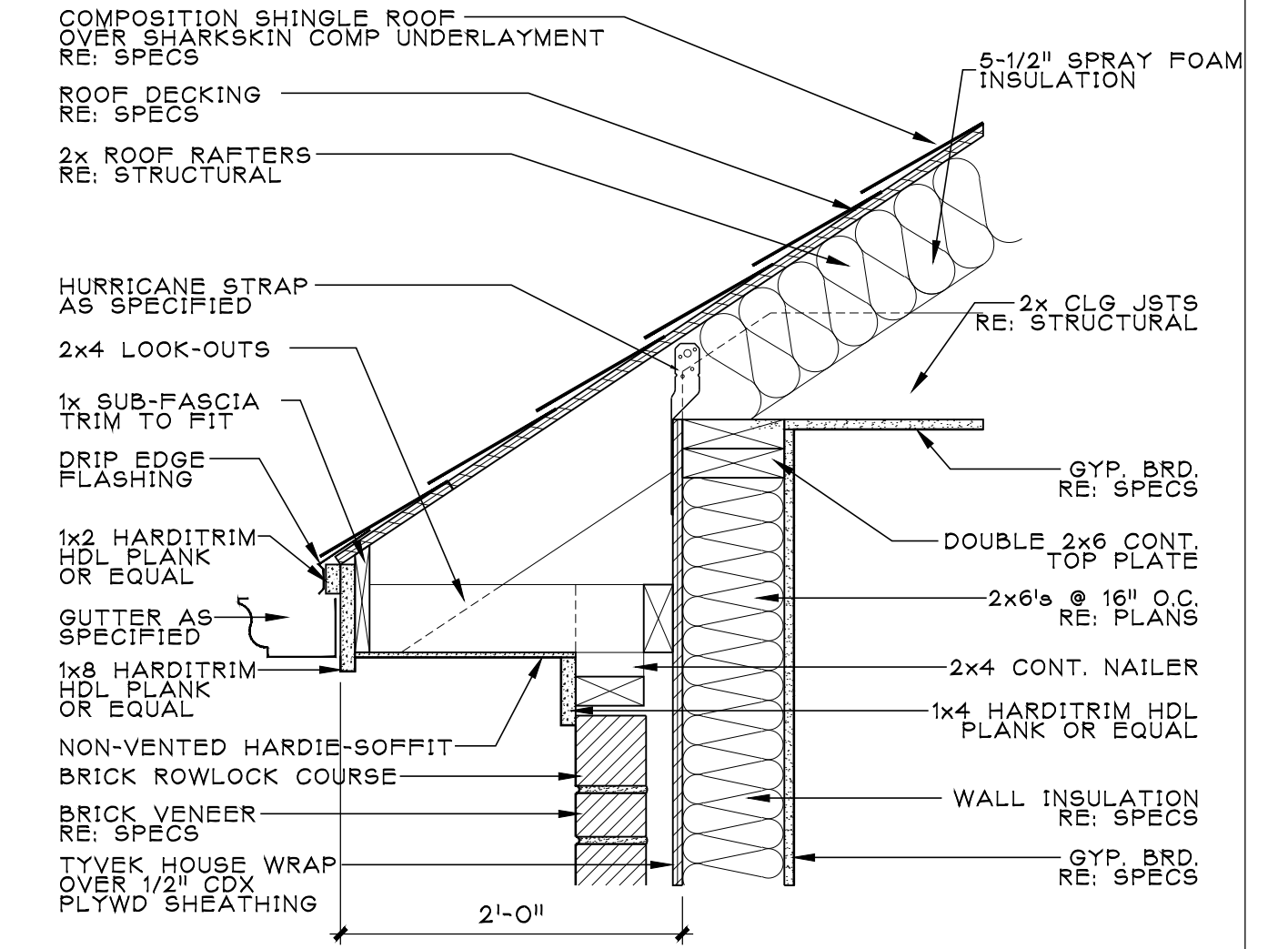
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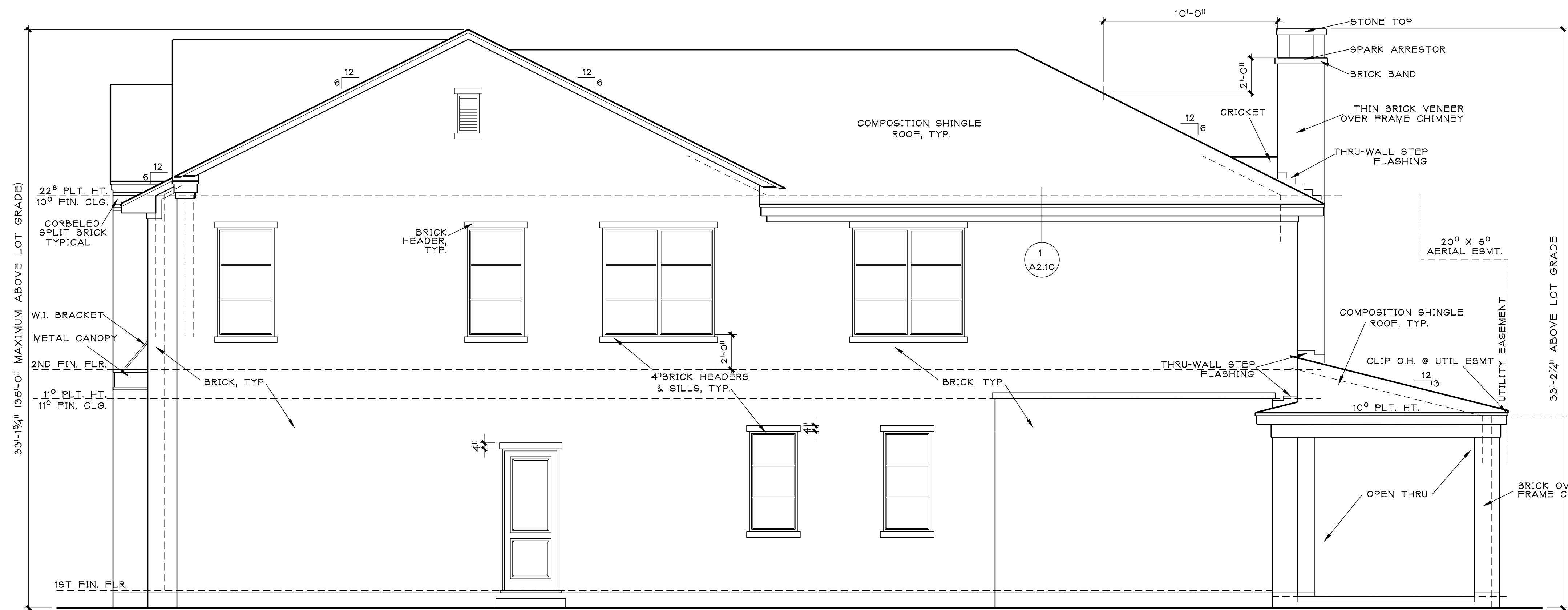
FRONT ELEVATION

SCALE 1/4" = 1'-0"



1 TYPICAL SOFFIT DETAIL

A2.10 SCALE 1 1/2" = 1'-0"



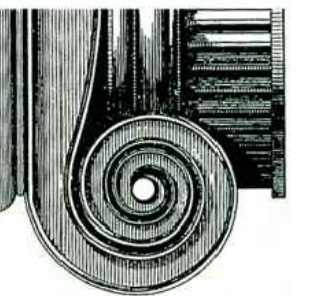
RIGHT ELEVATION

SCALE 1/4" = 1'-0"

ELEVATION NOTES

- ALL PLATE HEIGHTS MEASURED ABOVE FIRST FLOOR
- OVERHANGS TO BE 1'-0" FROM FRAME WALL AT 8/12 PITCH AND 2'-0" AT 6/12 PITCH, OTHER TO MATCH.
- RAKES TO BE FLUSH W/ EXTERIOR WALL.
- PROVIDE STEEL LINTELS AS SCHEDULED AT OPENINGS WITH BRICK ABOVE.
- PROVIDE GUTTERS AND DOWNSPOUTS AS DIRECTED BY OWNER.
- PROVIDE SPARK ARRESTORS AT CHIMNEY WITH MESH TO HAVE 1/2" MAXIMUM GAP.
- SIDING SHALL BE ARTISAN HARDIE-SIDING AND TRIM.

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EXTERIOR ELEVATIONS

SCALE

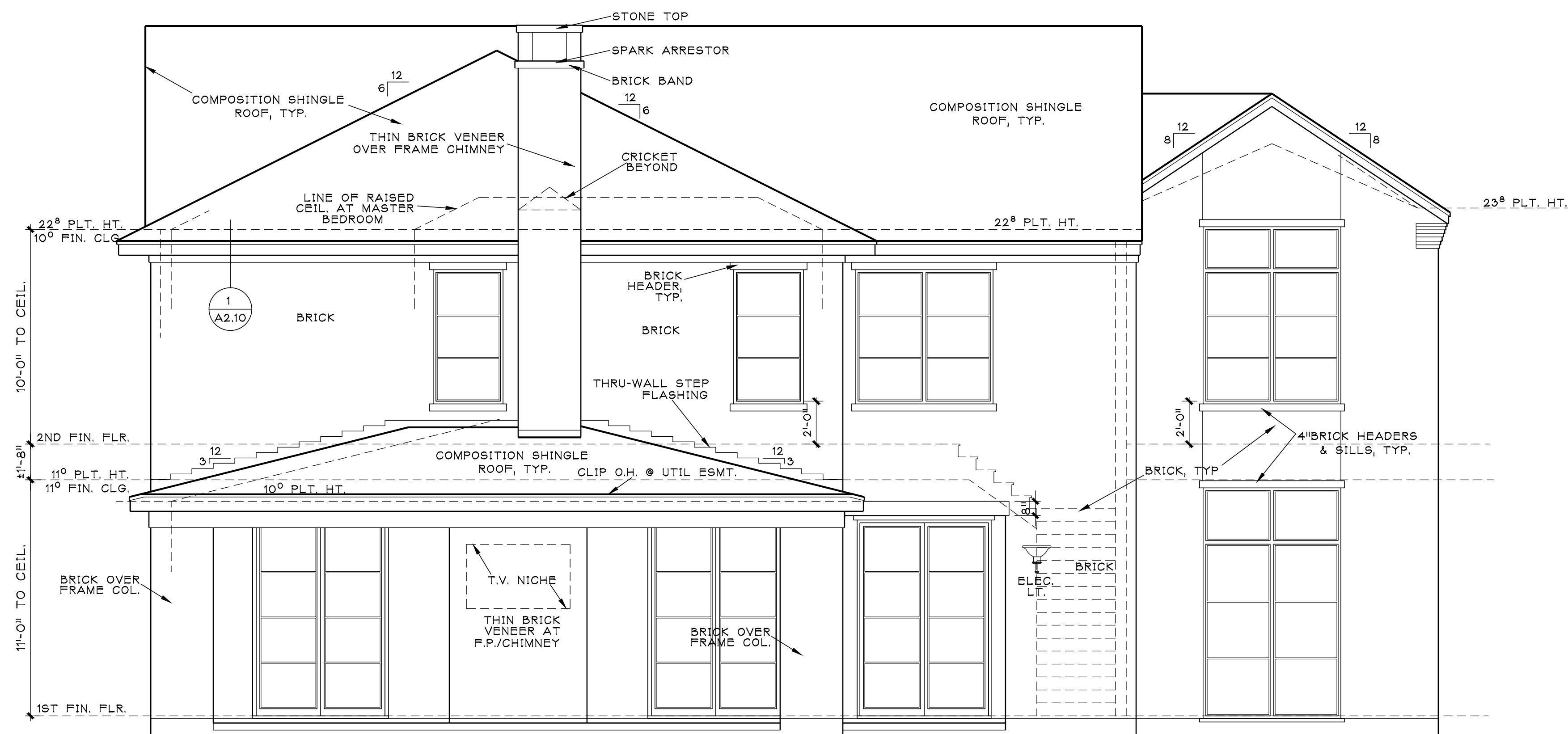
1/4" = 1'-0"

DATE

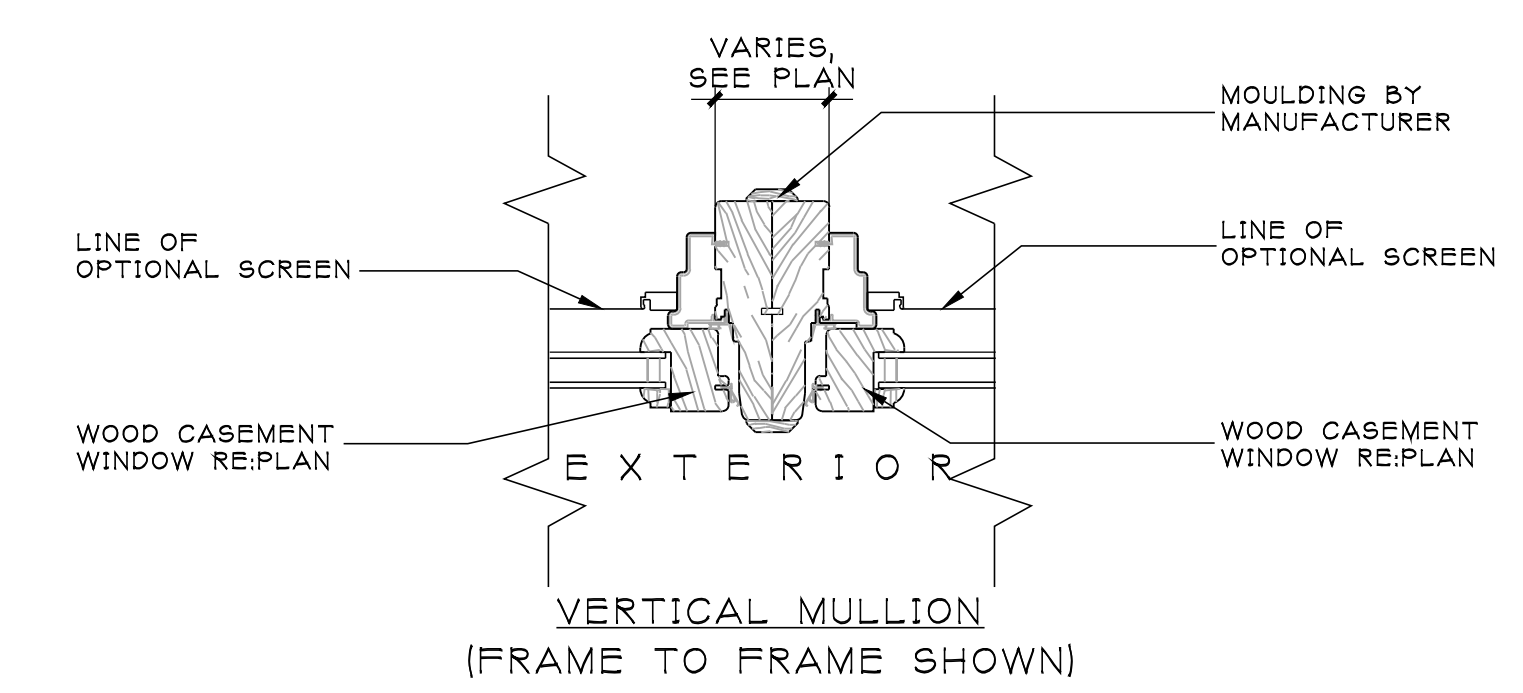
April 8, 2021

SHEET NUMBER

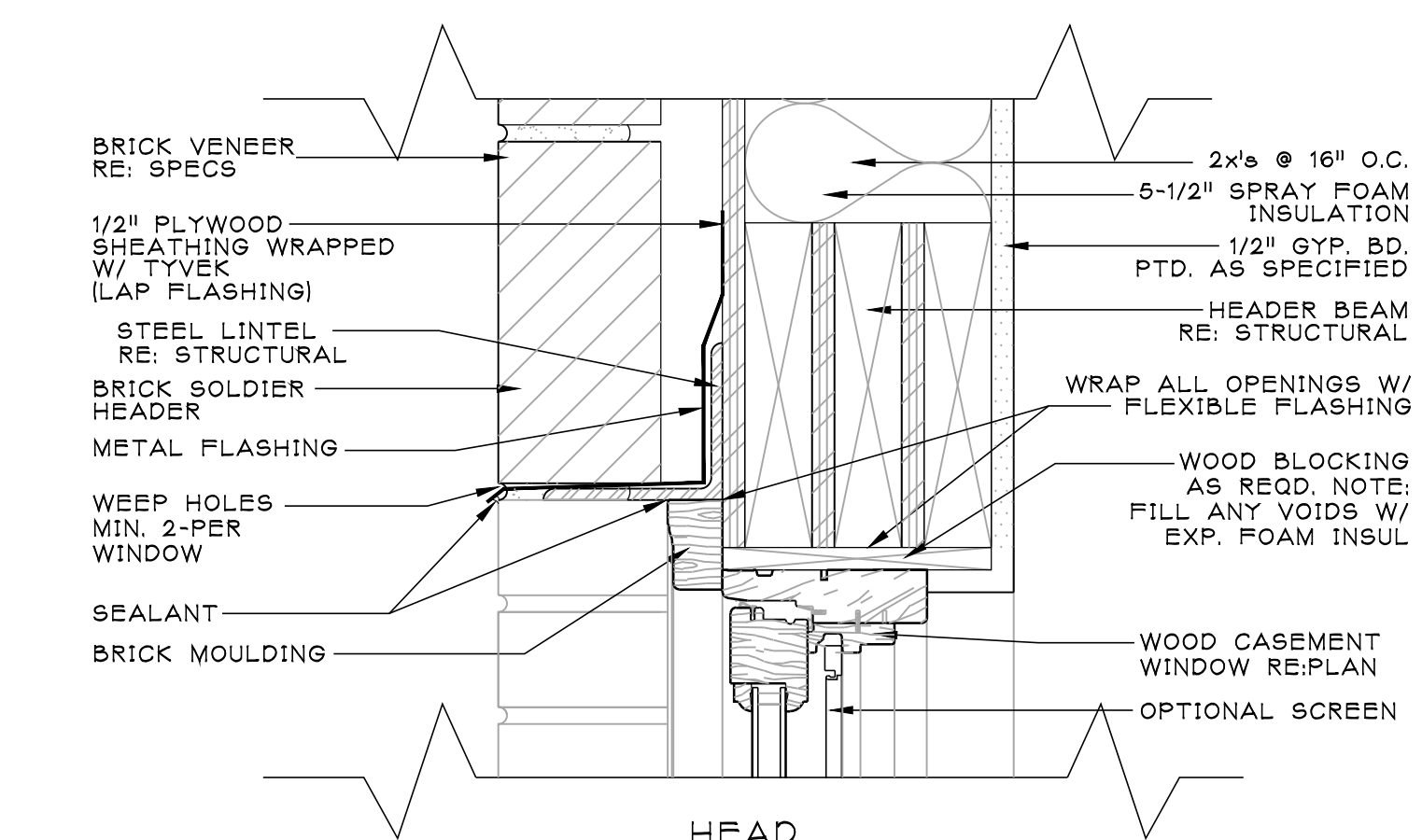
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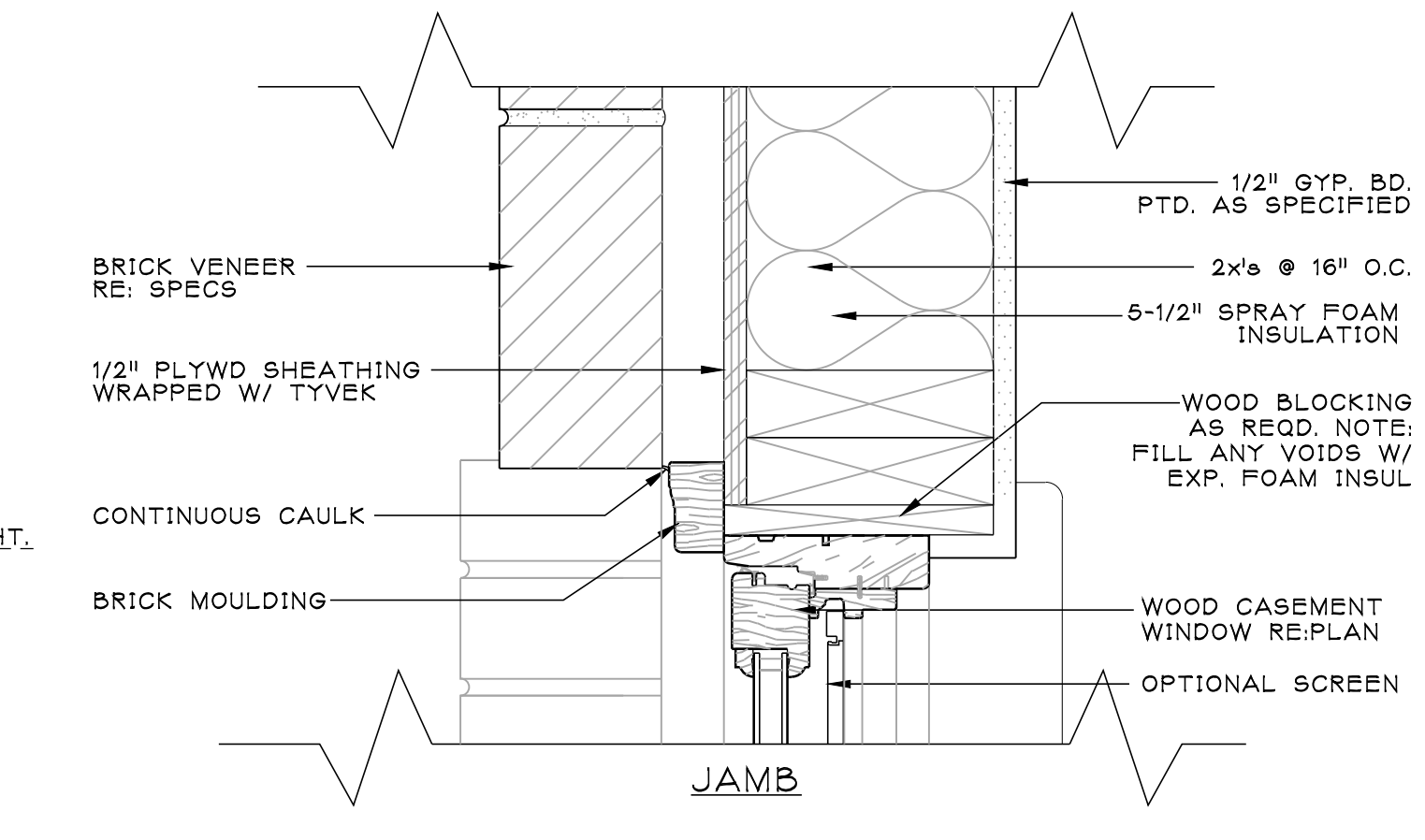
REAR ELEVATION
SCALE 1/4" = 1'-0"



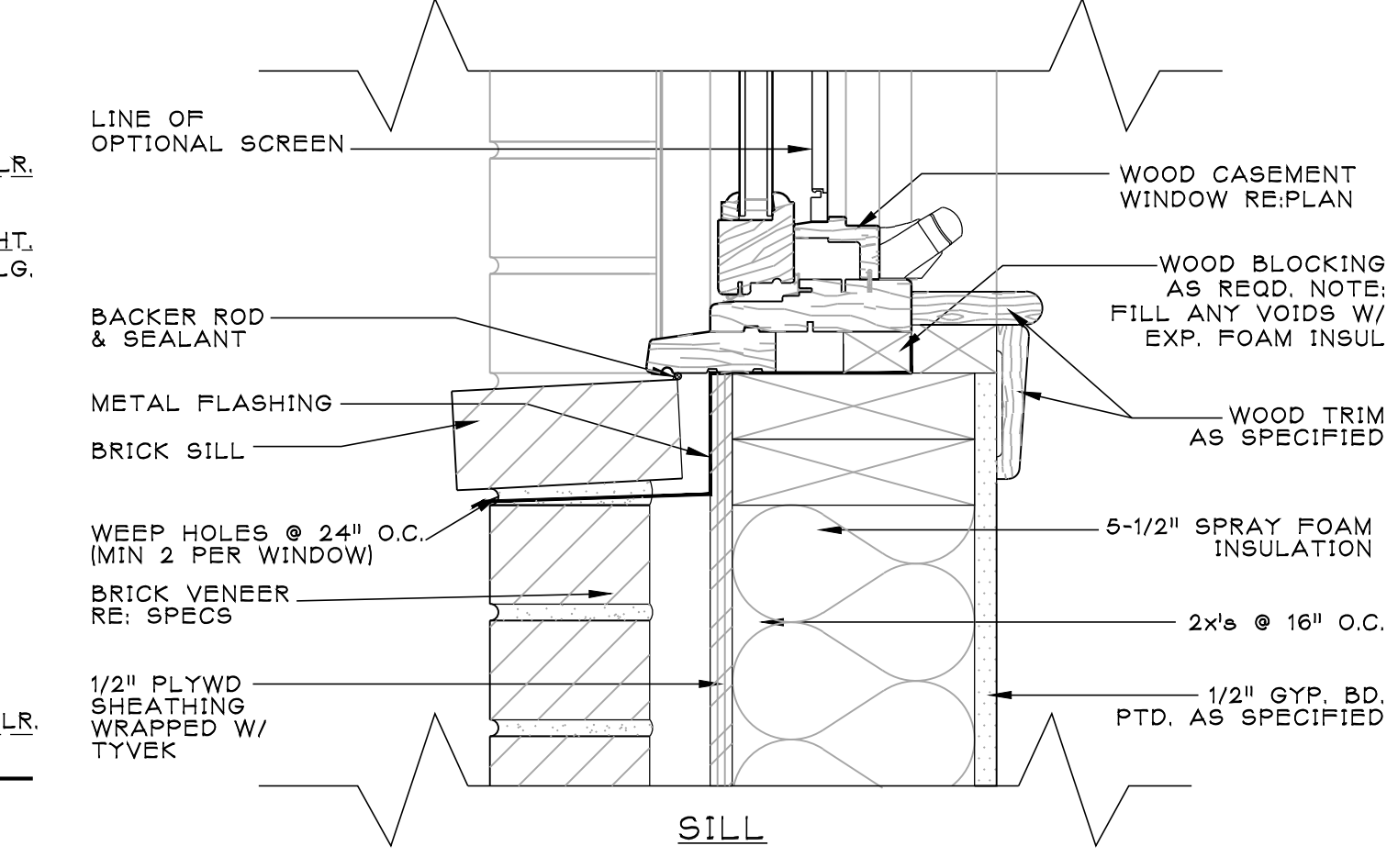
VERTICAL MULLION
(FRAME TO FRAME SHOWN)



HEAD

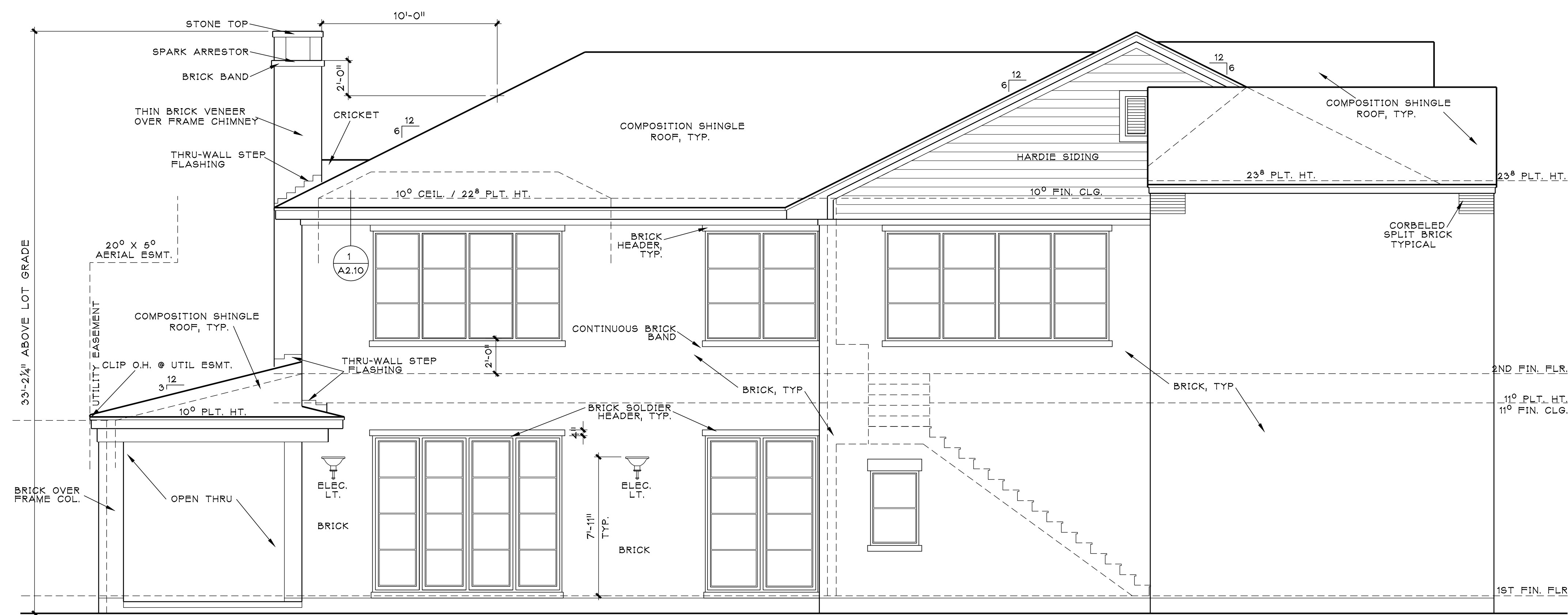


JAMB

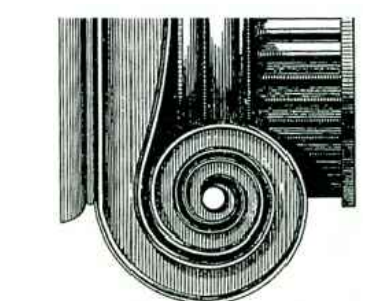


SILL

CASEMENT WINDOW DETAILS @ BRICK
SCALE 3/8" = 1'-0"



LEFT ELEVATION
SCALE 1/4" = 1'-0"



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SHEET TITLE

BUILDING SECTION

SCALE

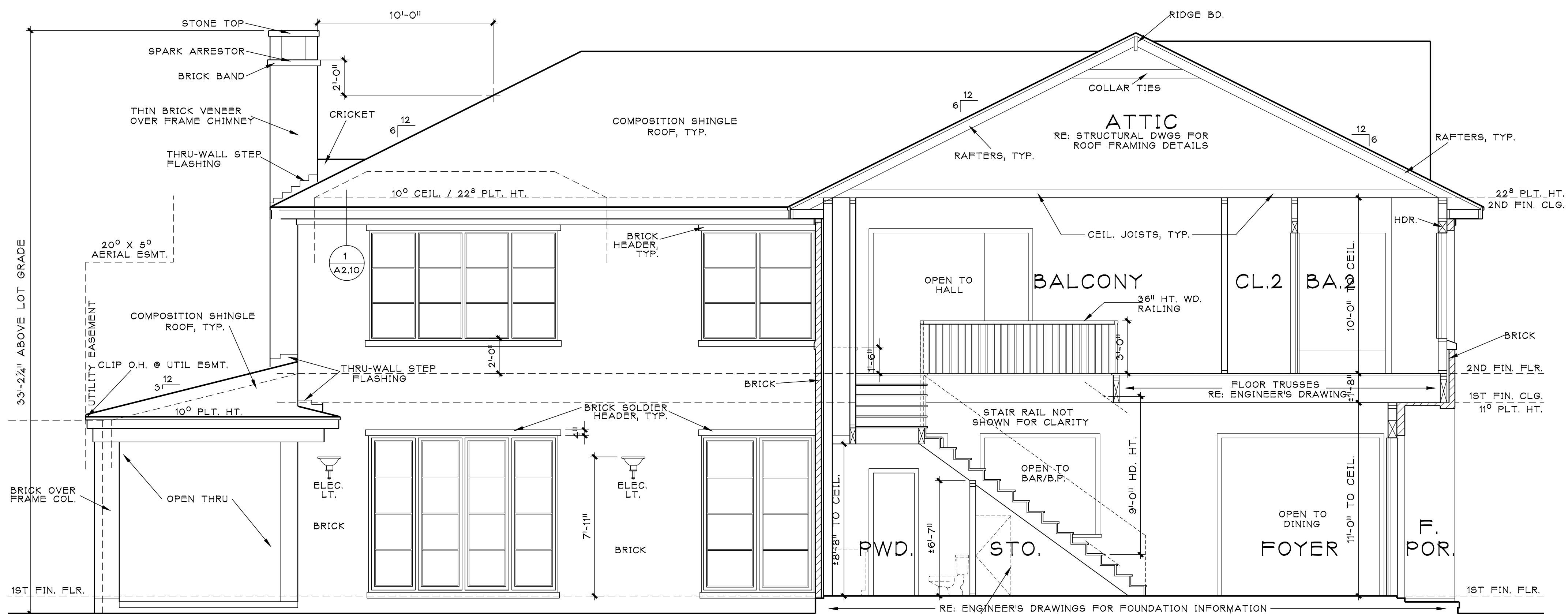
1/4" = 1'-0"

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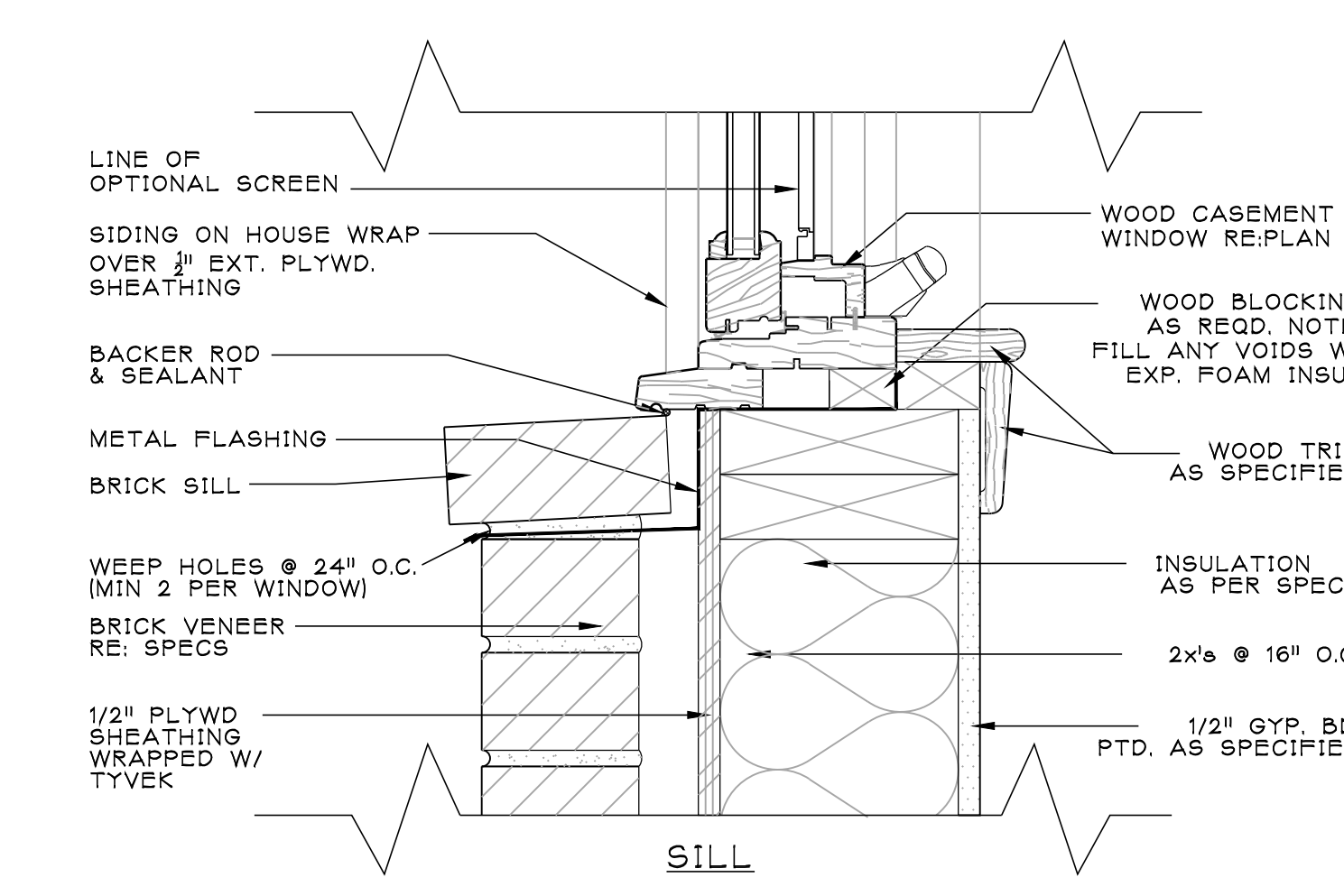
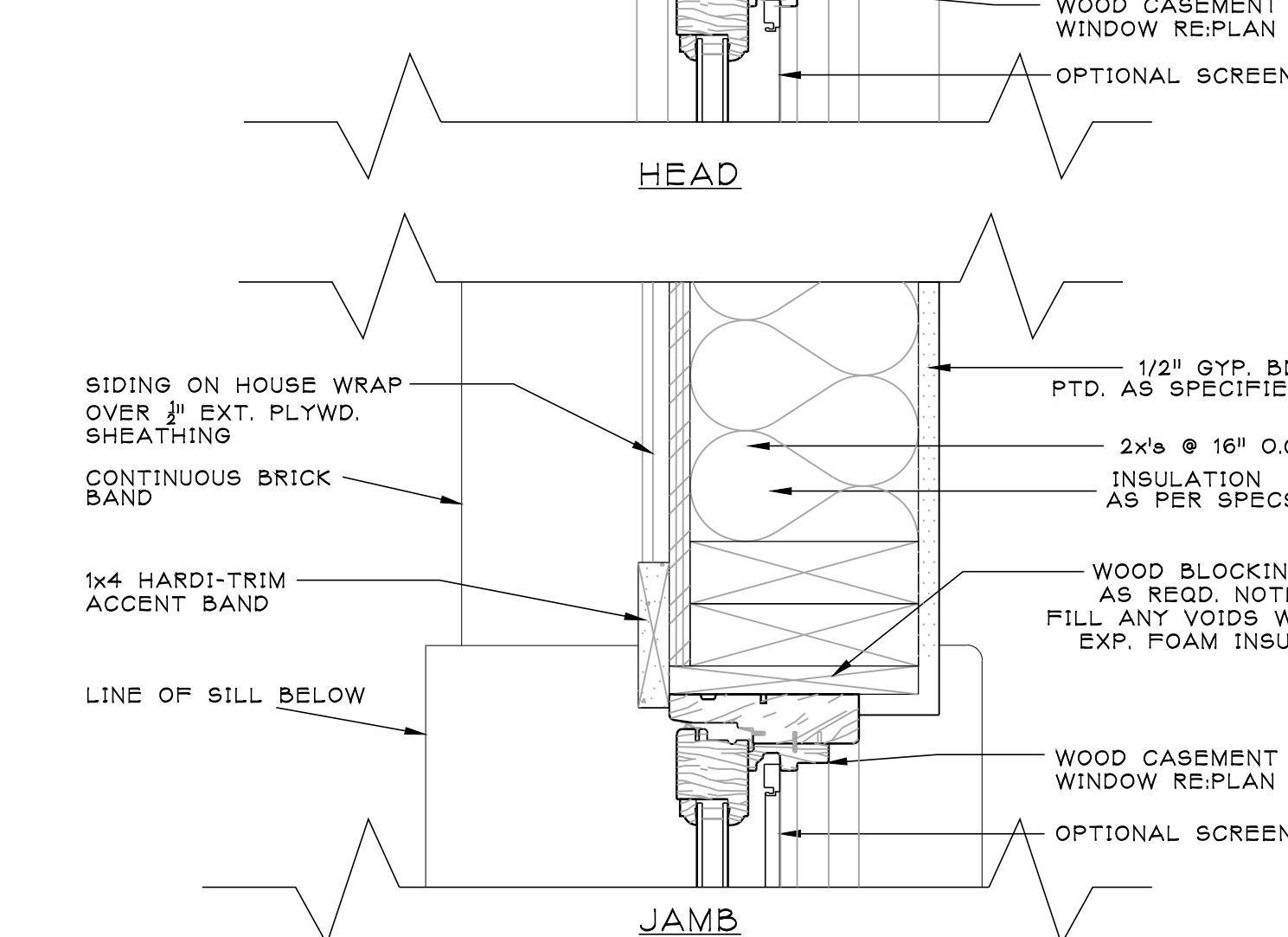
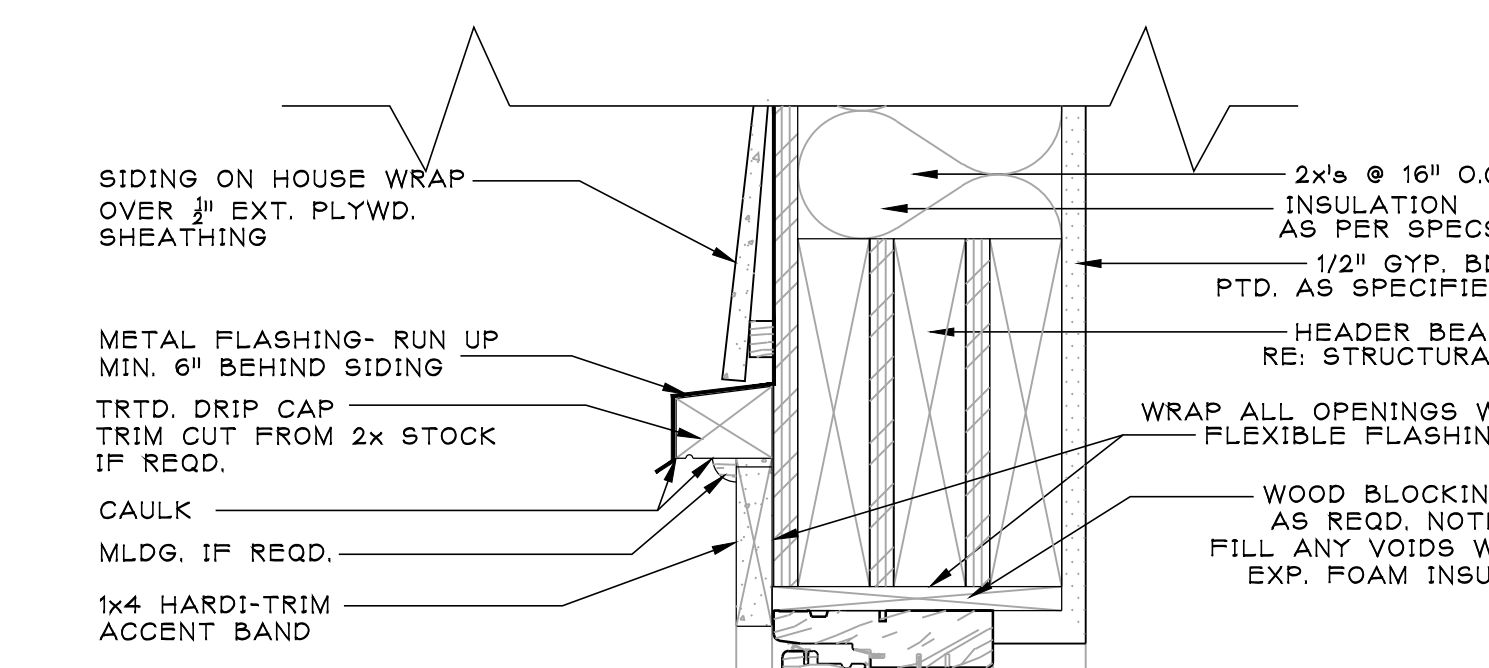
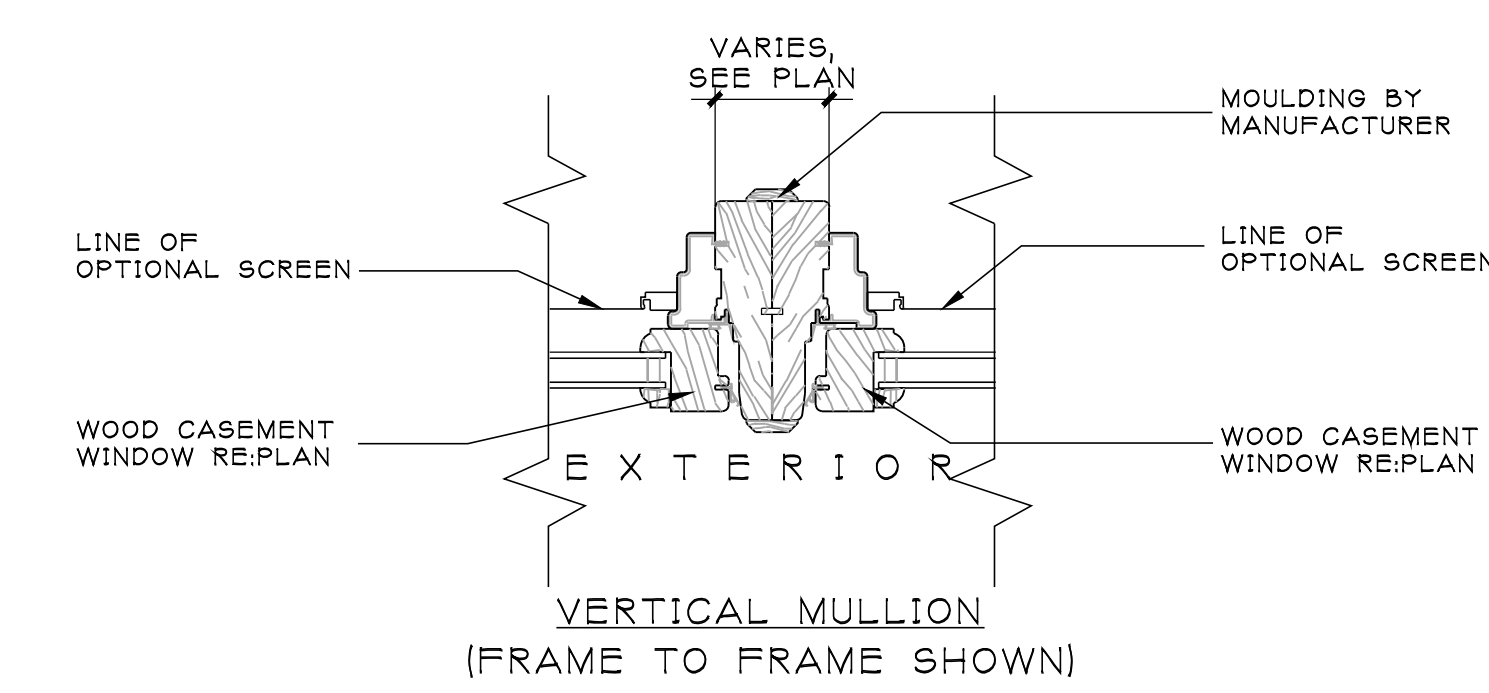
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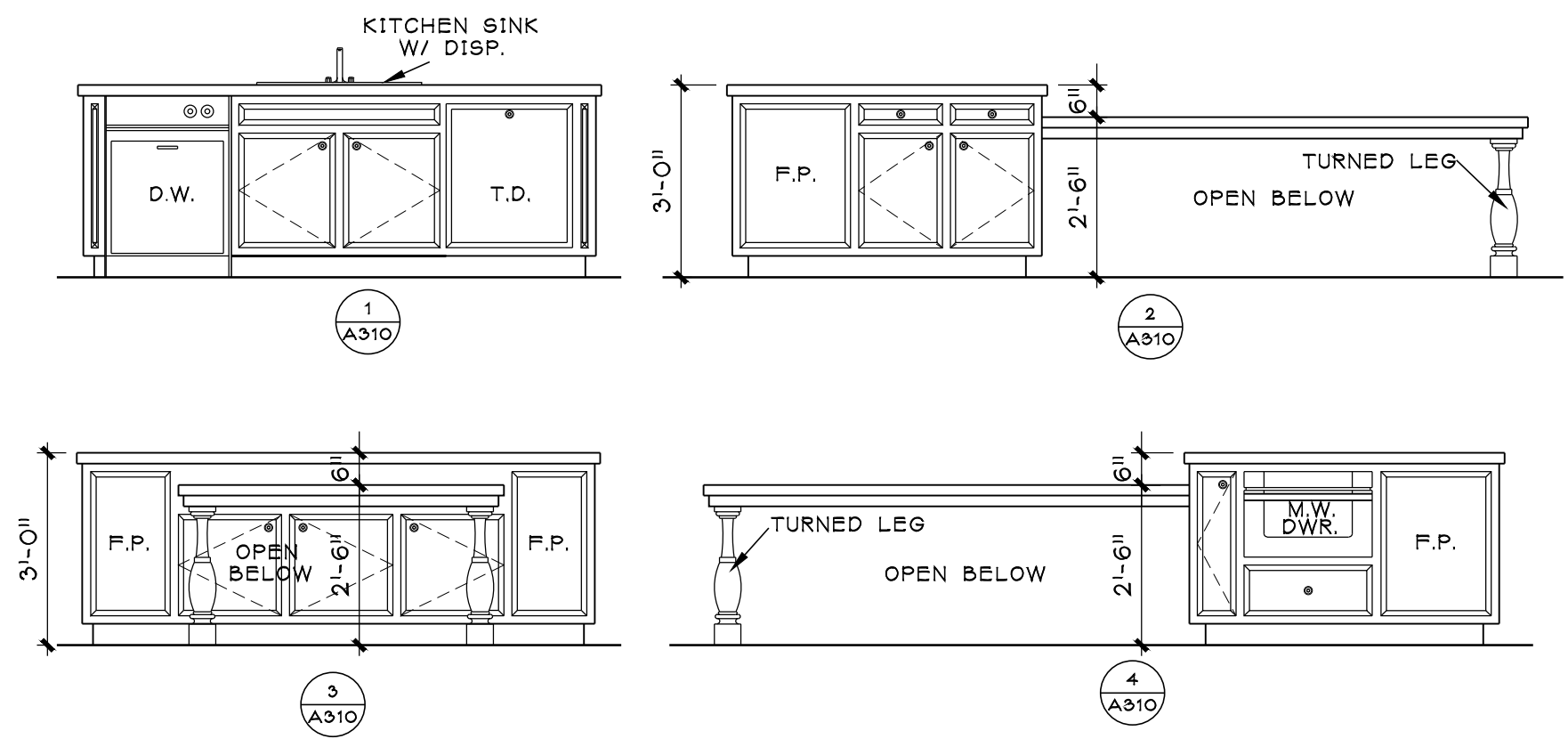
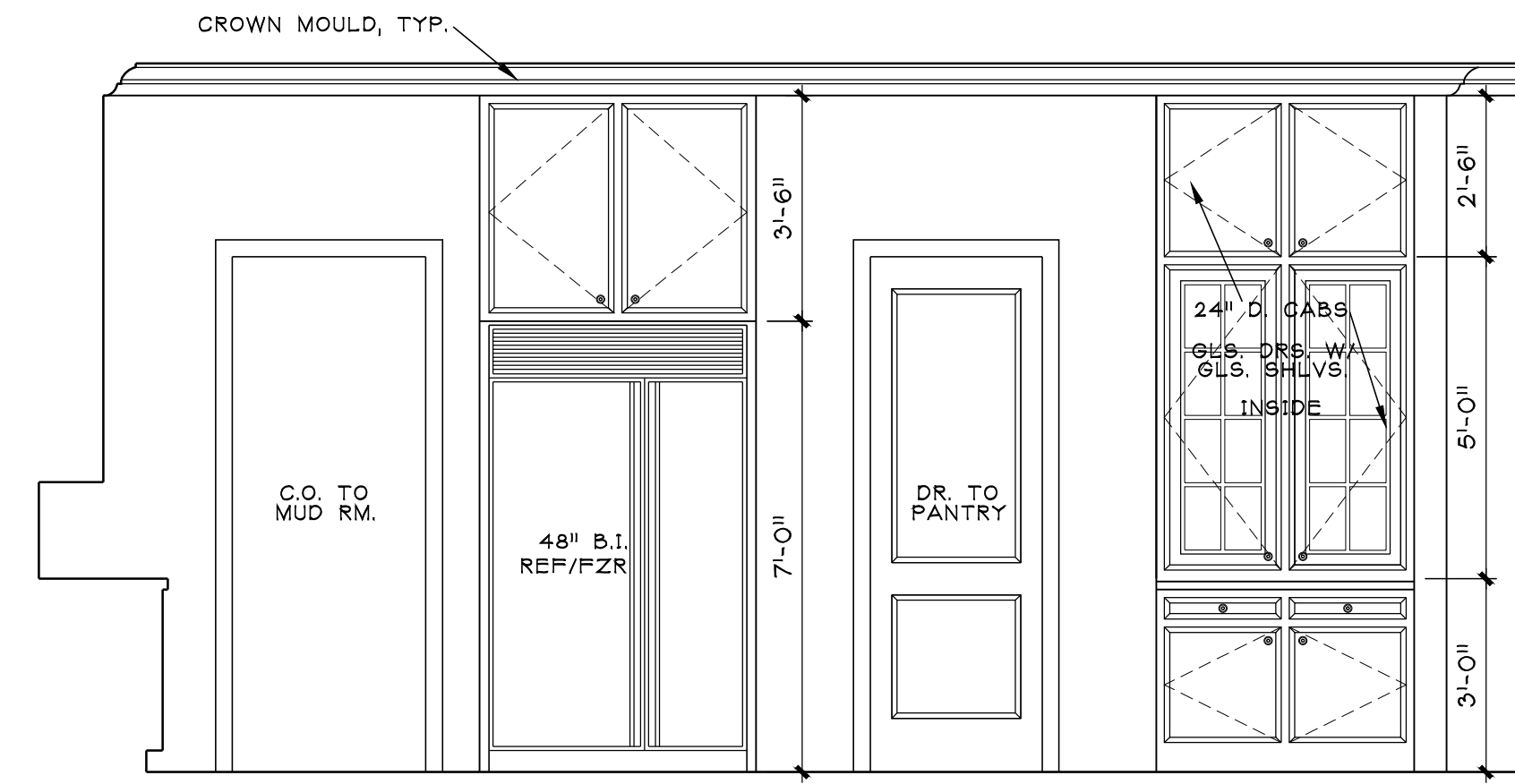
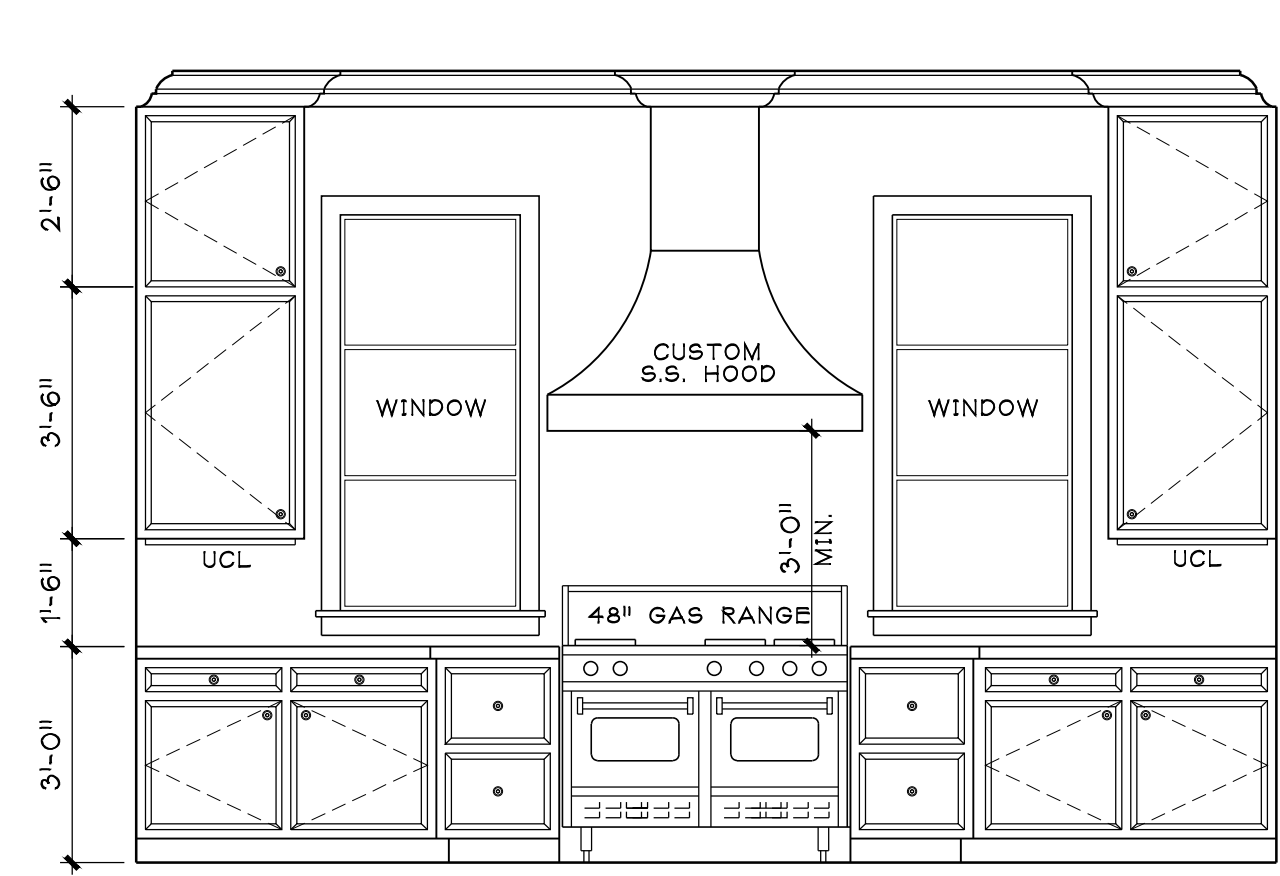
BUILDING SECTION
SCALE 1/4" = 1'-0"

GENERAL NOTES:

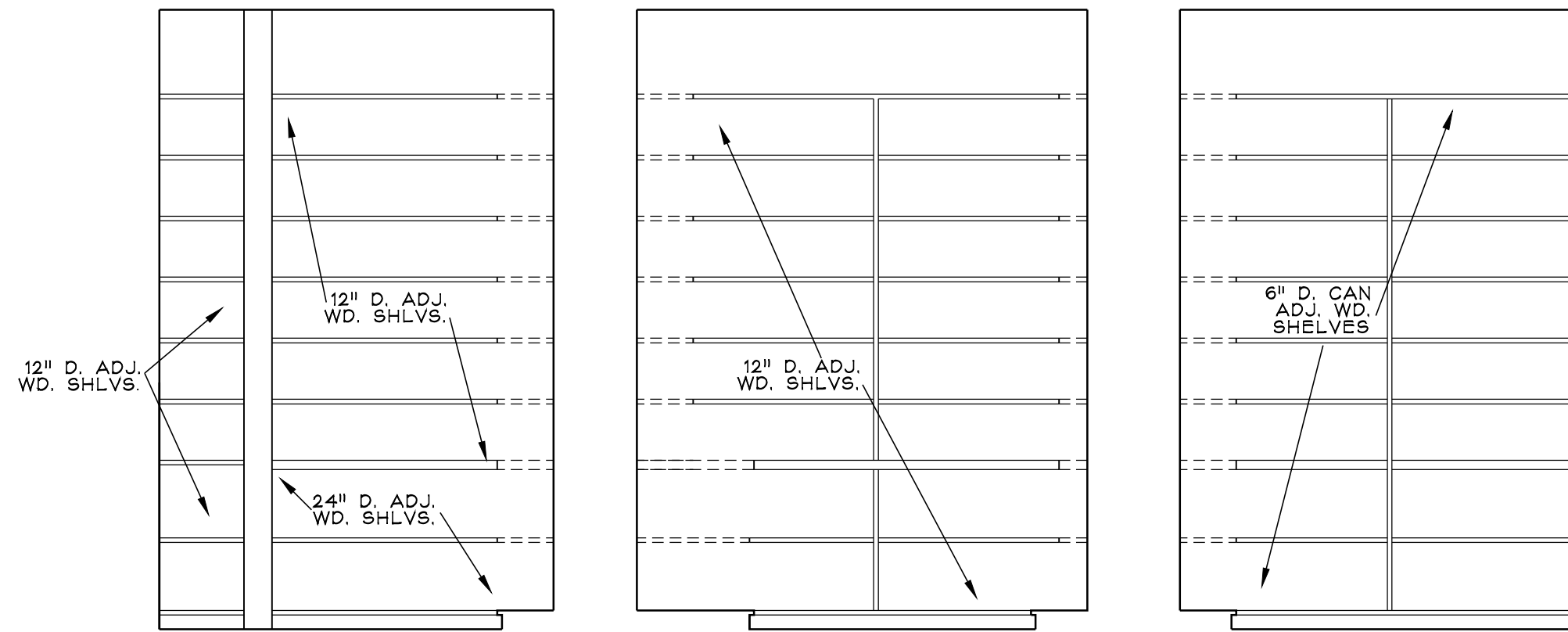
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING COMPONENTS, DIRECTIONS AND SIZES, AND FOR ALL FOUNDATION INFORMATION.
- ALL LOAD BEARING STUDS TO BE 16" O.C.
- ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY BRACED AS SPECIFIED IN IRC SECTION R602.10.
- PURLIN BRACES SHALL BE 45 DEGREES OR GREATER AND SHALL NOT EXCEED 8' IN LENGTH WITHOUT LATERAL SUPPORT OR STIFFENER.
- ATTIC ACCESSSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECKED AREAS EXCEED 500 SQUARE FEET. ATTIC ACCESS SHALL BE A PULL-DOWN STAIRWAY W/ CLEAR OPNG OF 22" MIN. BETWEEN HARDWARE, AND A 350# LOAD CAPACITY MIN. PROVIDE A CLEAR AND UNOBSTRUCTED PASSAGEWAY MIN. 30" HIGH AND 30" W. TO ANY APPLIANCE IN ATTIC. PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORD W/ IRC CHAPTER 5. PROVIDE LEVEL SPACE 30" DEEP AND 30" W. ALONG ALL SIDES OF APPLIANCE WHERE ACCESS IS REQ'D. CLEAR ACCESS OPNG DIMENSIONS SHALL BE 30" X 54" MIN. WHERE SUCH DIM'S ARE LARGE ENOUGH TO ALLOW REMOVAL OF LARGEST APPLIANCE.



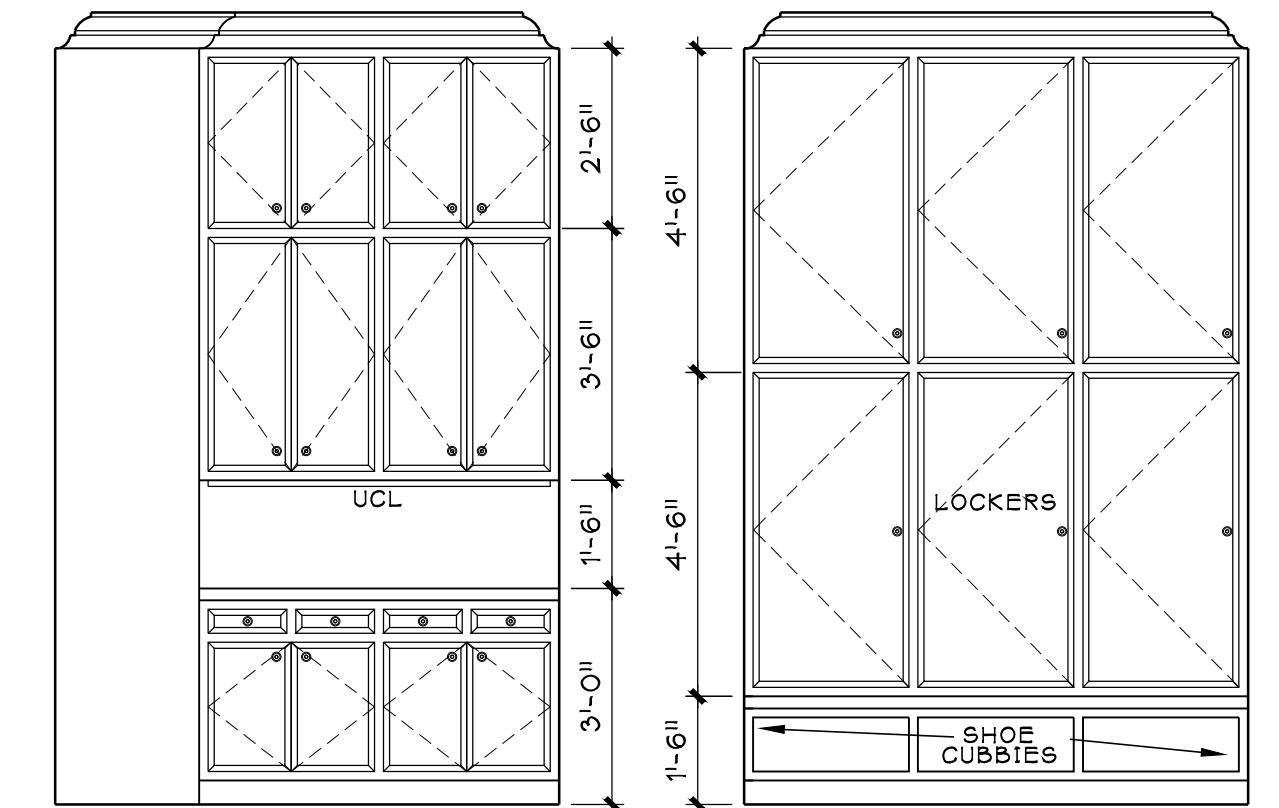
CASEMENT WINDOW DETAILS @ SIDING
SCALE 3/8" = 1'-0"



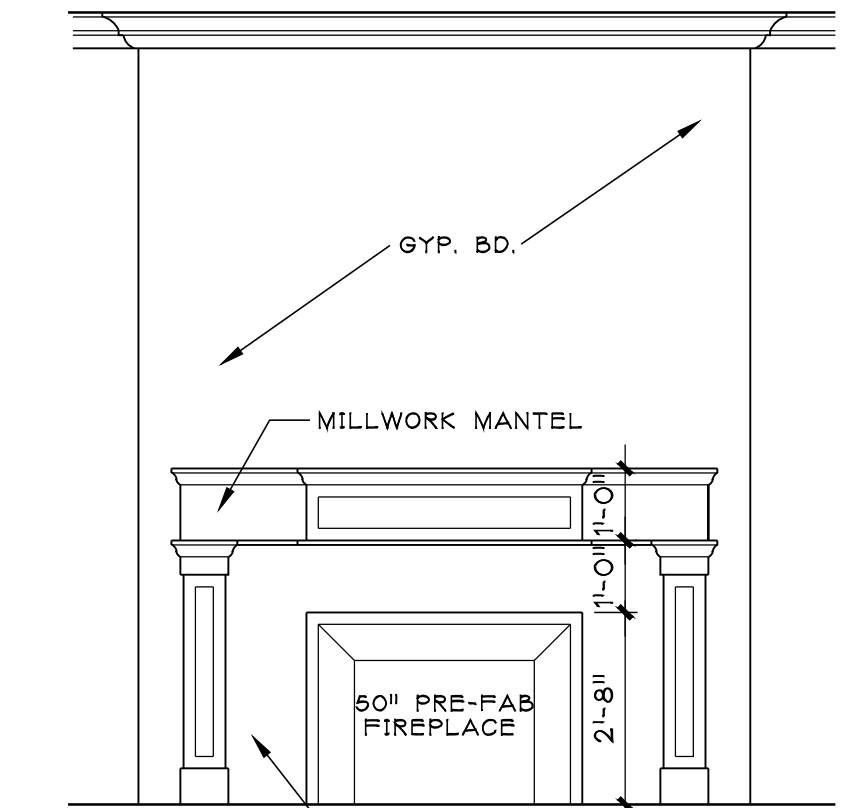
KITCHEN



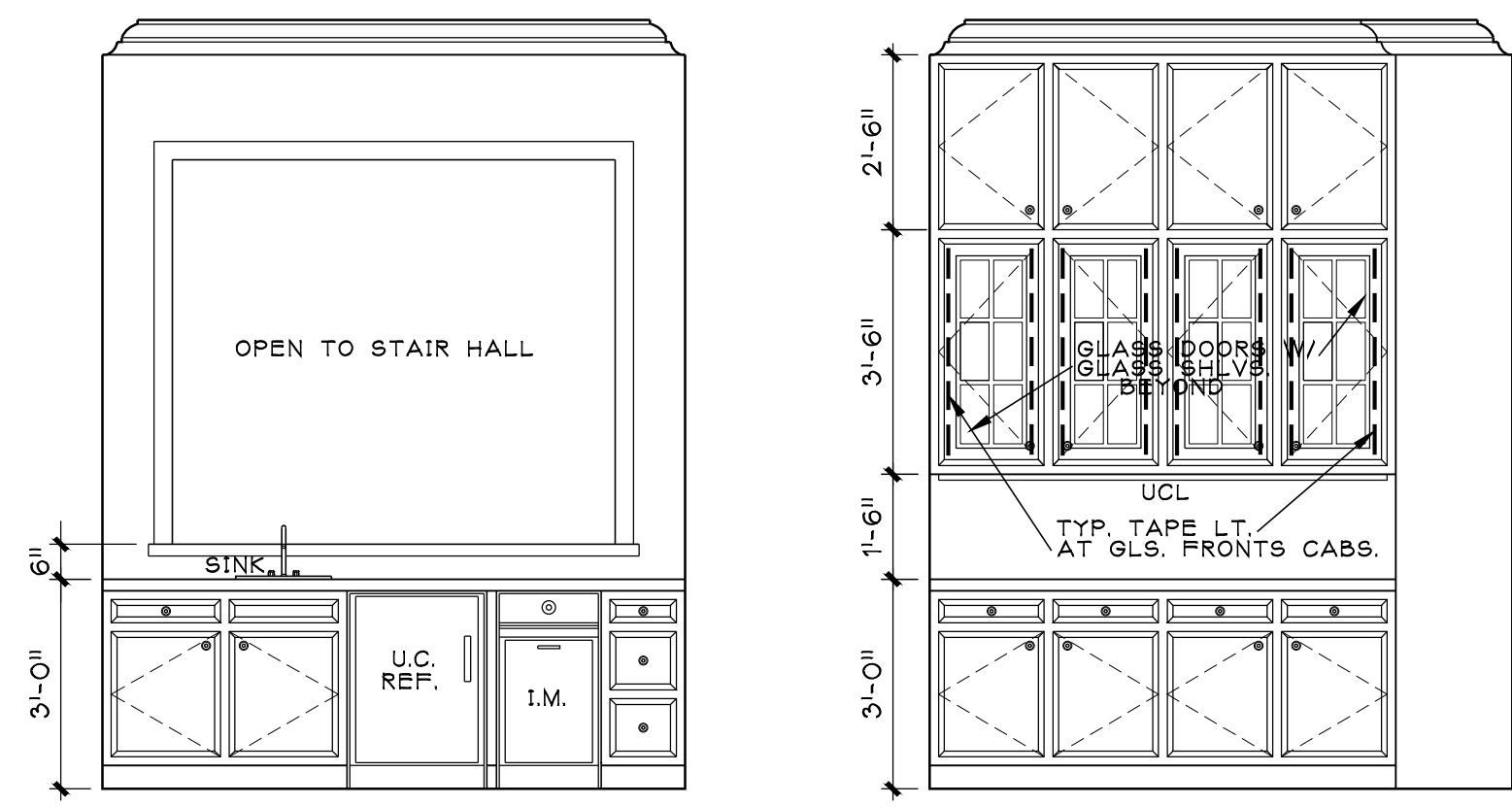
PANTRY



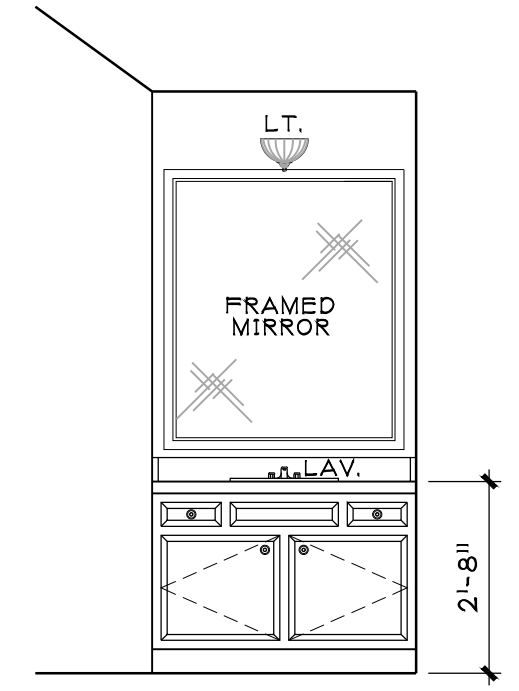
MUD ROOM



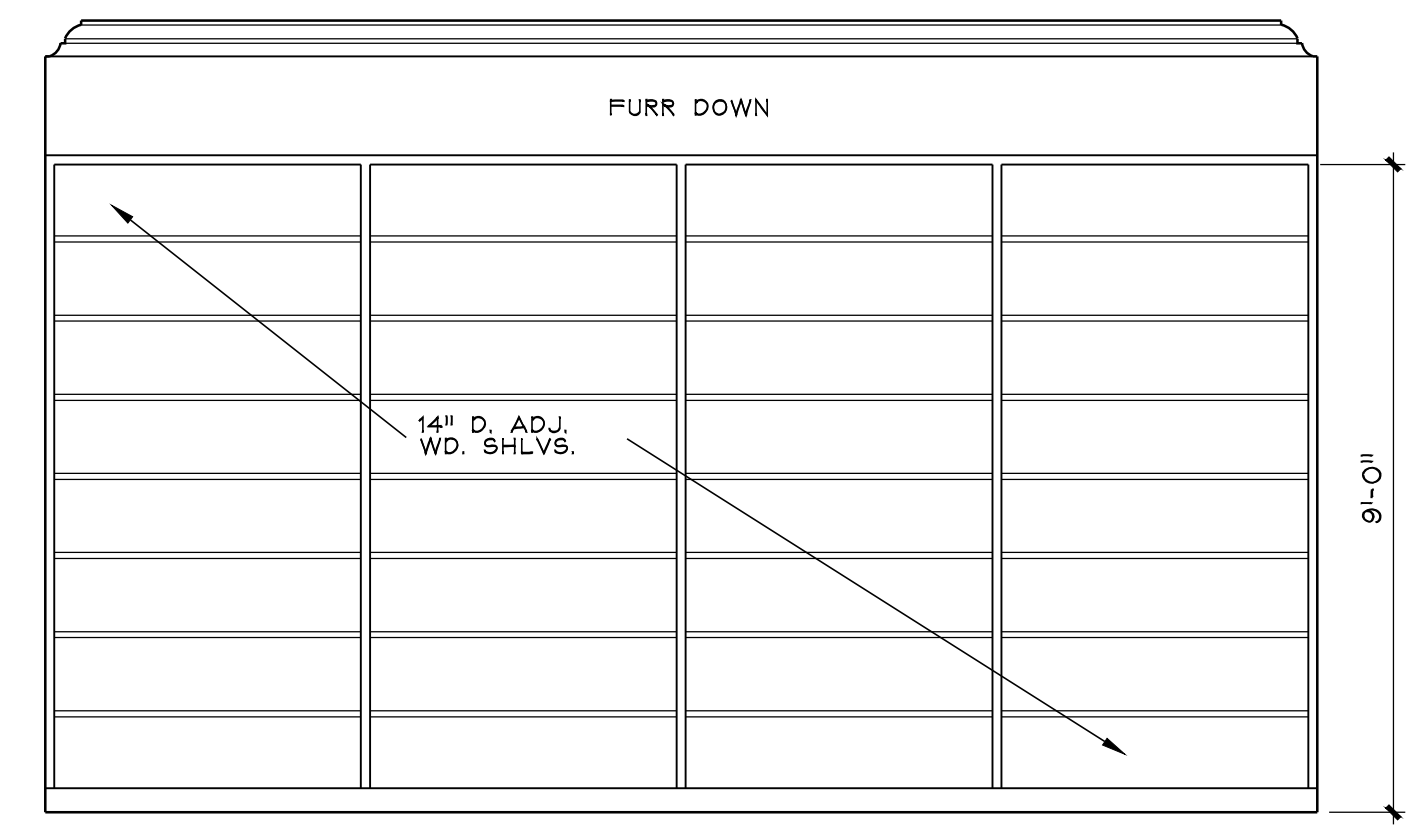
FAMILY ROOM



BAR / BUTLER'S PANTRY



POWDER

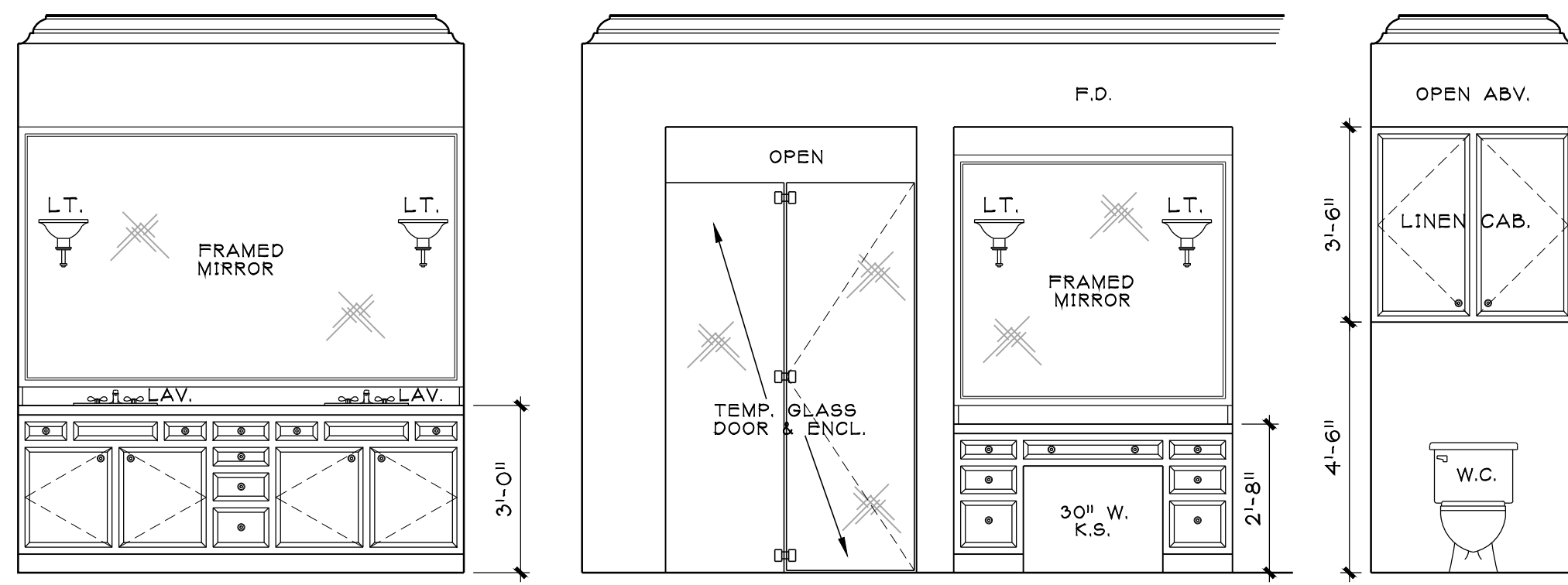


LIBRARY

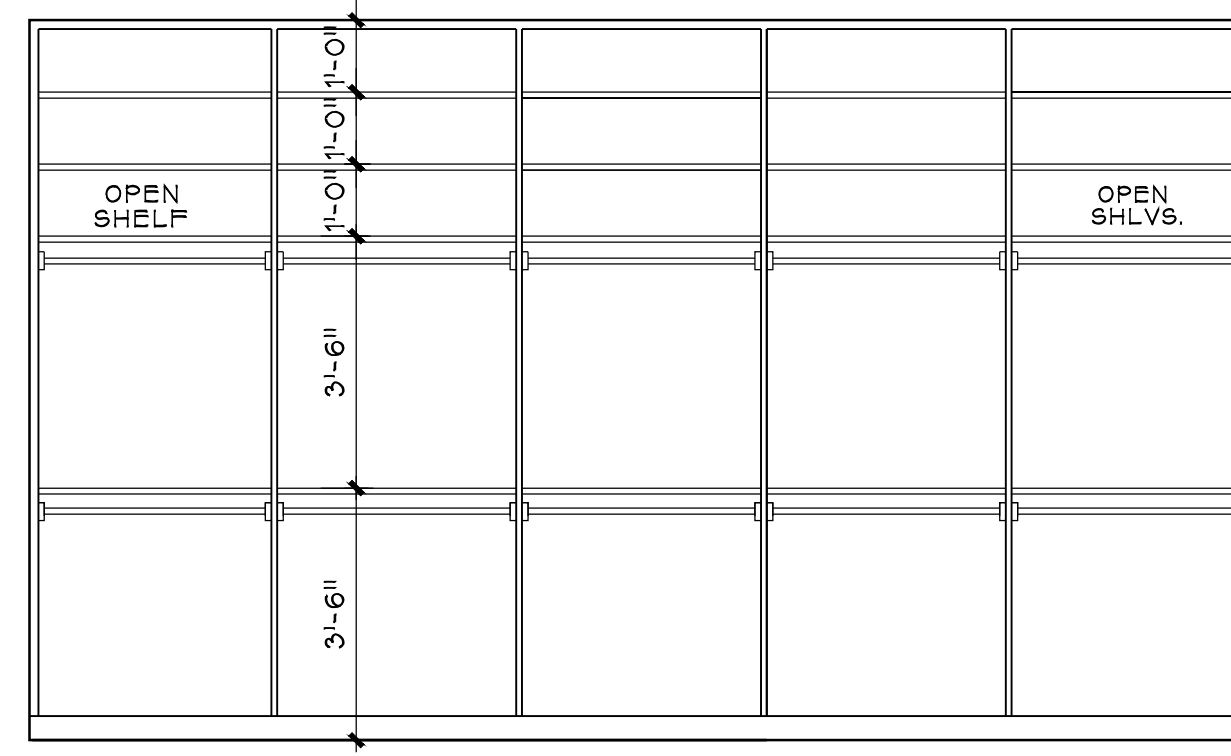


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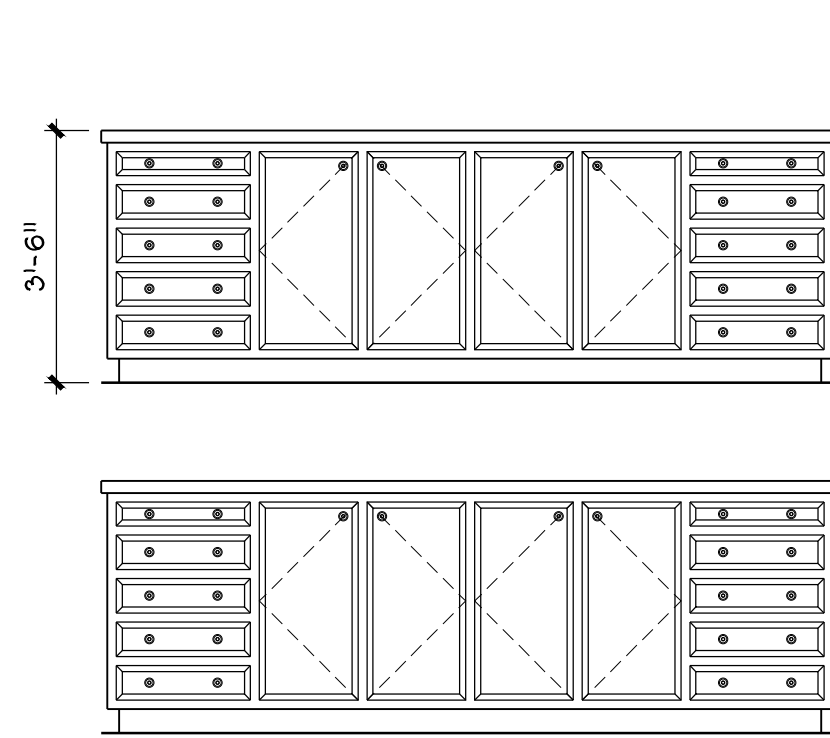
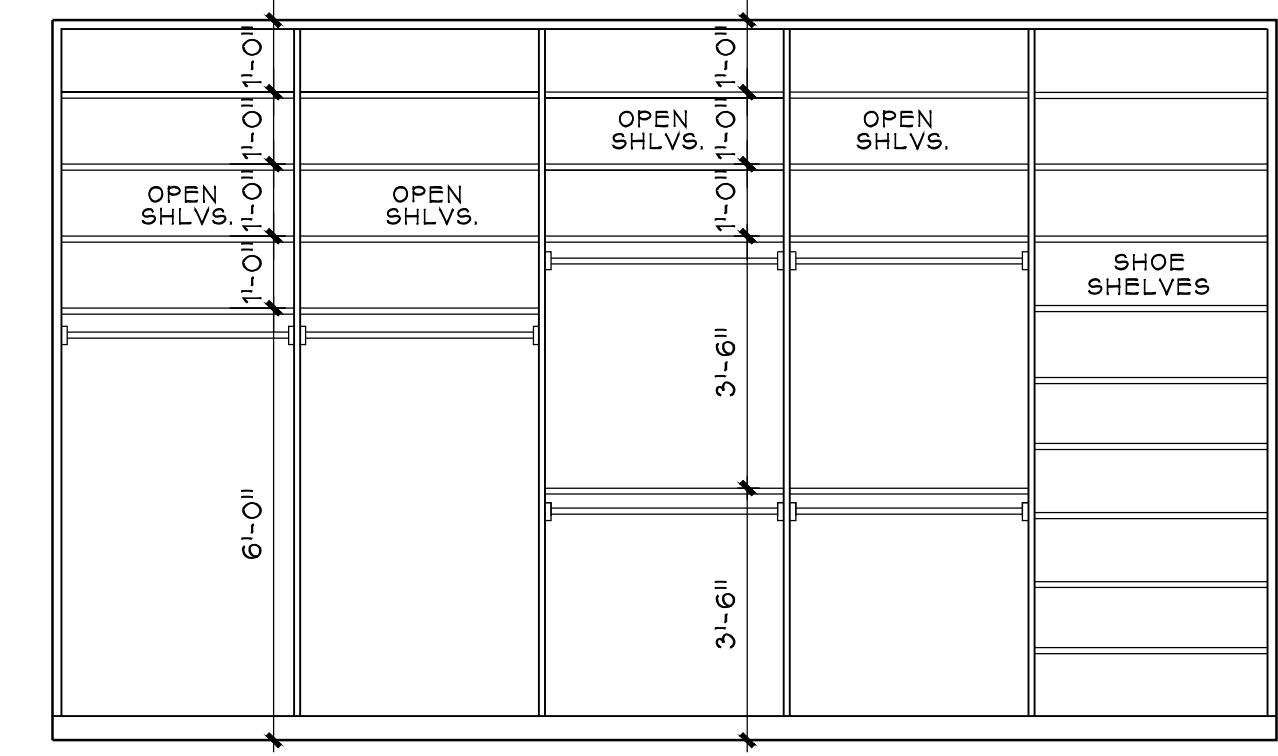
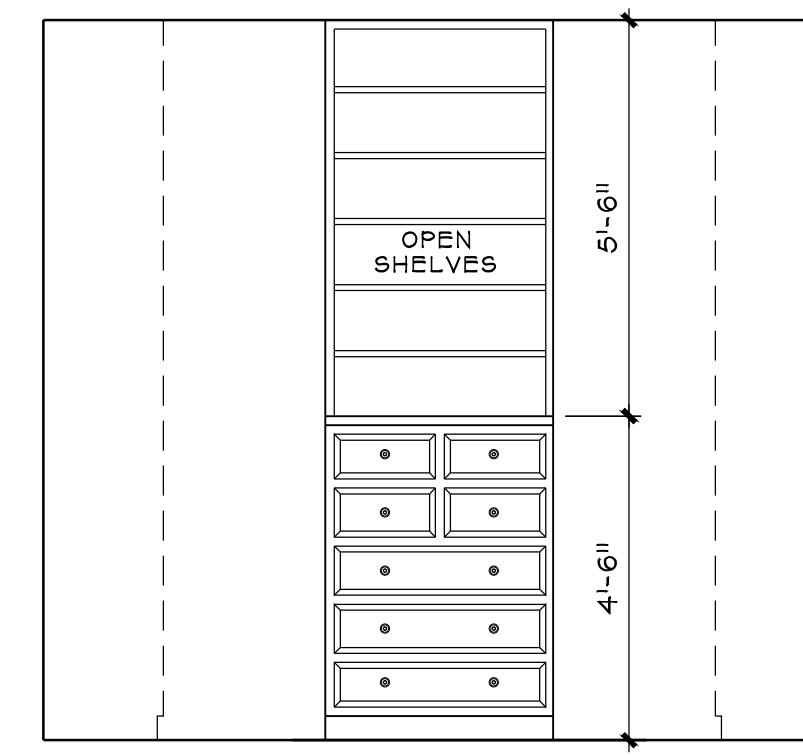
GENERAL NOTES:
ALL SHELVES WITHIN CABINETS AND CASEWORK TO BE ADJUSTABLE. PROVIDE GLASS SHELVES (MIN. 1/2" TEMP. GL.) BEHIND ALL GLASS DOORS.
REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING ETC. INVOLVING CABINERY.
UNLESS OTHERWISE NOTED, ALL CABINETS TO BE PAINT GRADE W/ SLAB STONE COUNTERTOPS AND TILE BACKSPASHES. RE: SPECIFICATIONS FOR ADD'L INFORMATION.



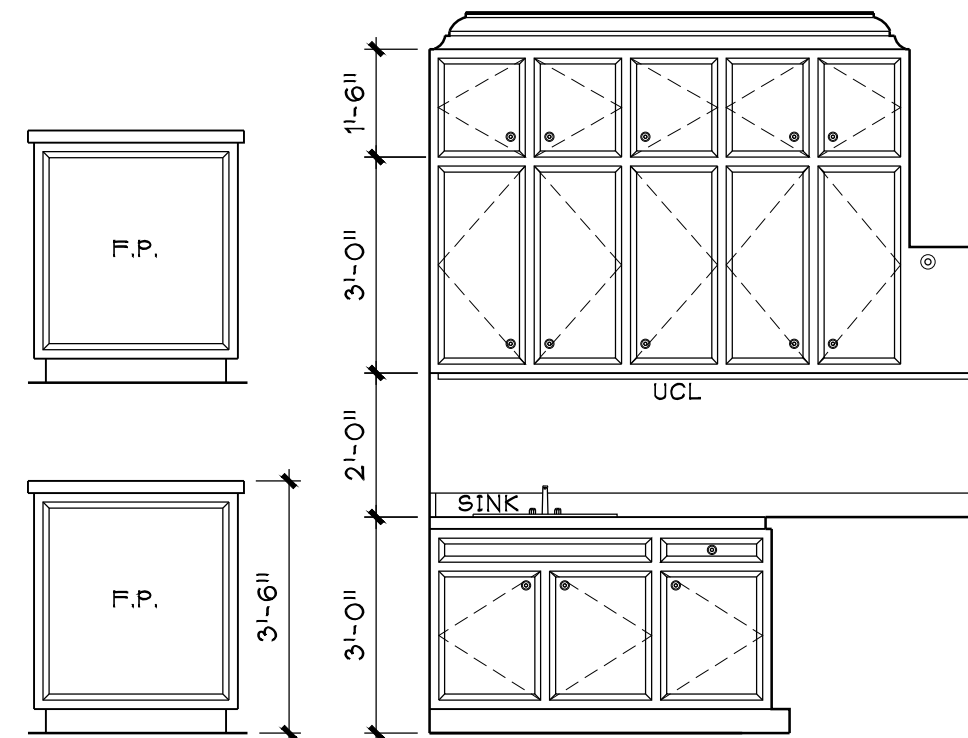
MASTER BATH



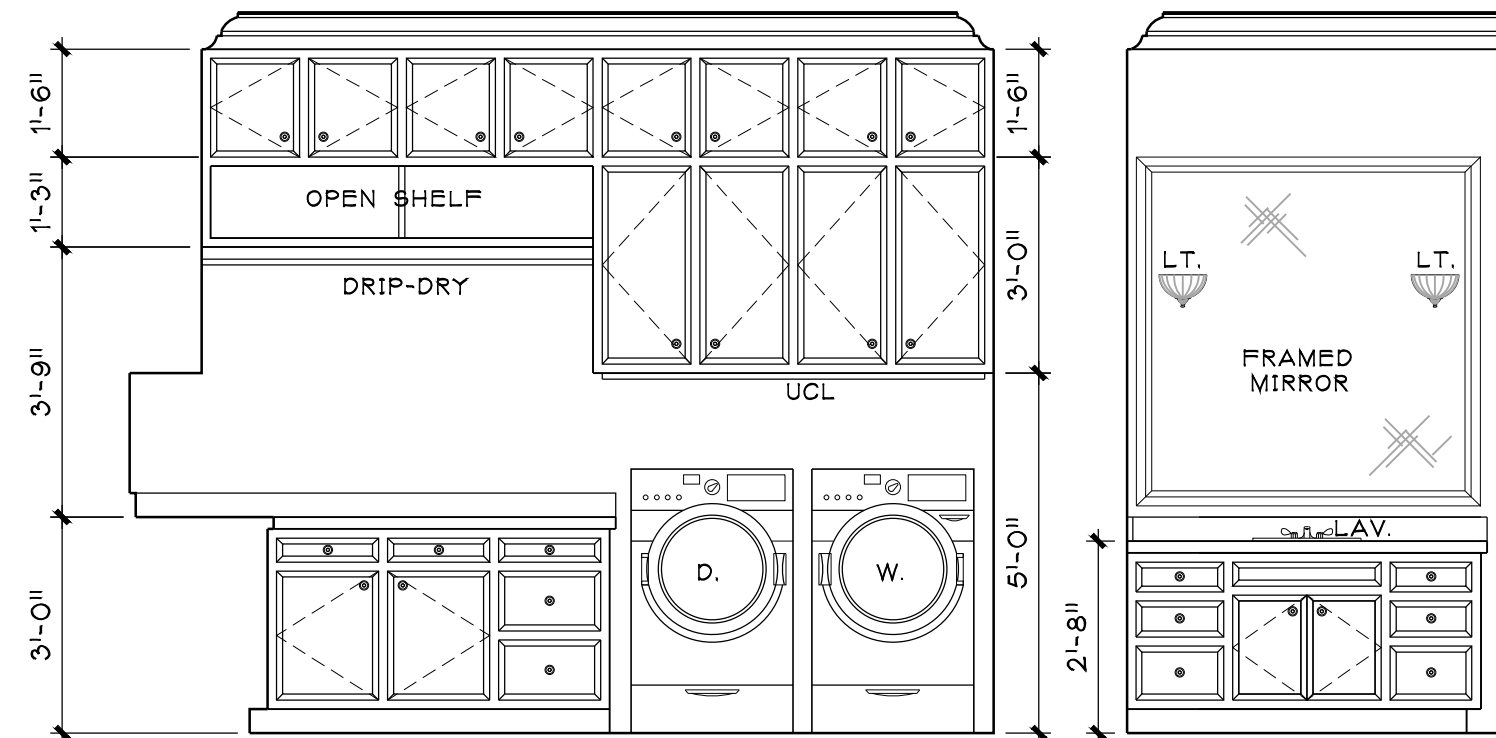
MASTER CLOSET



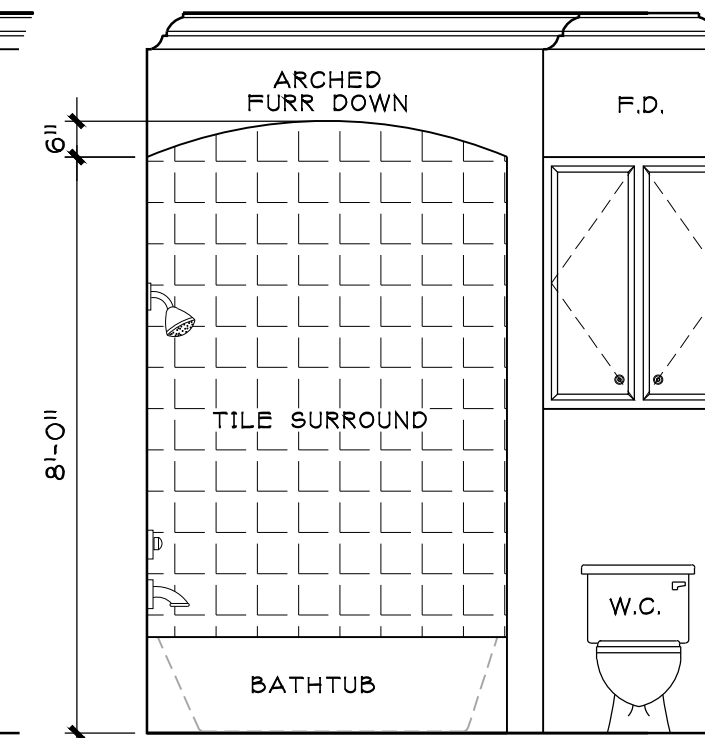
PACKING ISLAND



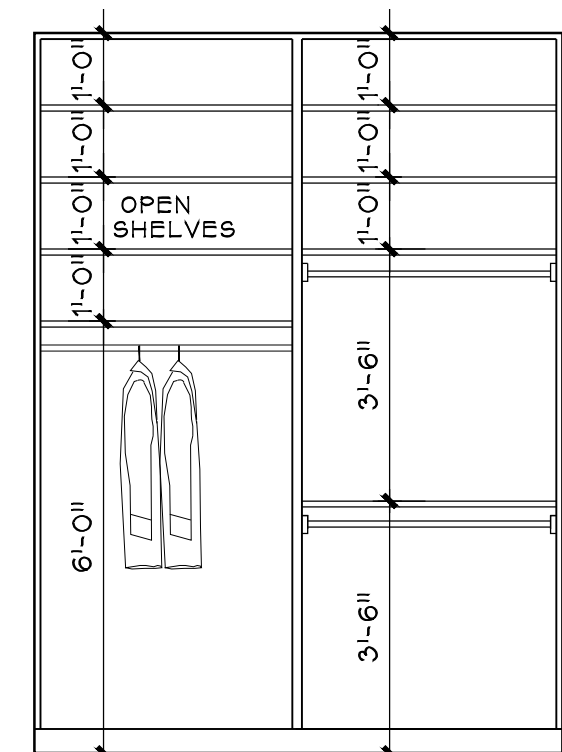
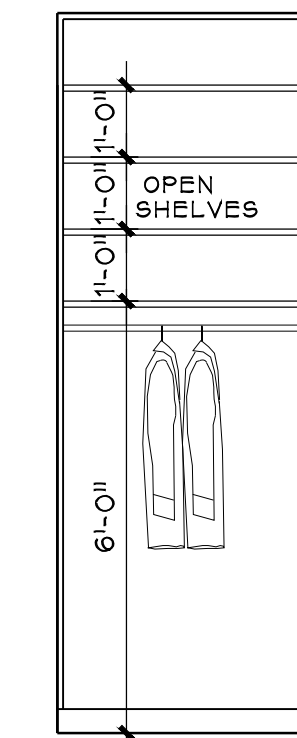
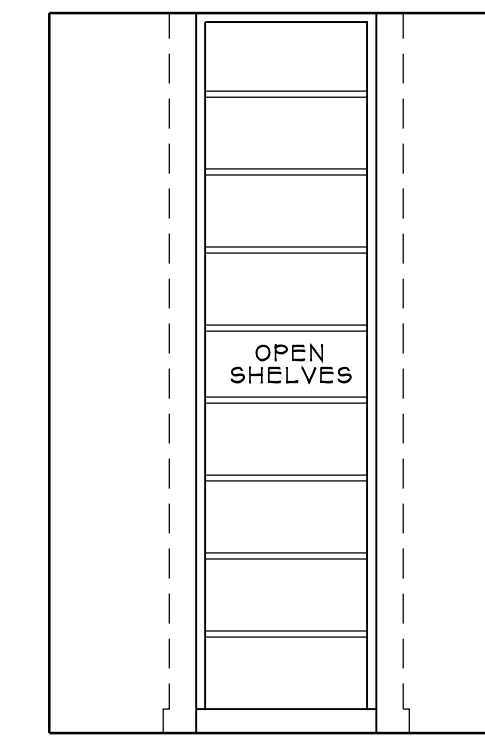
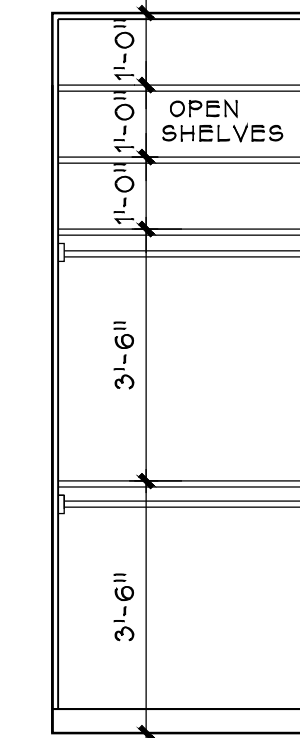
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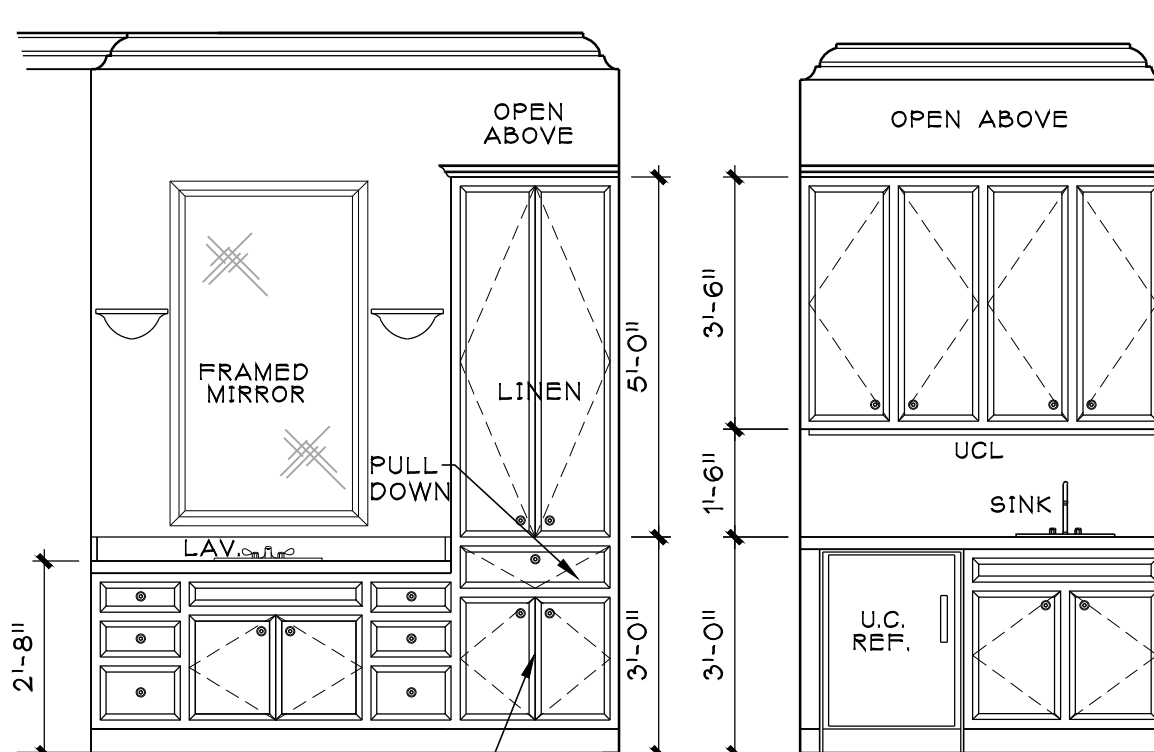
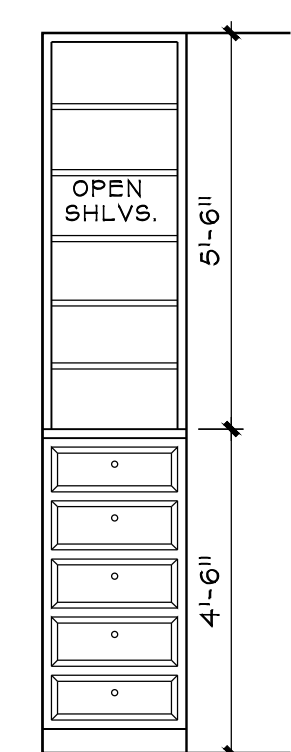
BATH 2



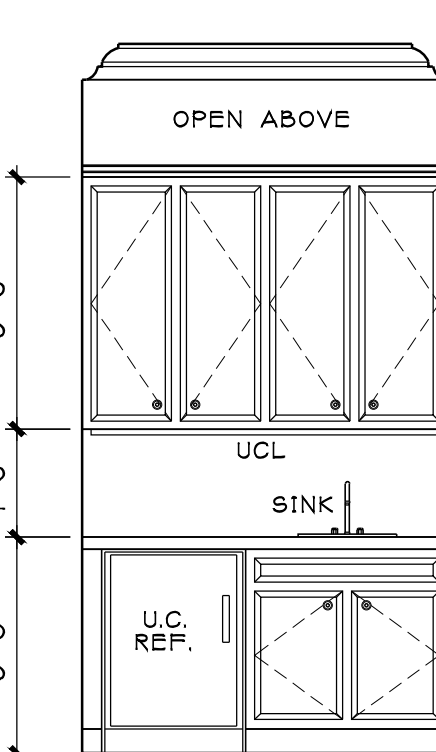
CLOSET 2



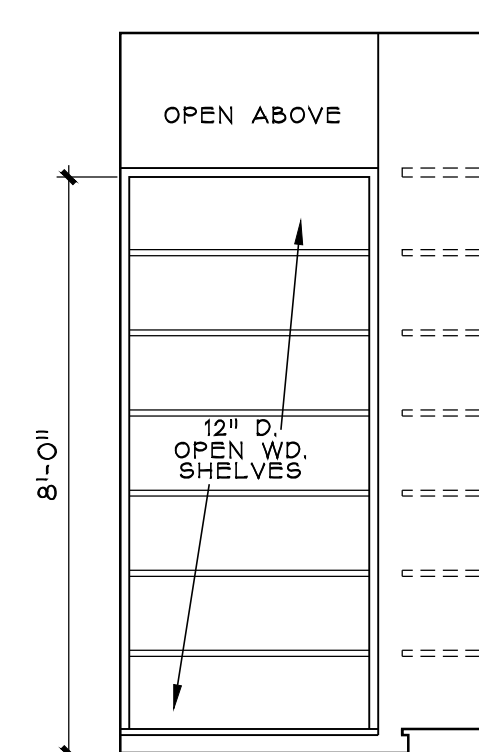
CLOSET 3



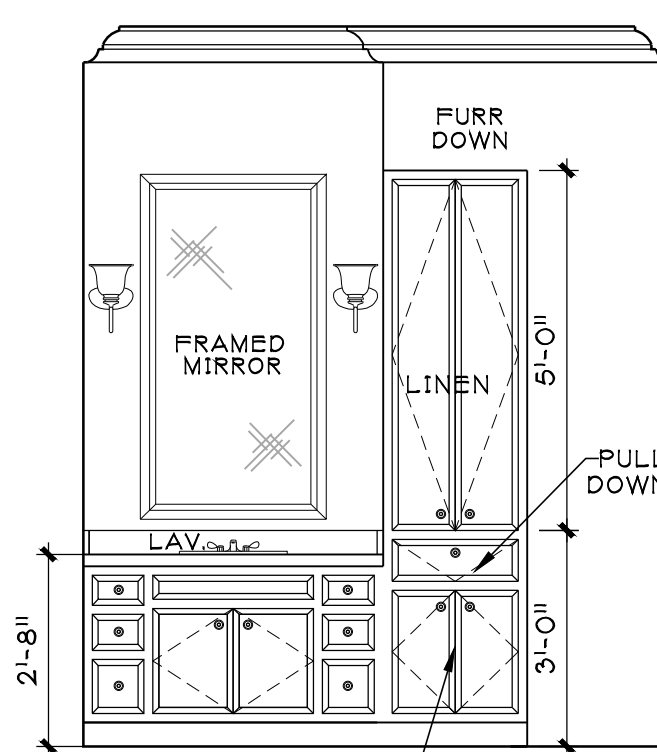
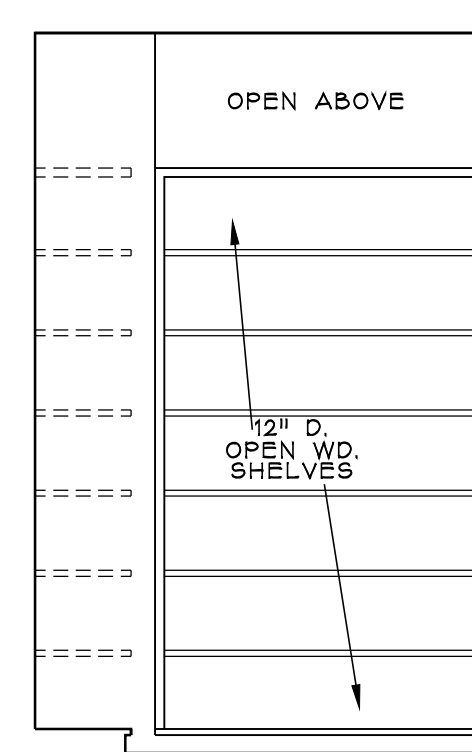
DRSG. @ BATH 3



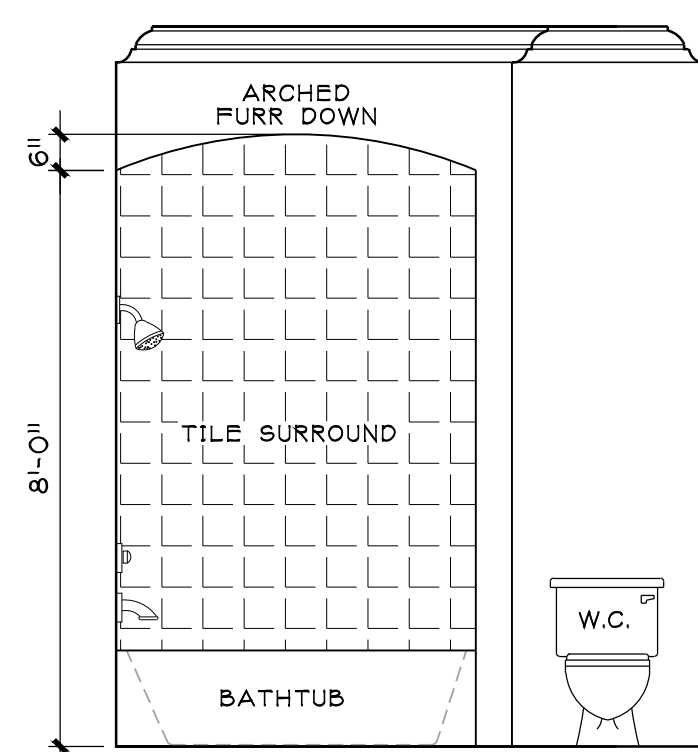
JUICE BAR



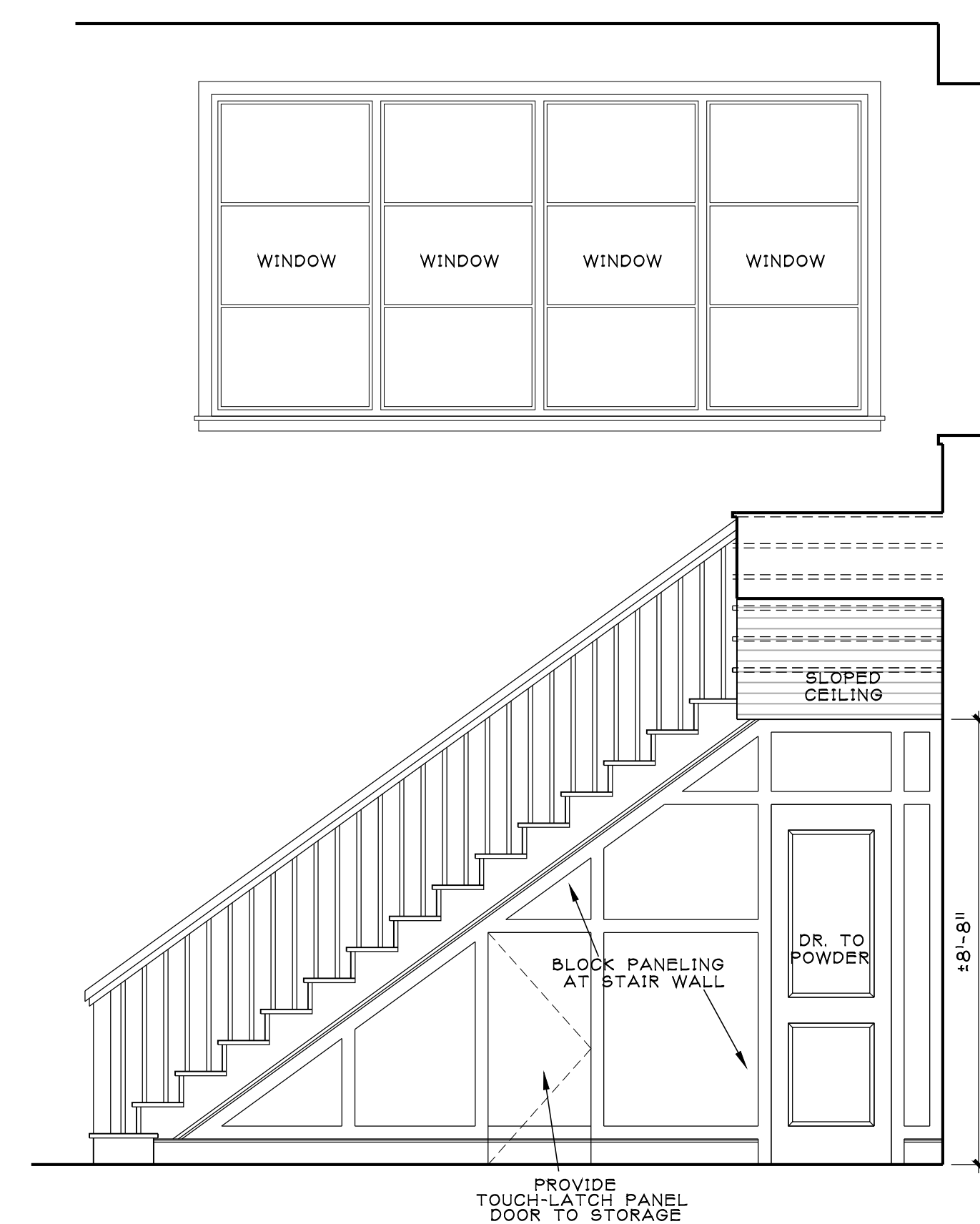
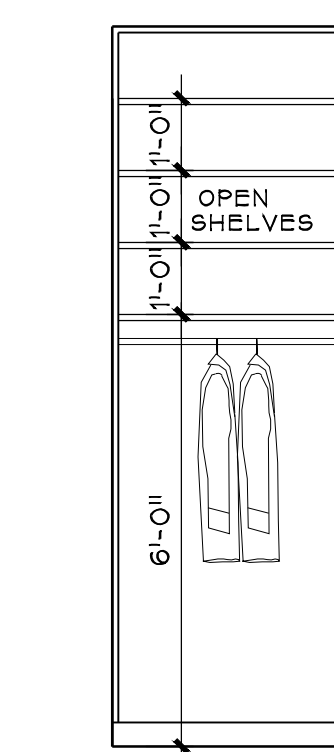
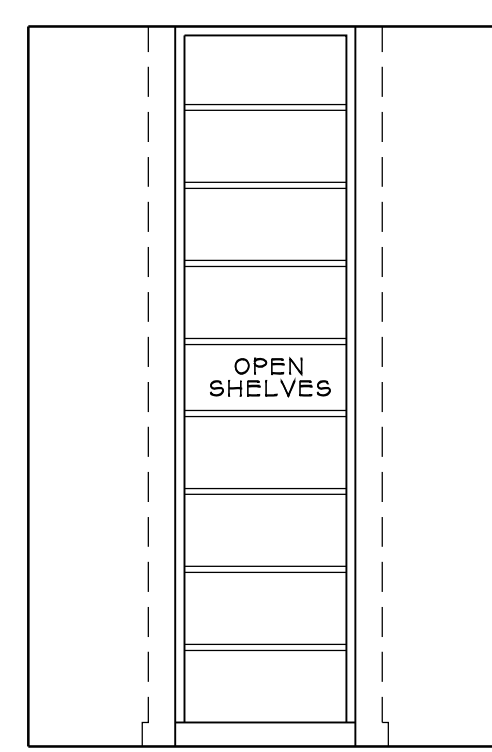
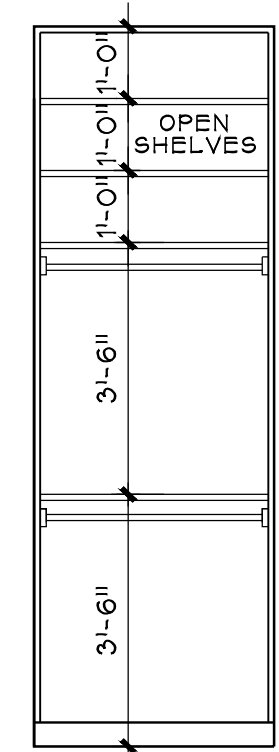
GAME ROOM STORAGE CLO.



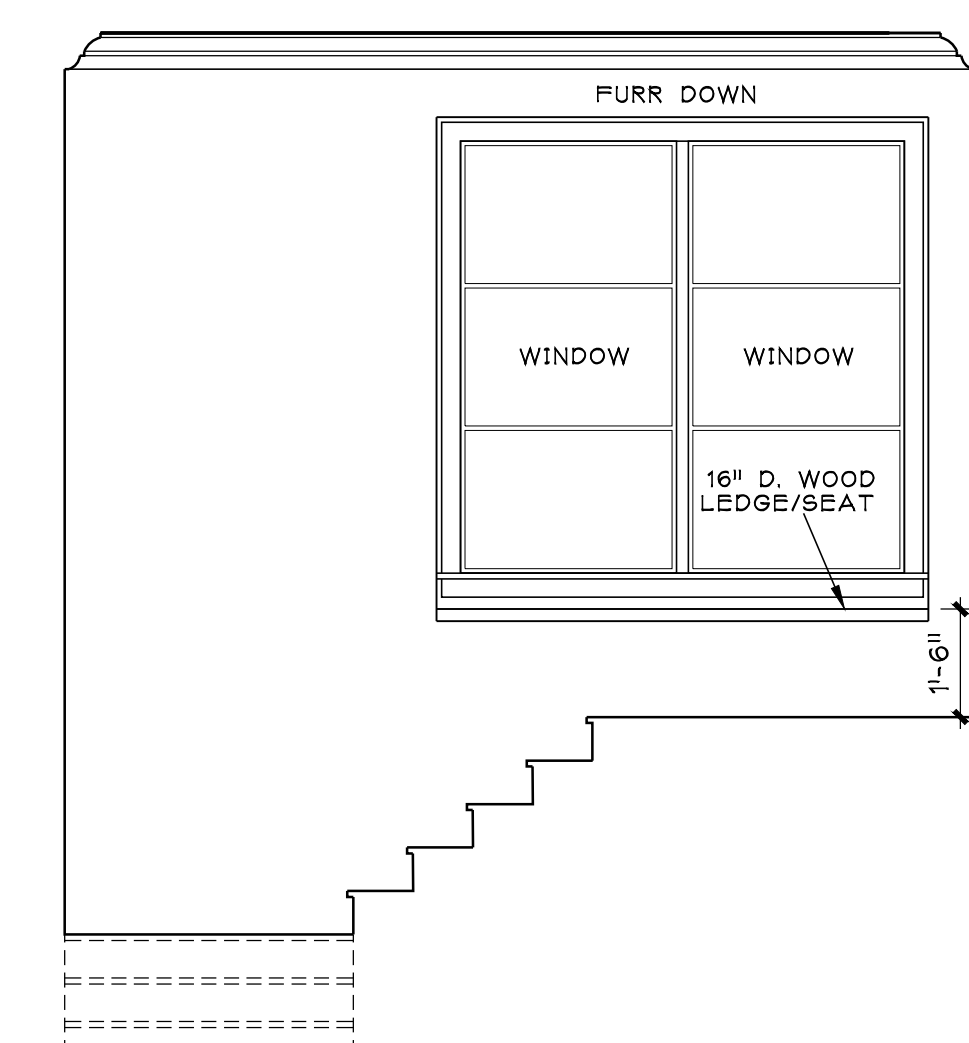
BATH 4



CLOSET 4

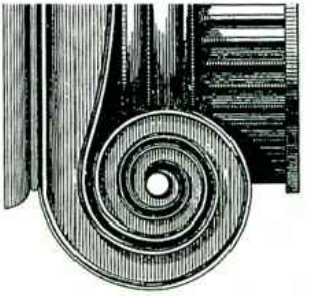


STAIR HALL



TIME: Mon, 12 Apr 2021 - 2:27pm
pre-4026 - W:\Admin\Project Templates\CSA\A300.DWG

ARCHITECTURAL SOLUTIONS, INC.



1415 S. Voss #110-96
Houston, Texas 77057
Phone: (713)978-6989
Fax: (713)978-7085

ARCHITECT

U:\Meeting\55881_C203884\0101010.jpg

DATE

04-08-2021

PROJECT TITLE

A Custom Residence for:
ASPIRE FINE HOMES

PROJECT ADDRESS

4023 WEST MAIN STREET
HOUSTON, TX 77027

PLAN NUMBER

4974

DRAWN BY

BPS / CBD

CHECKED BY

XXX

AREA TABULATION

FIRST FLOOR	2,291 S.F.
SECOND FLOOR	2,683 S.F.
TOTAL LIVING AREA	4,974 S.F.

2 CAR GARAGE	495 S.F.
FRONT PORCH	14 S.F.
REAR PORCH	15 S.F.
COVERED PATIO	378 S.F.
TOTAL NON-LIVING AREA	902 S.F.
TOTAL COVERED AREA	5,876 S.F.

SHEET TITLE

INTERIOR ELEVATIONS

SCALE

3/8" = 1'-0"

DATE

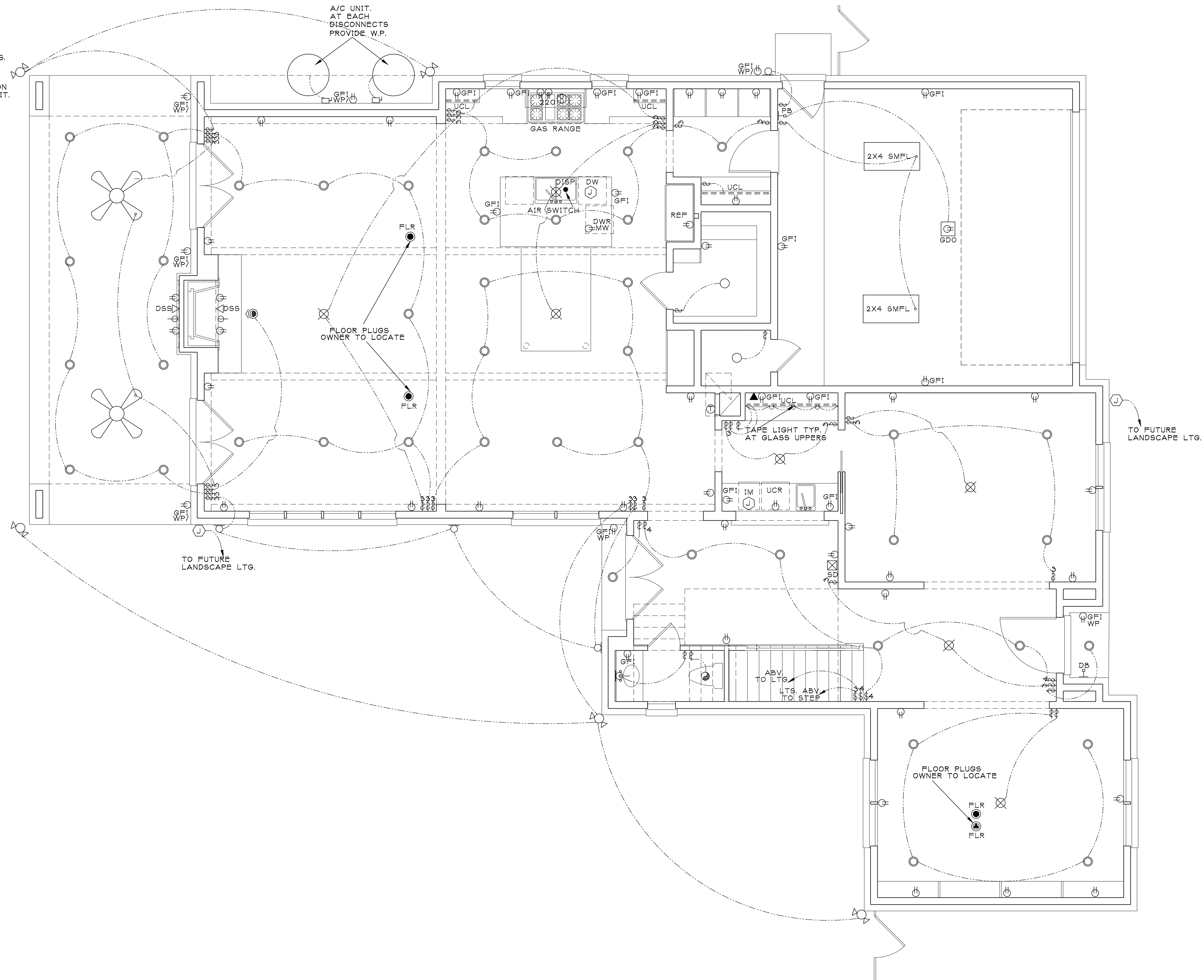
April 8, 2021

SHEET NUMBER

A3.20

ELECTRICAL NOTES:

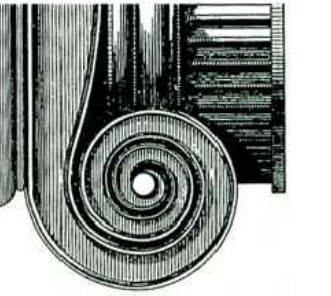
- ALLOW FOR A/C UNITS. (2)
- PROVIDE G.F.I. PROTECTION AS REQUIRED.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING, IN ADDITION TO BATTERY BACK-UP. INTERCONNECT ALL SMOKE DETECTORS.
- VENT EXHAUST FANS TO OUTSIDE.
- PROVIDE P.C. LIGHT FIXTURE AND SMOKE DETECTOR AT EACH WATER HEATER AND A/C UNIT IN ATTIC.
- PROVIDE W.P. DISCONNECT AT EACH A/C UNIT COMP. LOCATION.
- OWNERS TO LOCATE ALL PHONE JACKS, T.V. JACKS AND FLOOR PLUGS.
- ALLOW FOR FUTURE POOL AND REAR YARD LIGHTING.
- ALL OUTLETS IN BEDROOMS TO BE ARC FAULT PROTECTED AND BE ON SEPARATE CIRCUIT FROM CEILING FANS / OVERHEAD LIGHTING CIRCUIT.
- PROVIDE DIMMERS FOR ALL RECESSED CAN LIGHTS.
- MOUNT ALL DUPLEX OUTLETS HORIZONTALLY IN BASE BOARD.



ELECTRICAL LEGEND

	110 VOLT DUPLEX RECEPTACLE		TELEVISION ANTENNA		THERMOSTAT		PC	PORCELAIN LIGHT FIXTURE W/ PULL CORD		1X4 SURFACE MOUNTED FLUORESCENT LIGHT
	WATERPROOF RECEPTACLE		JUNCTION BOX		CHIMES		FL	FLOOD LIGHTS (ON PHOTOCELLS)		2X4 SURFACE MOUNTED FLUORESCENT LIGHT
	110 VOLT IN CLG.		TELEPHONE OUTLET		CEILING MOUNTED LIGHT FIXTURE		EF	EXHAUST FAN		
	110 VOLT W/ GROUND FAULT INTERRUPTER		SINGLE POLE SWITCH		RECESSED CAN LIGHT		EF-L	EXHAUST FAN W/LIGHT		UNDER CABINET LIGHT
	110 VOLT 1/2 HOT		THREE WAY SWITCH		WATERPROOF RECESSED CAN LIGHT		EF-LH	EXHAUST FAN W/HEAT LAMP & LT.		CEILING FAN
	110 VOLT QUAD RECEPTACLE		DIMMER SWITCH		HANGING FIXTURE		CEH	COOKTOP EXHAUST HOOD		CEILING FAN W/ LIGHT KIT
	110 VOLT DUPLEX IN FLOOR		PUSH BUTTON		HALOGENS		DISP	GARBAGE DISPOSAL		
	220 VOLT RECEPTACLE		SMOKE DETECTOR		RECESSED EYEBALL SPOT LIGHT		SPK	SPEAKER		
	DIGITAL SATELLITE SYSTEM		CARBON MONOXIDE DETECTOR		WALL MOUNTED LIGHT FIXTURE		GDO	GARAGE DOOR OPENER		

ARCHITECTURAL SOLUTIONS, INC.



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ARCHITECT

U:\Meeting\53881_C2038804\01010.jpg

DATE

04-08-2021

PROJECT TITLE

A Custom Residence for:
ASPIRE FINE HOMES

PROJECT ADDRESS

4023 WEST MAIN STREET
HOUSTON, TX 77027

PLAN NUMBER

4974

DRAWN BY

BPS / CBD

CHECKED BY

XXX

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SHEET TITLE

FIRST FLOOR ELECTRICAL PLAN

SCALE

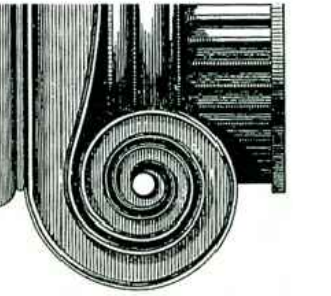
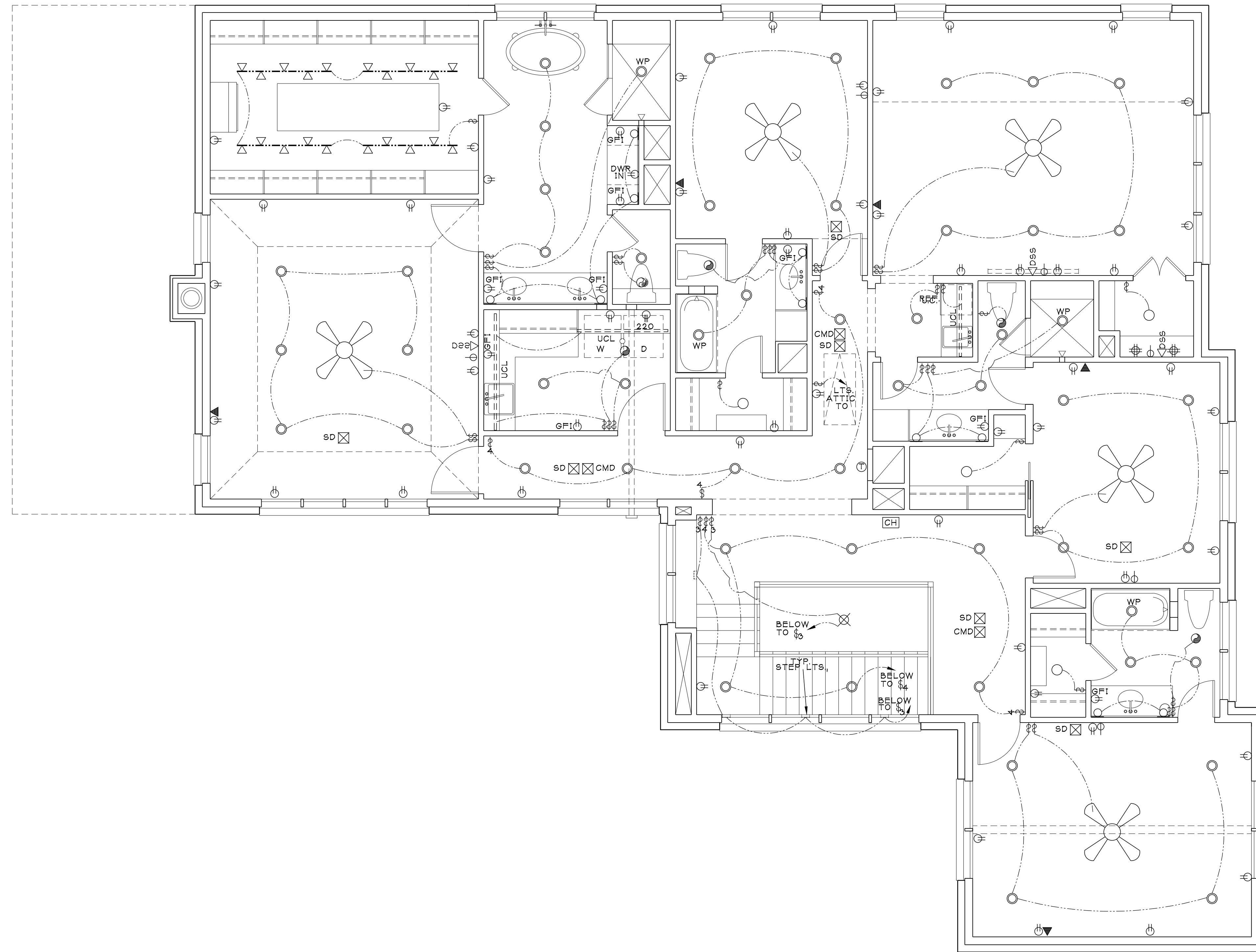
1/4" = 1'-0"

DATE

April 8, 2021

SHEET NUMBER

A4.10



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Houston, Texas 77057
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ARCHITECT

U:\Meeting\55881_C2038804101010.jpg

DATE

04-08-2021

PROJECT TITLE

A Custom Residence for:
ASPIRE FINE HOMES

PROJECT ADDRESS

4023 WEST MAIN STREET
HOUSTON, TX 77027

PLAN NUMBER

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SHEET TITLE

**SECOND FLOOR
ELECTRICAL PLAN**

SCALE

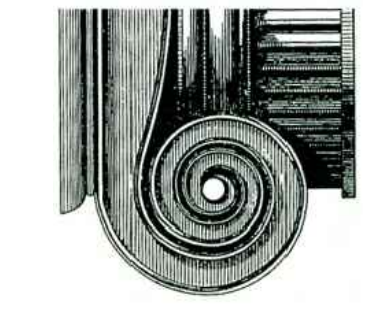
1/4" = 1'-0"

DATE

April 8, 2021

SHEET NUMBER

A4.20



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Houston, Texas 77057
Phone: (713) 978-6989
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ARCHITECT

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DATE 04-08-2021

PROJECT TITLE
A Custom Residence for:
ASPIRE FINE HOMES

PROJECT ADDRESS
4023 WEST MAIN STREET
HOUSTON, TX 77027

PLAN NUMBER
4974

DRAWN BY _____ CHECKED BY _____
SPS / CBD XXX

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SHEET TITLE
MISCELLANEOUS DETAILS

SCALE
3/4" = 1'-0"

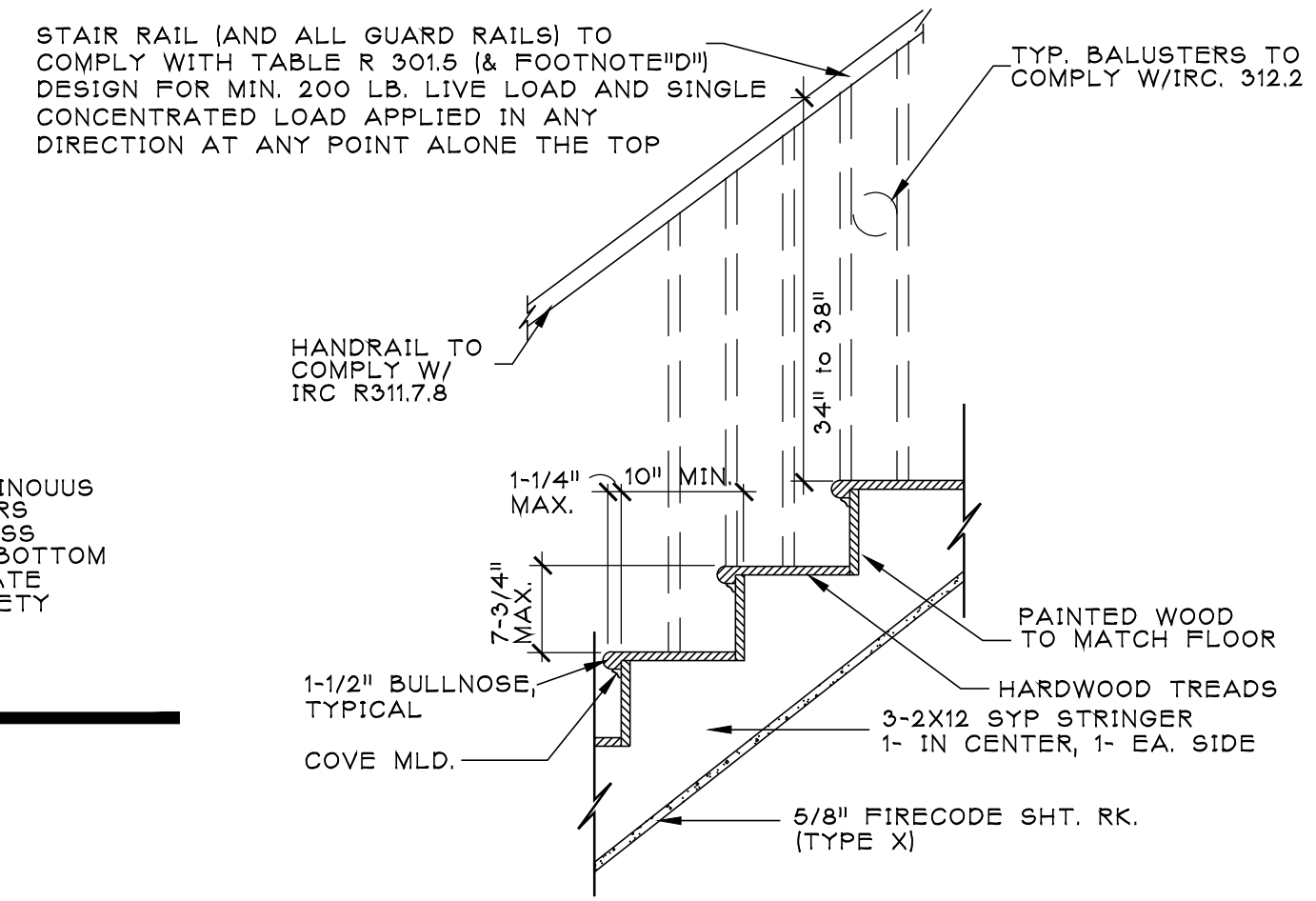
DATE
April 8, 2021

SHEET NUMBER

A5.10

GENERAL FRAMING NOTES

- HIP, VALLEY, AND RIDGE SHALL ALWAYS BE #2" DEEPER THAN RAFTERS.
- PROVIDE COLLAR TIES AT UPPER 1/3 DISTANCE BETWEEN RIDGE BOARD AND JOISTS AT 48" O.C.
- ALL RAFTERS 2X6 AT 16" O.C. UNLESS OTHERWISE NOTED.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS BELOW.
- PROVIDE CROSSBRIDGING AT 8'-0" O.C. ON ALL 2X12 JOISTS.
- PROVIDE RAFTER TIES AT ALL PLATES WHERE JOISTS ARE PERPENDICULAR TO RAFTERS.
- PROVIDE 2-2X6 STRONGBACK ON ALL CEILING JOIST SPANS OVER 10'-0".
- ALL STRUCTURAL FRAMING SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION.
- STUD WALLS EXCEEDING 10'-0" SHALL HAVE FIRESTOPS @ MID-HEIGHT.
- ROOF FRAMING - MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL BE 11'-0". ALL ROOF BRACING SHALL BE SUPPORTED BY A WALL, 2-2X6 STRONGBACK, OR 2-2X12 DEPENDING ON CEILING JOIST DIRECTION (PROVIDE BLOCKING AT BRACE LOCATIONS), UNLESS OTHERWISE NOTED. MAXIMUM ANGLE FOR 2X4 BRACES IN ATTIC SHALL BE 45° FROM VERTICAL. WHERE LENGTH OF BRACING EXCEEDS 8'-0", PROVIDE ALTERNATE BRACING METHODS AS DESCRIBED IN STRUCTURAL DRAWINGS.
- PROVIDE 26 GA. GALVANIZED IRON FLASHING AT ALL VALLEYS, HIPS, AND INTERSECTIONS WHERE APPLICABLE. PROVIDE LEAD FLASHING FOR PIPES PROJECTING THROUGH ROOF WITH FLANGE EXTENDED 8" BEYOND SLEEVE.
- ALL BEAM AND HEADER MATERIAL SHALL BE #2 KD19 SYP. ALL RAFTER AND JOIST MATERIAL SHALL BE #2 KD19 SYP.
- ALL WALL STUDS SHALL BE STUD GRADE KD19 FIR 16" O.C. OR #2 GRADE DOUGLAS FIR.
- ALL STEEL SHALL CONFORM TO ASTM A-36. STEEL ANGLE LINTEL SCHEDULE 10 (TO SUPPORT BRICK) IS AS FOLLOWS:
MAX. SPAN MIN. SIZE MIN. BEARING
4'-0" L3 1/2 X 3 1/2 X 5/16 6"
6'-0" L3 1/2 X 3 1/2 X 5/16 6"
8'-0" L4 X 3 1/2 X 5/16 6"
10'-0" L4 X 3 1/2 X 5/16 6"
12'-0" L5 X 3 1/2 X 3/8 8"
14'-0" L5 X 3 1/2 X 3/8 9"
16'-0" L6 X 3 1/2 X 3/8 10"
FORM SHAPE TO MATCH ARCHES WHERE NECESSARY.
- LIVE LOADS:
ROOF - 17 psf.
SECOND FLOOR - 40 psf.
ATTIC STORAGE - 30 psf.
- STEEL FLITCH BEAMS SHALL BE CONSTRUCTED WITH 2 ROWS OF 1/2" DIAMETER BOLTS SPACED AT 24" O.C. AND STAGGERED TOP AND BOTTOM. PROVIDE 2 BOLTS AT EACH END OF BEAM. HOLES SHALL BE 9/16" AND DRILLED. WHERE ONE BEAM IS "TIED" INTO ANOTHER BEAM SHALL BE SUPPORTED BY A SIMPSON EGS HANGER. EDGE CLEARANCE SHALL BE 1-1/2" FOR ALL BOLTS. WOOD SHALL BE #2 KD 19 AND BOTH STEEL AND WOOD SHALL BE CONTINUOUS.
- SUPPORT ALL JOISTS ON BEAMS WITH SIMPSON U JOIST METAL HANGERS, UNLESS OTHERWISE NOTED. SUPPORT ALL BEAMS ON OTHER BEAMS WITH SIMPSON B/HB METAL HANGERS, UNLESS OTHERWISE NOTED.
- ALL BEAM FRAMING TO WALLS ARE TO BE SUPPORTED BY A MINIMUM OF 2-2X4 OR 2-2X6 STUDS UNLESS OTHERWISE NOTED. THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO TABLE R602.3(1) OF THE 2012 HOUSTON/IRC BUILDING CODE.



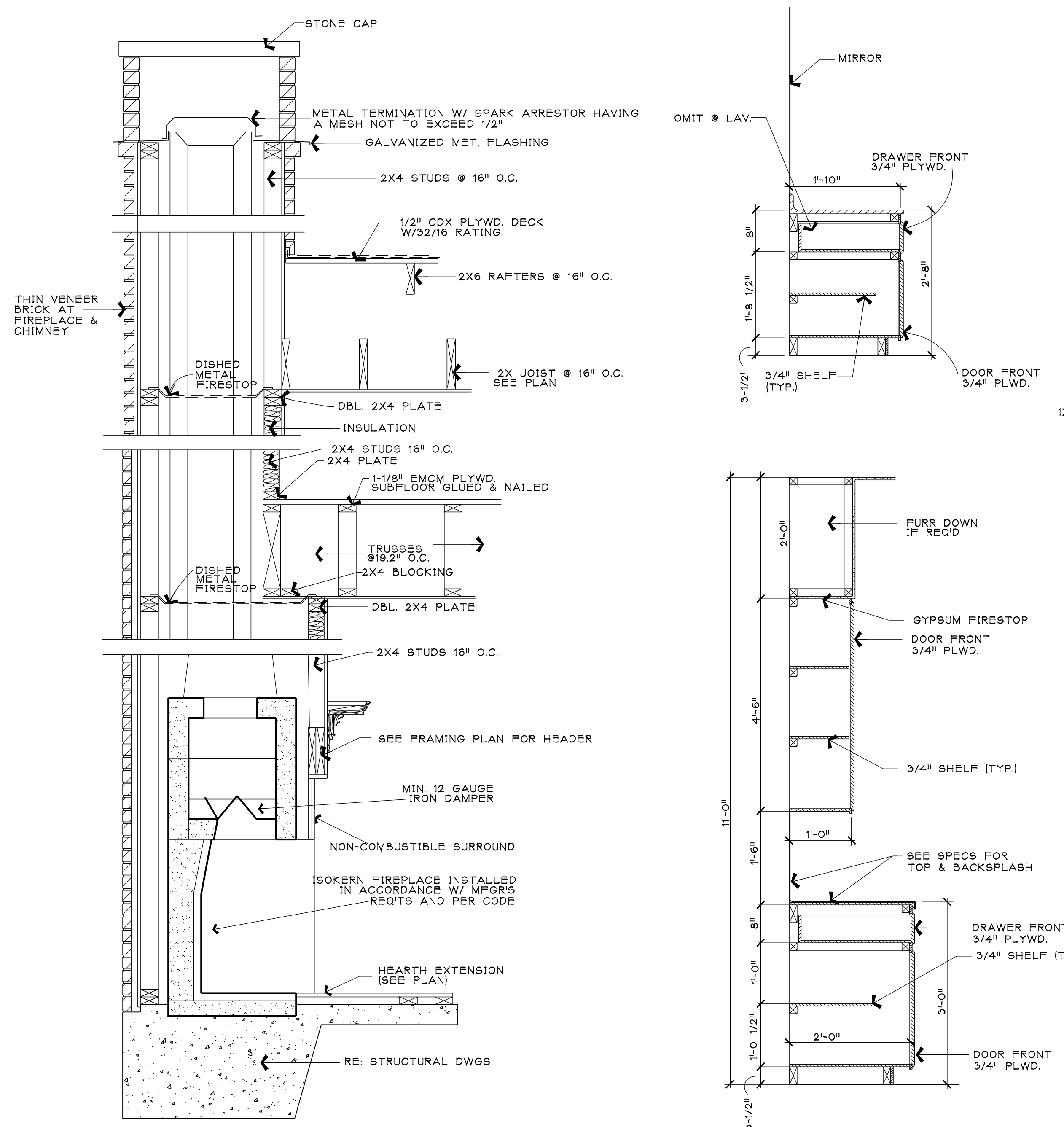
TREAD AND RISER DETAIL

SCALE: 3/4" = 1'-0"

NOTE:
HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS AND SHALL NOT EXTEND LESS THAN 6" BEYOND TOP AND BOTTOM RISERS AND SHALL TERMINATE IN A NEWELL POST OR SAFETY TERMINAL.

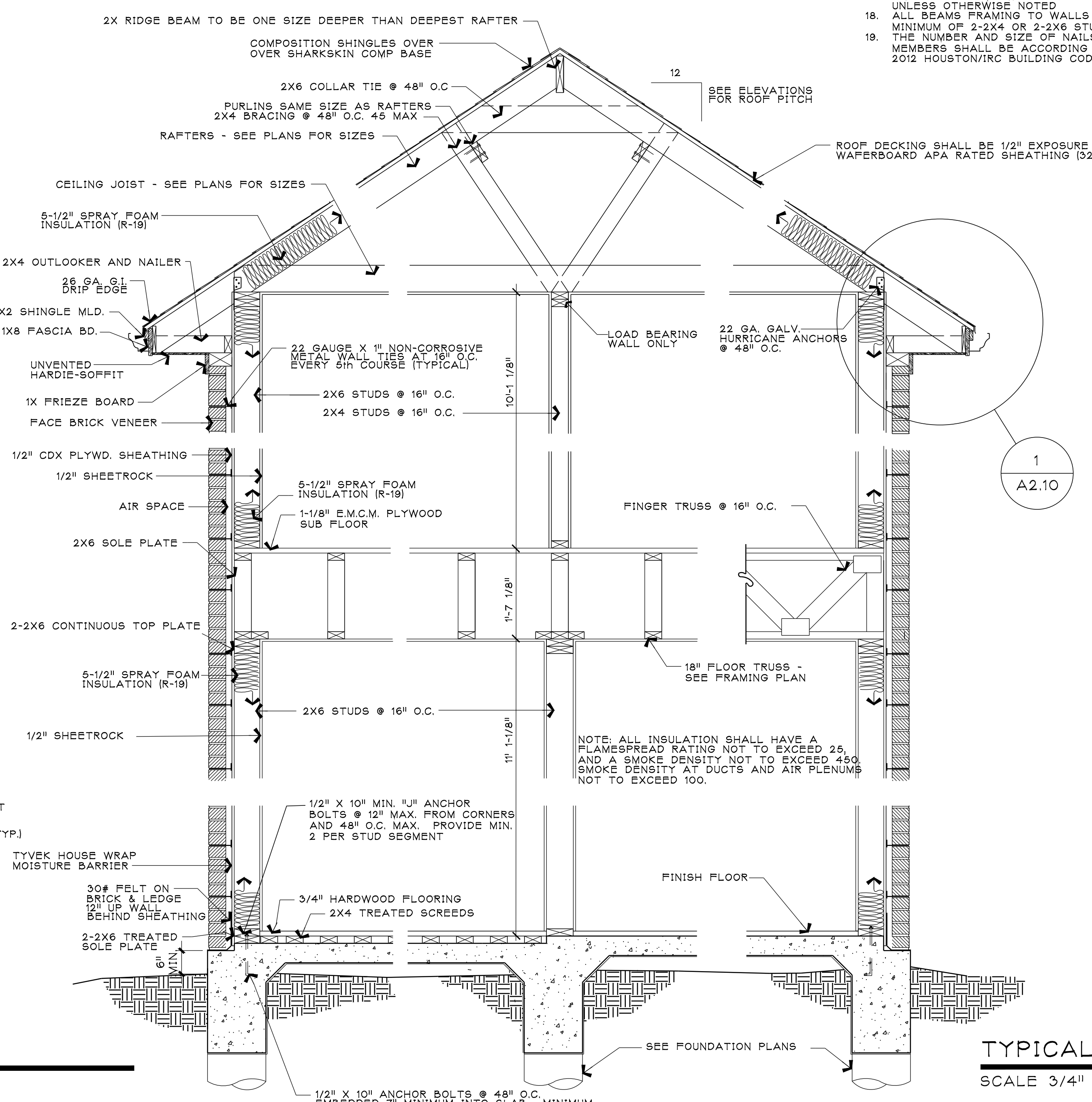
HANDRAIL

SCALE: 3" = 1'-0"



TYPICAL SECTION- PRE-FAB FIRE PLACE

SCALE: 1-1/2" = 1'-0"



SECTION THRU TYPICAL KITCHEN & BATH CABINET

SCALE: 3/4" = 1'-0"

TYPICAL SECTION

SCALE 3/4" = 1'-0"

TIME: Mon, 12 Apr 2021 - 7:28am pre-A026_Wbora\Project Templates\CSA_V010.dwg

