

LEGEND * ITEMS THAT MAY APPEAR IN *
DRAWING BELOW

A.C. = AERIAL EASEMENT
B.L. = BUILDING LINE
BRS = BEARS
C.F.# = OWNER'S FILE NUMBER
D.E. = DRAINAGE EASEMENT
E.E. = ELECTRIC EASEMENT
F.I.P. = FOUND IRON PIPE
F.I.R. = FOUND IRON ROD
FND. = FOUND
M.P. = METAL POST
M.U.E. = MUNICIPAL UTILITY EASEMENT
P.A.E. = PERMANENT ACCESS EASEMENT
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
P.P. = POWER POLE

P.R.C. = POINT OF REVERSE CURVATURE
P.T. = POINT OF TANGENCY
P.U.E. = PUBLIC UTILITY EASEMENT
S.L.R. = SET FROM ROAD
S.S.E. = SANITARY SEWER EASEMENT
S.W.S.E. = STORM SEWER EASEMENT
U.T.B. = UNABLE TO SET
U.E. = UTILITY EASEMENT
W.L.E. = WATER LINE EASEMENT
W.P. = WOODEN POST
W.R.E. = WATER & SEWER EASEMENT
L.S.W.F.E. = LANDSCAPE, SIDEWALK, FENCE EASEMENT

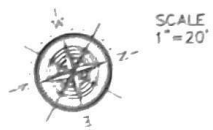
--- NOT TO SCALE

⊙ = GUY ANCHOR
⊙ = POWER POLE
⊙ = SERVICE DROP

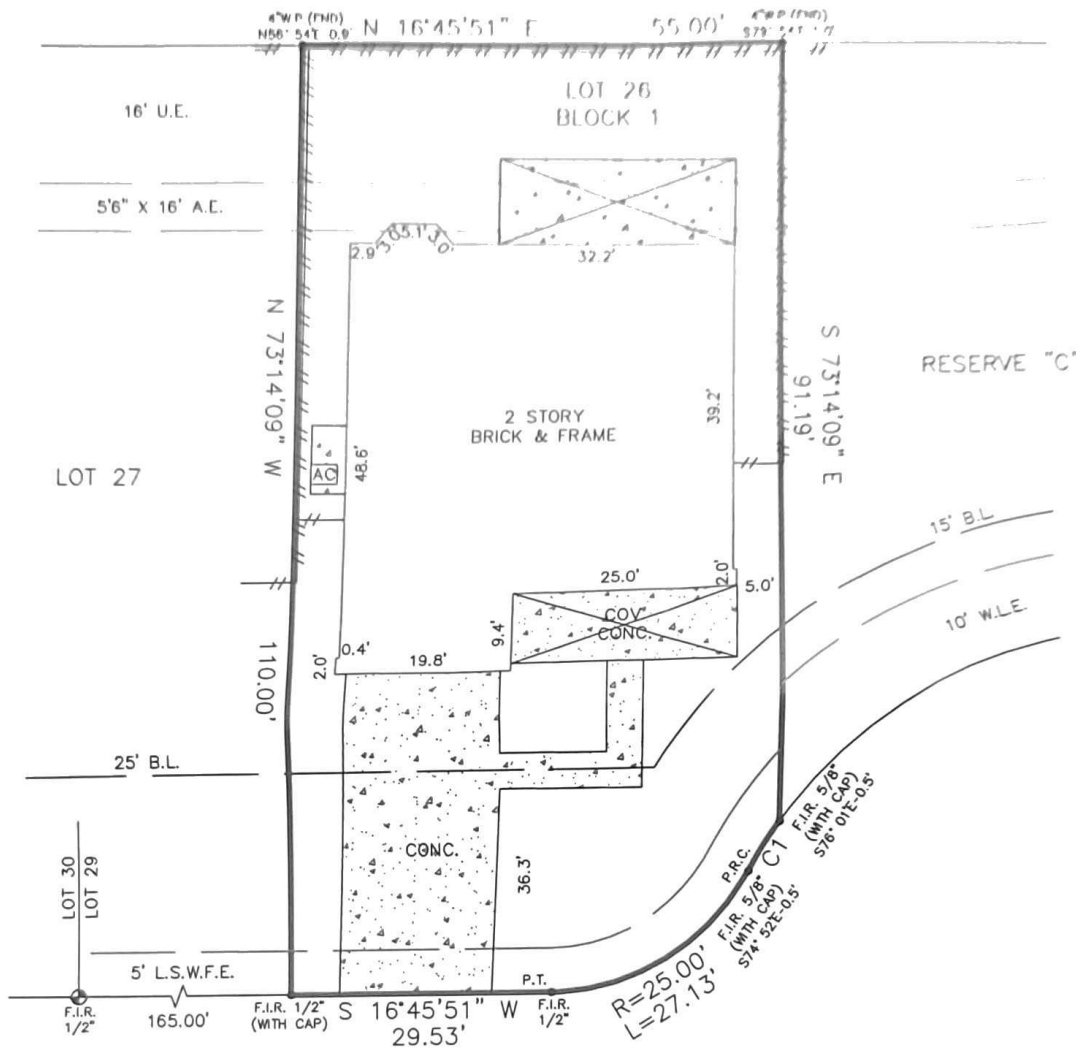
⊙ = CONTROL MONUMENT
● = PROPERTY CORNER
--- = PROPERTY LINE
--- = EASEMENT LINE
--- = BUILDING SETBACK LINE
--- = BUILDING WALL

---//--- = WOODEN FENCE
---X--- = CHAIN LINK FENCE
---O--- = METAL FENCE
---V--- = WIRE FENCE
---V--- = VINYL FENCE
---V--- = OVERHEAD ELECTRIC POWER LINE

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE	
C1	50.00'	6.43'	S 41°42'48" L	6.42'	7°22'02"	



RESERVE "B"



3719 HILL FAMILY LANE
(50' R.O.W.)

Reviewed & Accepted by: _____ Date _____ / _____ / _____ Date _____

NOTES:
- BEARING BASIS: PLAT
- SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
- SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY
- UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY
- THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS
- SUBJECT TO RESTRICTIVE COVENANTS AS PER TITLE COMMITMENT
- SUBJECT TO ZONING AND BUILDING ORDINANCES ENFORCED BY LOCAL MUNICIPALITIES
- NO A.E. ENCROACHMENT

LEGAL DESCRIPTION

LOT TWENTY-SIX (26), IN BLOCK ONE (1), OF SIENNA STEEP BANK VILLAGE, SECTION TEN-B (10-B), A SUBDIVISION IN FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN SLIDE NO(S). 2026/A AND 2026/B, OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.

ANDREW ZILNICKI
CORINNE ZILNICKI

ADDRESS 3719 HILL FAMILY LANE



I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

JOB # 2104289
DATE 04-21-2021
GF# 04-021465-21

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ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION

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