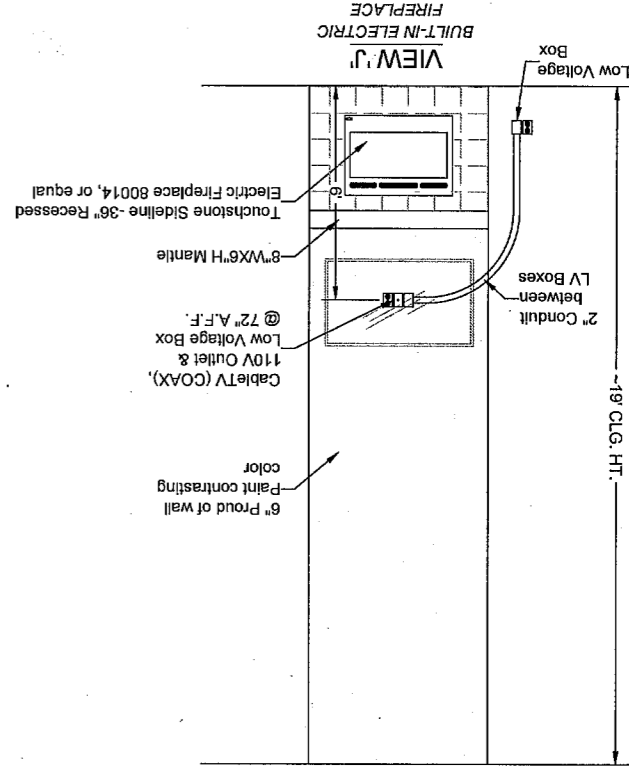
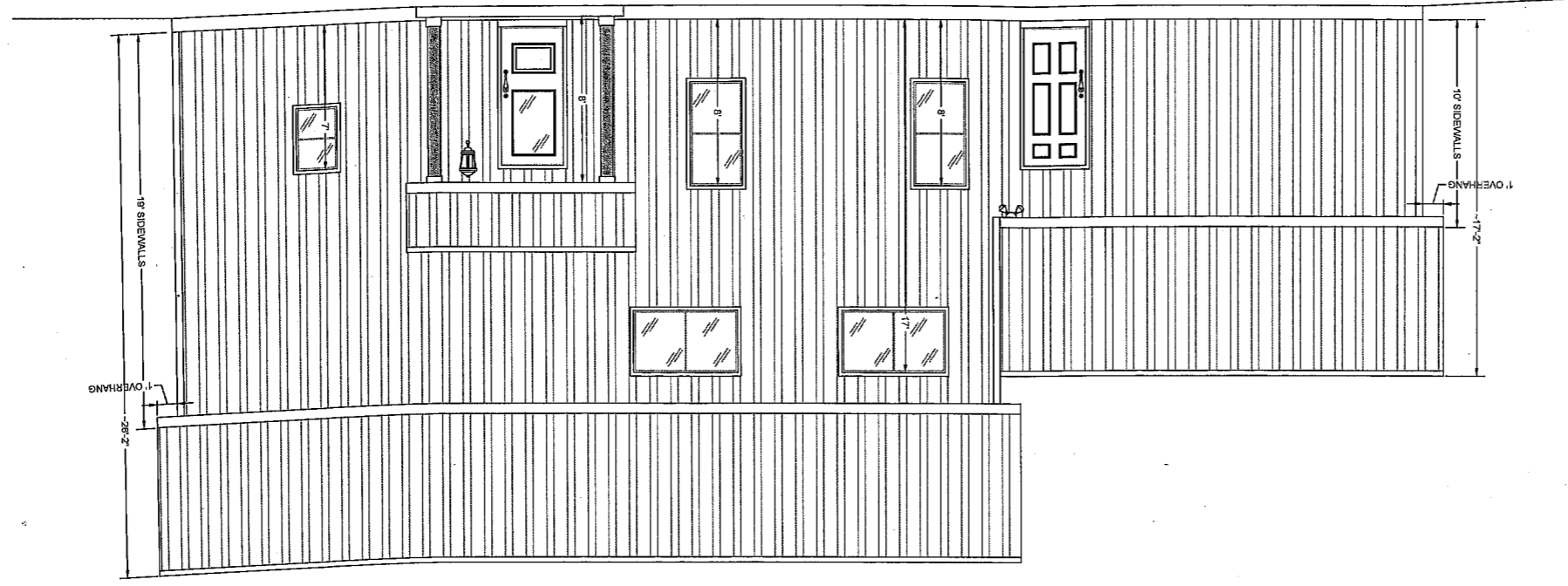


- Construct home to meet National, State & Local codes
- Builder to provide General Liability Insurance
- Builder to provide the following warranty:
- 1-year warranty for workmanship and materials;
- 2-year warranty for mechanical delivery systems;

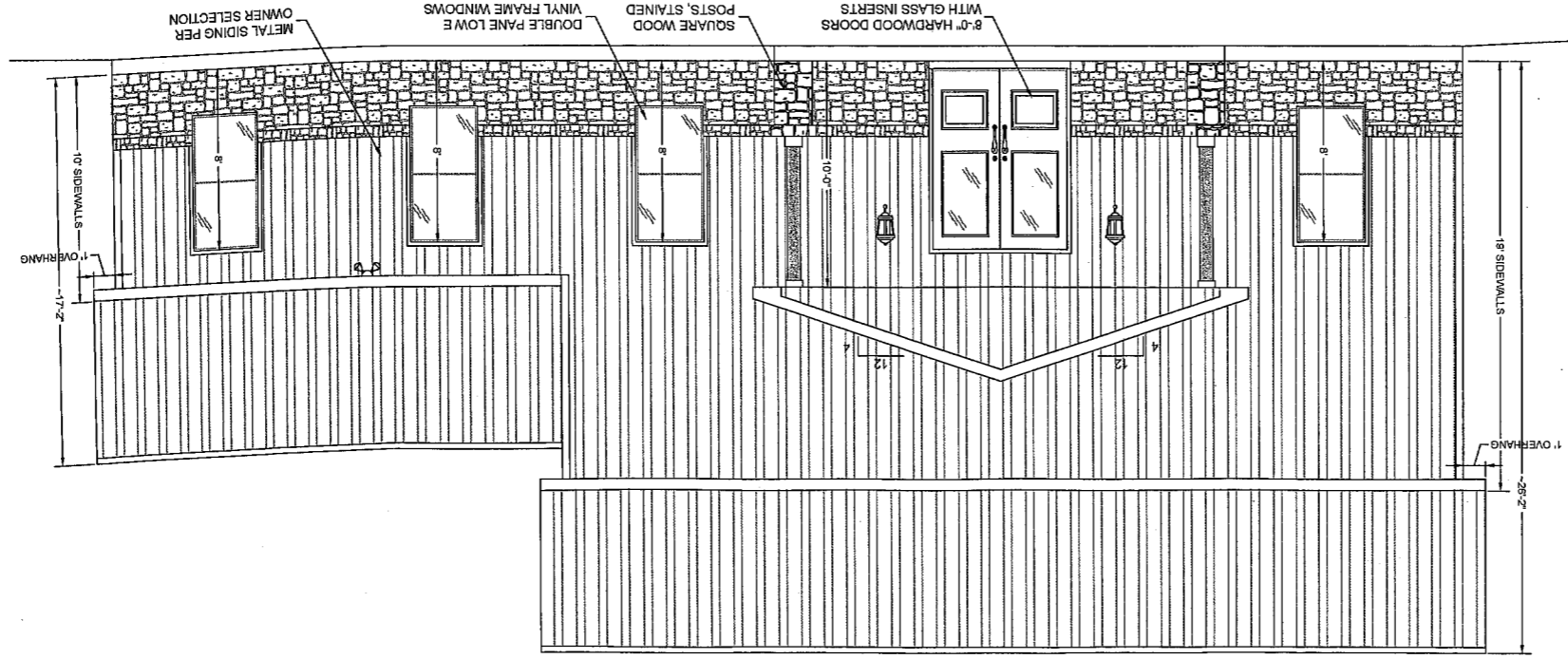
- Foundation
 - Option: Professional engineer to design foundation based on geotechnical investigation. Metal Building Manufacturer to design framing and windstorm.
 - Construct building pad minimum 2" above natural grade or 12" above adjacent roadway using select fill
 - Grade around house minimum 6" fall within first 10' of slab
- Framing & Cornice
 - Metal Building Manufacturer to design & build to area windstorm requirements for per Texas Insurance Map
 - Fir studs, #2 joists, or Better
 - Wrap structure Tyvek house wrap before installing metal sheathing
 - Stone and mortar to be selected by owner
- Roof, Windows & Exterior Paint
 - Metal roof provided by Metal Building Manufacturer
 - Vinyl double-paned, Low-E windows (owner selects frame color)
- Doors
 - Exterior: 6'-8" Insulated steel with insulated glass as shown on elevation drawings
 - Interior: 6'-8" Masonite raised panel, style selected by owner
- Insulation
 - R-15 blown cellulose with water activated adhesive in all exterior walls
 - R-30 batt insulation in ceiling
- Poly seal all mud sills, windows, doors & penetrations



REAR ELEVATION
NORTH SIDE



FRONT ELEVATION
SOUTH SIDE



Living Area	1,593 SF
Main Living	320 SF
Loft	170 SF
Front Porch	80 SF
Back Porch	807 SF
Garage	2,970 SF
TOTAL	2,970 SF

0 5 10
22"x34" Print Scale: 1/4" = 1'-0"
11"x17" Print Scale: 1/8" = 1'-0"
Exterior walls are drawn 6 inches (2x6)
Interior walls are drawn 4 inches (2x4)
Brick/Stone ledge is drawn 6 inches

REV	DATE
1	02/21/2021
2	03/30/2021
3	04/07/2021
4	04/20/2021
5	04/21/2021

FRONT & REAR
ELEVATIONS

CUSTOM HOME FOR
Donna Schneider
County Road 155
Burr, TX

BIG CREEK
DESIGNS

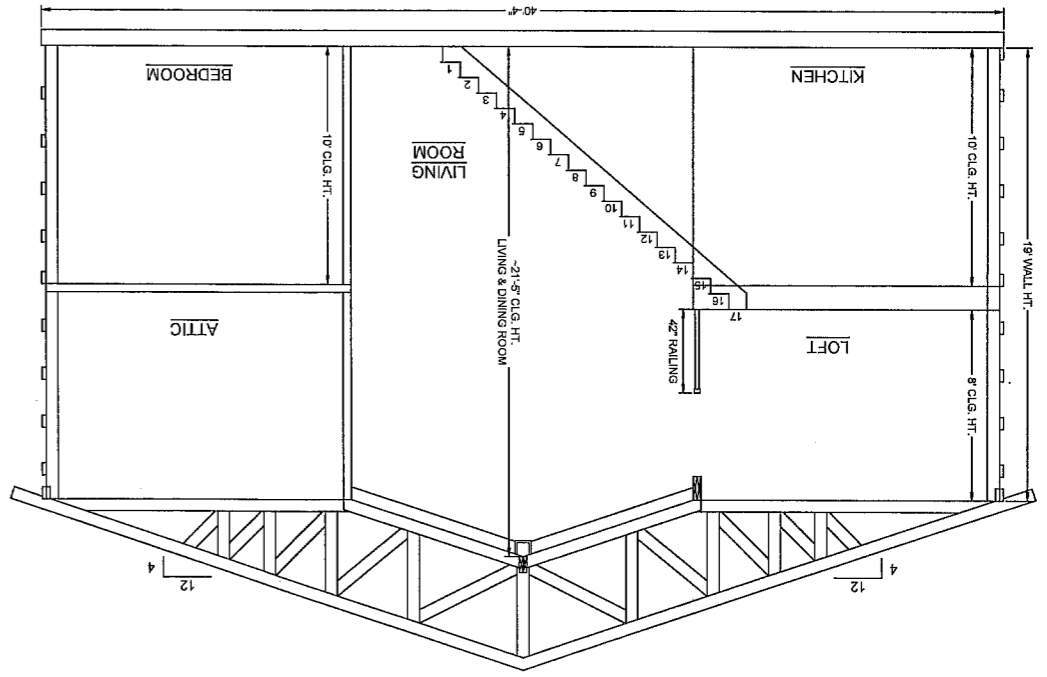
10718 Caddo Lake Drive, Nacodoches, Texas 77461 - 281-224-6488



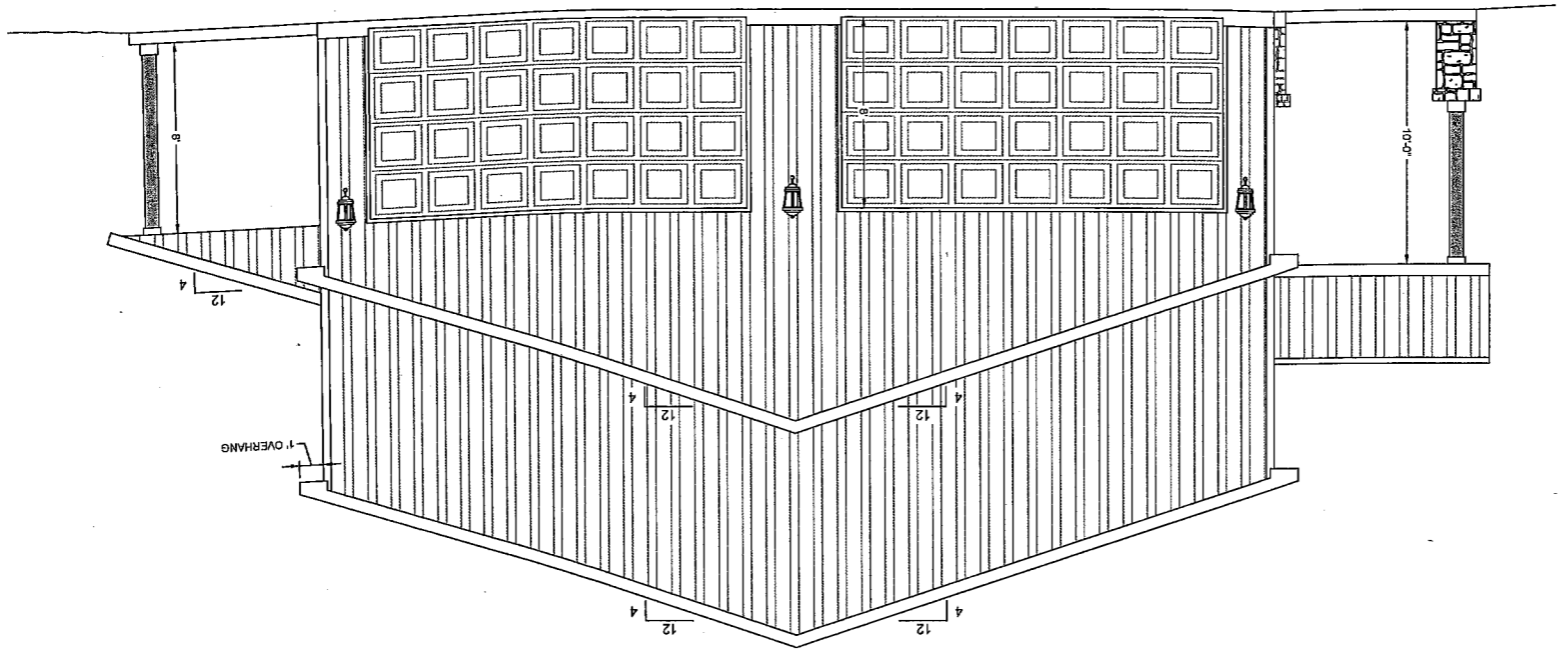
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3. Exact size and reinforcement of concrete structures must be determined by local soil conditions and acceptable practices of construction. Verify design with local structural engineer.
4. Prior to proceeding with construction, builder is responsible for verifying all dimensions, and any discrepancies are to be brought to the attention of Big Creek Designs.
5. Owner is responsible for having plans reviewed by a qualified building contractor.
6. Verify all structural elements with local engineer and building official. Structural sizes for framing, foundation, retaining wall, etc. are to serve as a guide only.

- Interior Walls, Trim & Ceilings
- 4" Base moldings in all rooms
 - 2 1/2" Casting around doors
 - Provide samples of wall texture for owner to select
 - Rounded corner sheetrock (square corner at windows)
 - Satin Latex with Semi-Gloss Alkyd trim (Sherwin Williams preferred)
 - Bid to include three colors (Walls, Trim, and Ceilings)
- Flooring & Surrounds
- Flooring as selected by owner
 - Master shower door frameless glass, hardware selected by owner
 - Kitchen back splash to be 3"x5" subway tile, or as selected by owner
- Cabinets
- Painted hardwood cabinets with flat panel doors in kitchen, baths, and laundry
 - European hinges
 - Bath countertops to be 36" high
 - Install cabinet hardware per owner selection
- Countertops
- As selected by owner
- HVAC
- HVAC system to be sized by licensed Air Conditioning and Refrigeration Contractor
 - Minimum 14 SEER HVAC with R-6 ducts and programmable thermostat
 - Cat walk, decking, and attic lighting to code
- Plumbing
- PEX tubing throughout
 - 50 Gallon electric water heater in attic
 - Fixtures: Selection by owner
 - Farmhouse sink enamel coated steel in kitchen
 - Tub: Enamel coated steel with marble surround to 7'-0"
 - Toilets: elongated white, comfort height
- Flatwork
- Include quantity of garage pad, driveway, and/or sidewalk as shown on Site Plan
 - Minimum 3,000 psi reinforced concrete

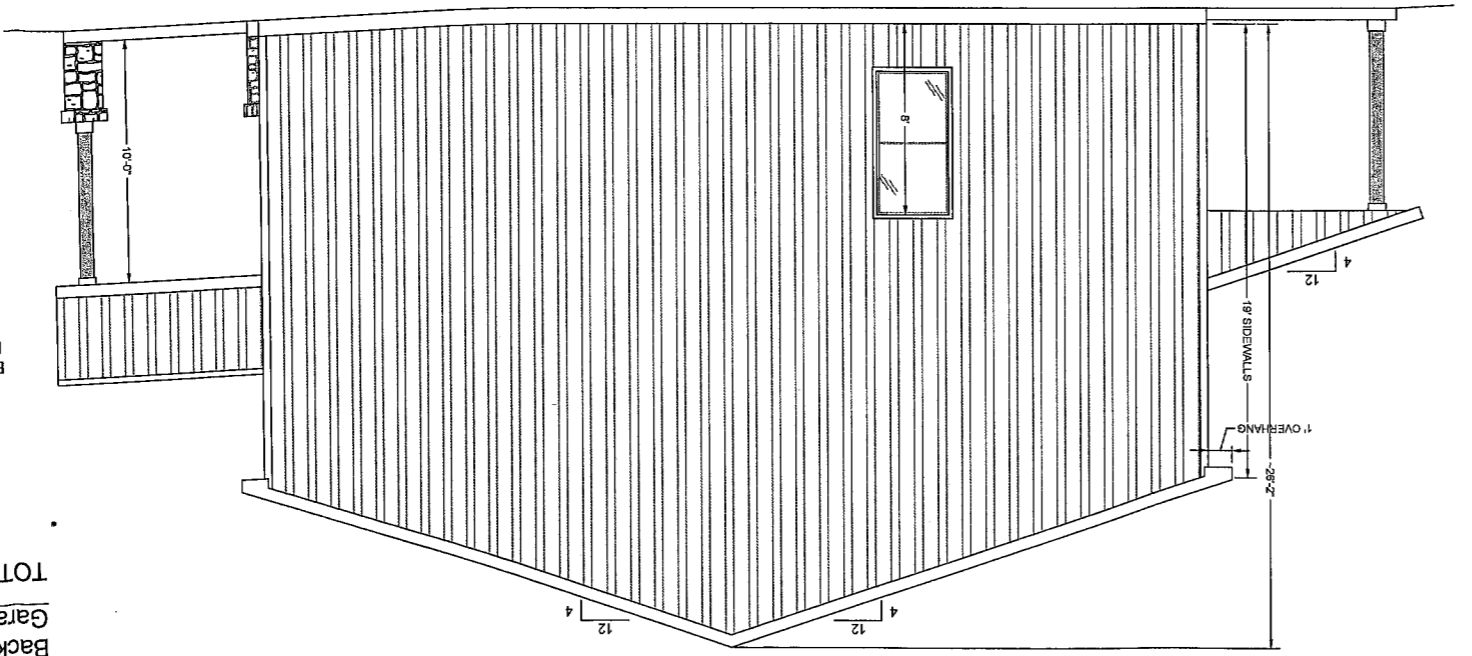
FRAMING SECTION



RIGHT ELEVATION EAST SIDE



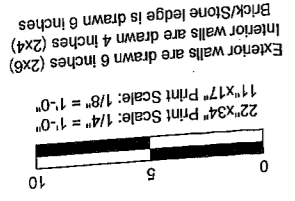
LEFT ELEVATION WEST SIDE



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Living Area	1,913 SF
Main Living	1,593 SF
Loft	320 SF
Front Porch	170 SF
Back Porch	80 SF
Garage	807 SF
TOTAL	2,970 SF



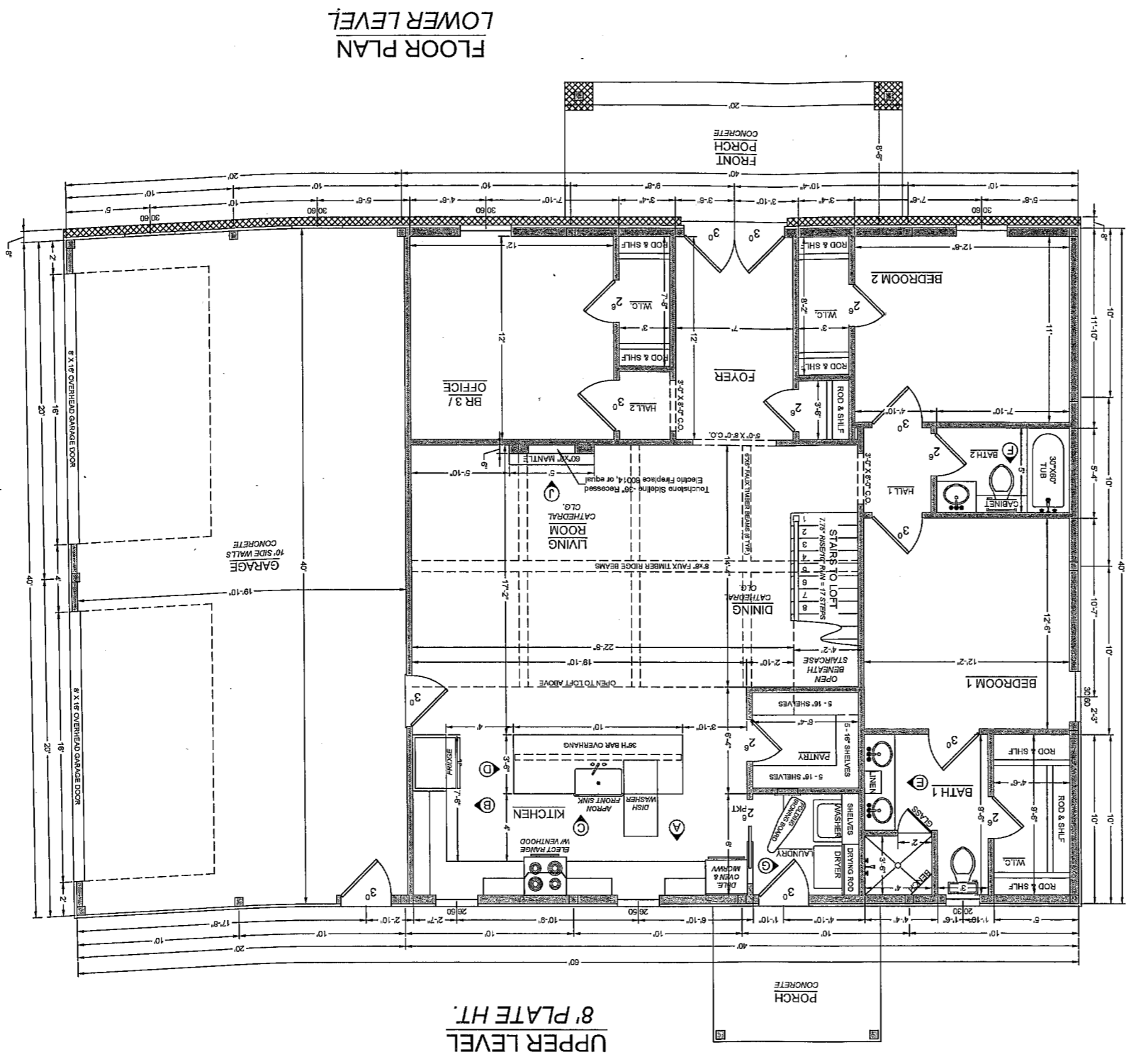
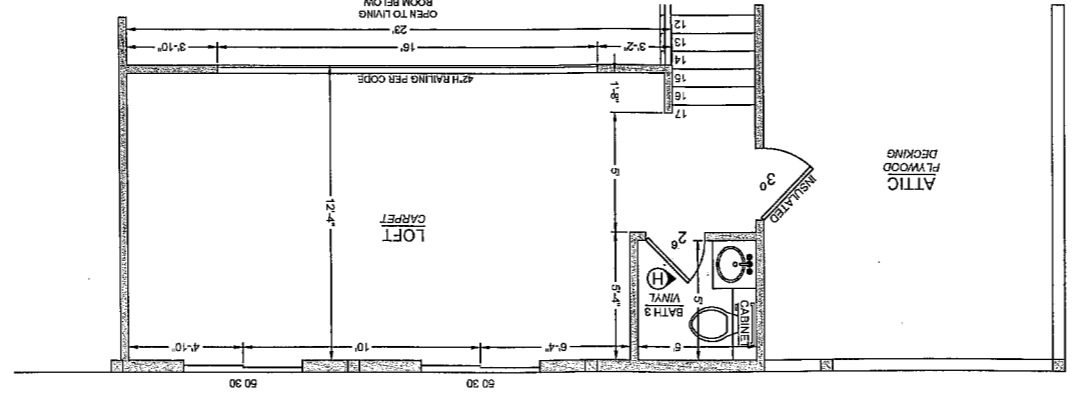
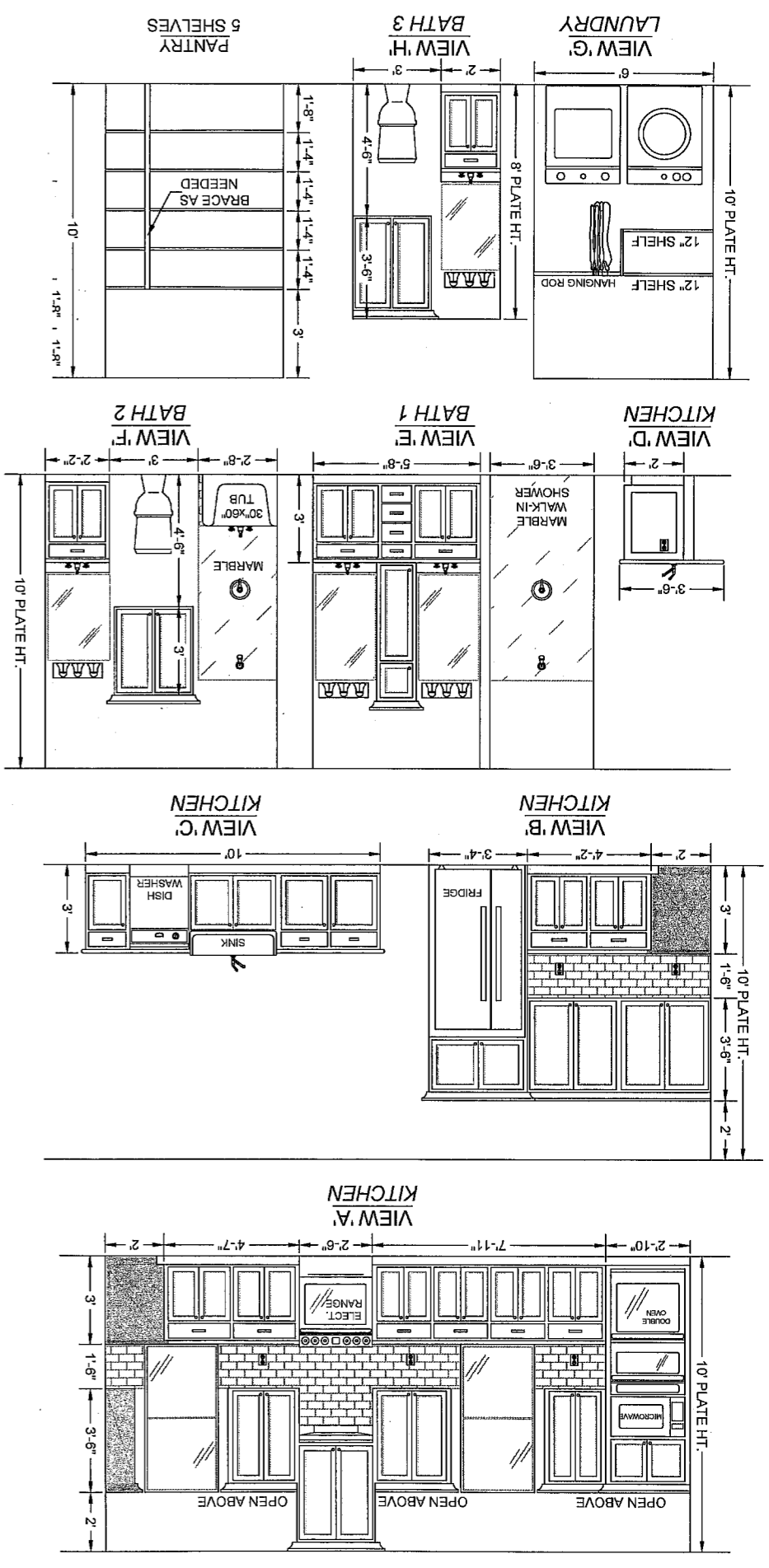
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SIDE ELEVATIONS

CUSTOM HOME FOR
Donna Schneider
County Road 155
Burr, TX

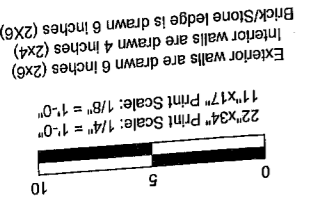
BIG CREEK
DESIGNS

10716 Cardo Lake Drive, Needville, Texas 77461 - 281-224-6488



FLOOR PLAN
LOWER LEVEL

UPPER LEVEL
8' PLATE HT.



Living Area	1,593 SF
Main Living	320 SF
Loft	170 SF
Front Porch	80 SF
Back Porch	807 SF
Garage	2,970 SF
TOTAL	5,913 SF

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 Big Creek Designs may not be held responsible for site conditions or for the final local conditions and acceptable practices of construction. Verify design with local structural engineer.
 Exact size and reinforcement of all concrete structures must be verified by a professional engineer. All dimensions, and any discrepancies are to be brought to the attention of Big Creek Designs.
 Prior to proceeding with construction, builder is responsible for obtaining all necessary permits and approvals from the local building department.
 Owner is responsible for having plans reviewed by a professional engineer and building official. Structural sizes for framing, foundation, retaining wall, etc. are to serve as a guide only.
 Verify all structural elements with local engineer and building official. Structural sizes for framing, foundation, retaining wall, etc. are to serve as a guide only.

BIG CREEK
DESIGNS

3

10718 Casada Lake Drive, Mercedes, Texas 77461 - 281-224-9488

CUSTOM HOME FOR
Donna Schneider
County Road 155
Burr, TX

FLOOR PLAN
10' CEILING HT.

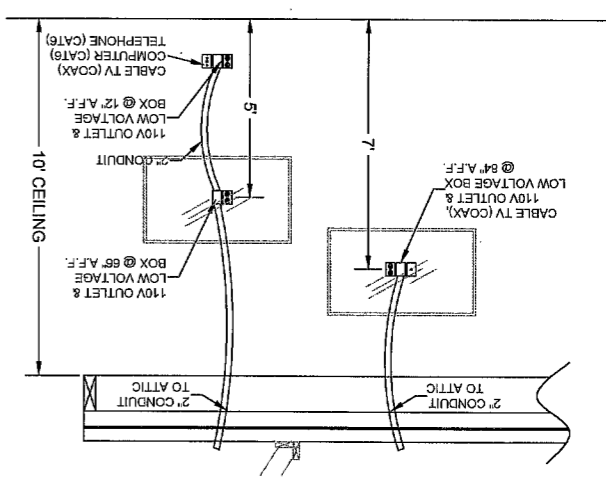
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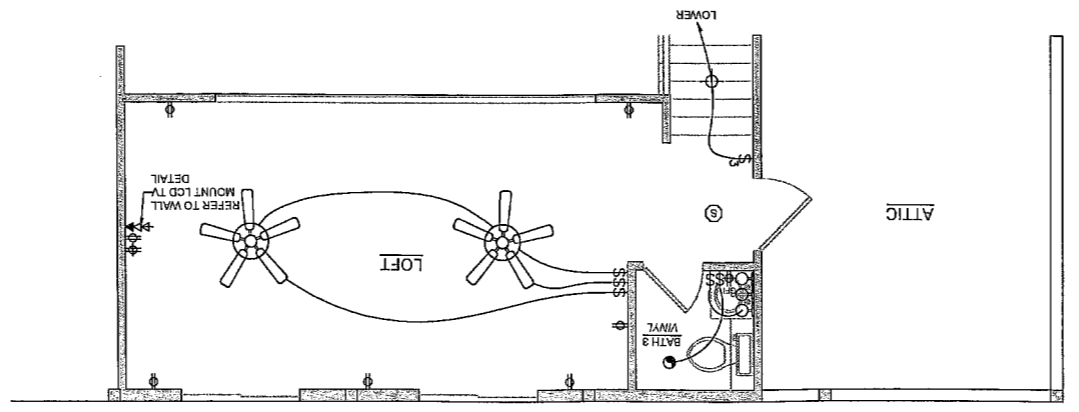
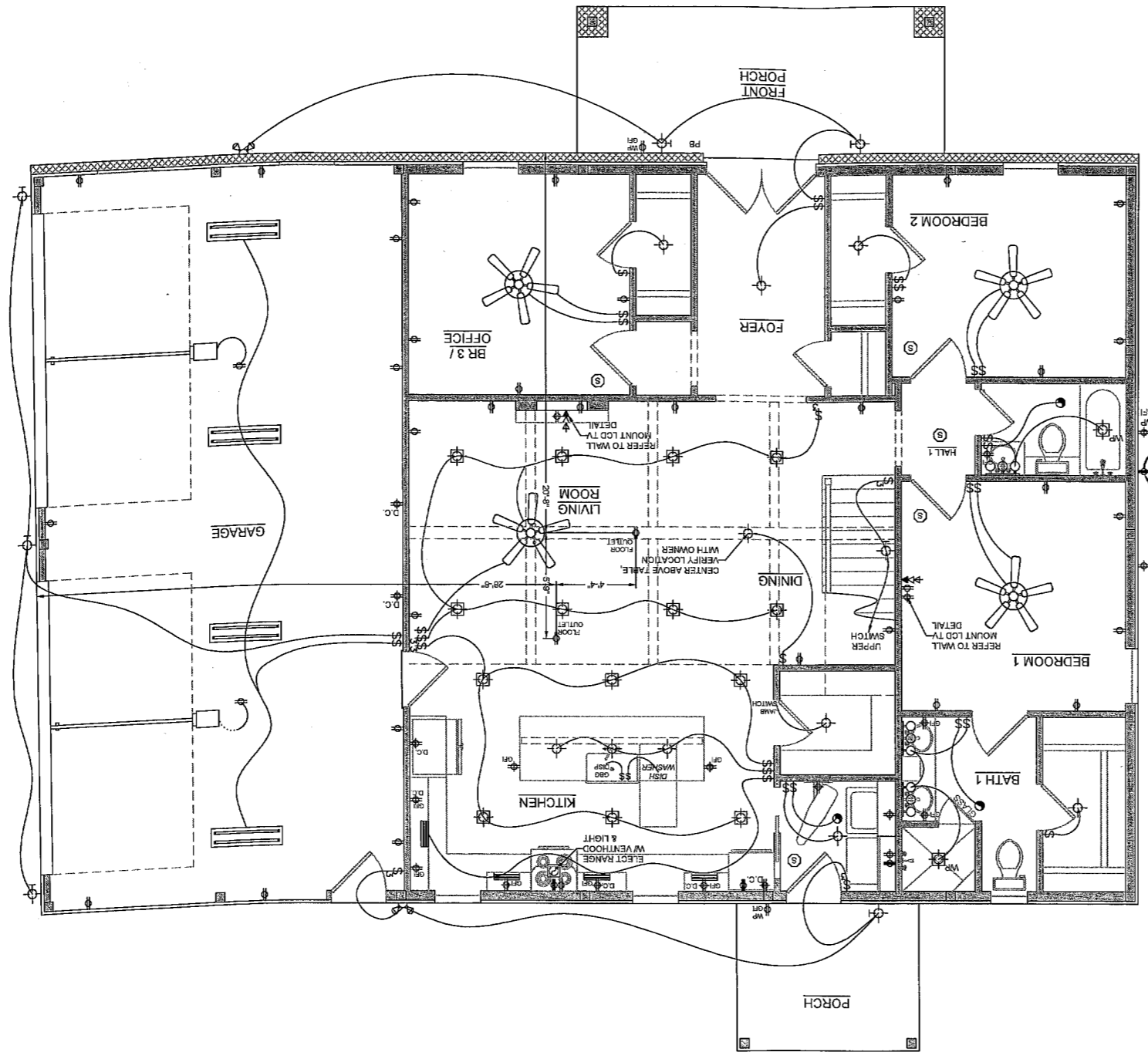
- Electrical
- Minimum 200 Amp service with aluminum wire for main service feed
 - CAT5e telephone and computer (or better)
 - RG6 Quad Coax for video (or better)
 - Smoke detectors are hardwired and interconnected
 - Install 1 10V WP outlet near AC compressor
 - Attic lighting to code
 - Doorbell (button, transformer & chime)
 - Electrician and owner to conduct walk-through of electrical layout prior to beginning installation. Verify locations of switches, outlets and fixtures.

WALL MOUNT LCD DETAIL
(AS SHOWN ON PLANS)

WALL MOUNT LCD DETAIL
TYPICAL OF FAMILY ROOM AND BEDROOMS



LEGEND	
⌘	SINGLE POLE SWITCH
⌘	THREE WAY SWITCH
⌘	FOUR WAY SWITCH
⊙	GAS (OPTIONAL)
⊙	110V DUPLEX
⊙	220V DUPLEX
⊙	ABOVE COUNTER DUPLEX
⊙	BATH EXHAUST
⊙	RANGE EXHAUST
⊙	WALL MOUNT INCANDESCENT
⊙	RECESSED INCANDESCENT
⊙	WALL WASH-INCANDESCENT
⊙	CABLE TV (COAXIAL)
⊙	COMPUTER (CAT 5)
⊙	INCANDESCENT VANITY
⊙	GROUND FAULT INTERRUPT
⊙	WATERWEATHER PROOF
⊙	UNDER COUNTER
⊙	FLOOD LIGHT
⊙	PUSH BUTTON
⊙	SMOKE DETECTOR
⊙	CEILING FAN
⊙	CEILING FAN W/ LIGHT
⊙	FLUORESCENT
⊙	SUSPENDED INCANDESCENT
⊙	WALL MOUNT INCANDESCENT
⊙	HEAT LAMP
⊙	COMPUTER (CAT 5)
⊙	CABLE TV (COAXIAL)
⊙	INCANDESCENT VANITY
⊙	GROUND FAULT INTERRUPT
⊙	WATERWEATHER PROOF
⊙	UNDER COUNTER
⊙	FLOOD LIGHT
⊙	PUSH BUTTON
⊙	SMOKE DETECTOR

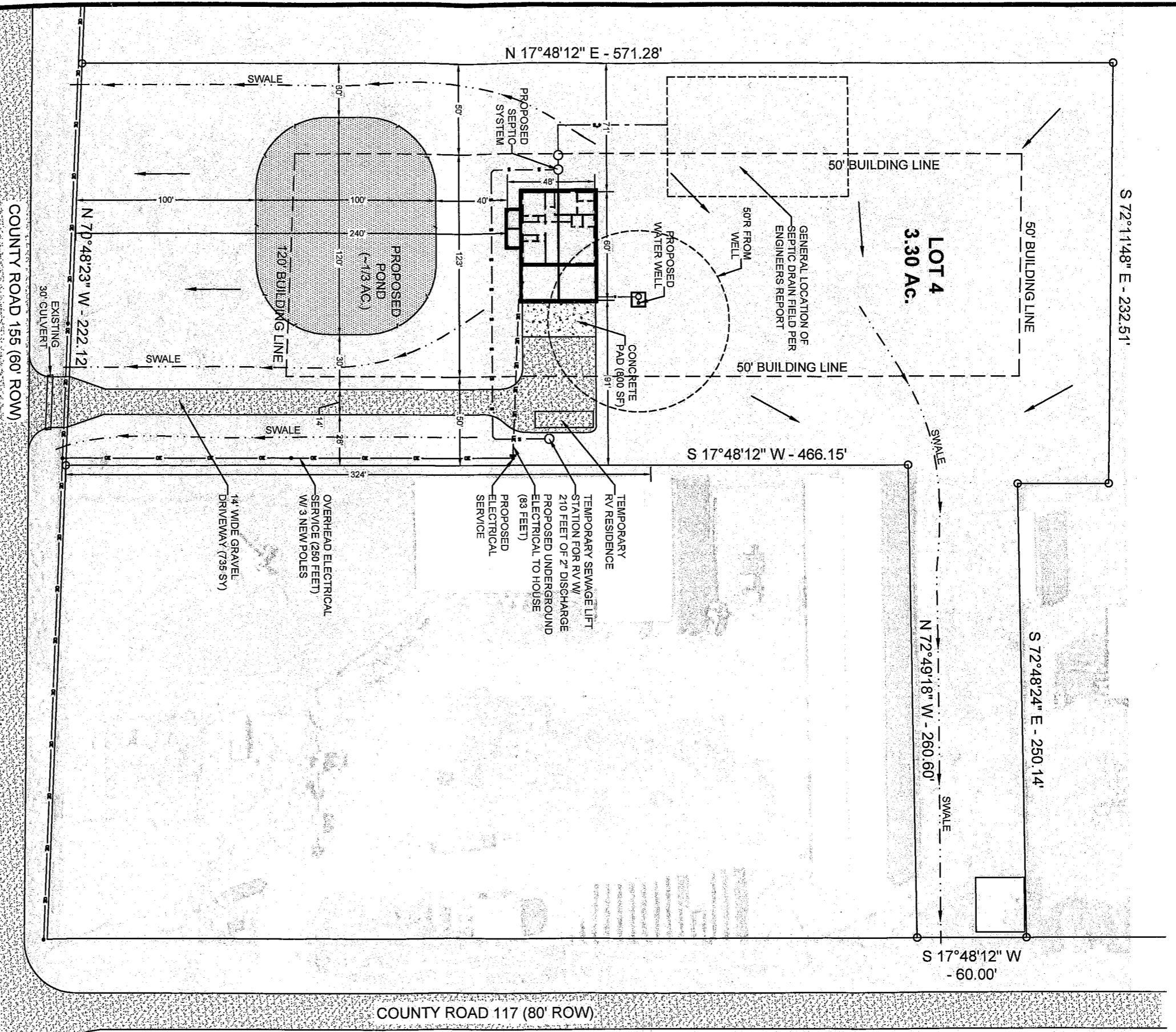


- STONE
- BRICK
- FRAMED WALL

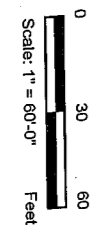
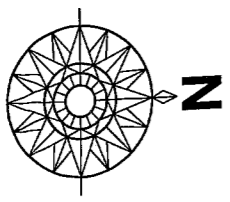
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Interior walls are drawn 4 inches (2x4)
Brick/Stone ledge is drawn 6 inches (2x6)

Area	SF
Living Area	1,593 SF
Main Living	320 SF
Loft	170 SF
Front Porch	80 SF
Back Porch	807 SF
Garage	807 SF
TOTAL	2,970 SF



LOT FOUR (4), ORSAK SUBDIVISION, A SUBDIVISION IN THE BARTLETT SIMS LEAGUE, ABSTRACT NO. 57, WHARTON COUNTY, TEXAS, AS PER PLAT THEREOF RECORDED IN SLIDE: 3225, OF THE WHARTON COUNTY PLAT CABINET III RECORDS.



CUSTOM HOME FOR
 Donna Schneider
 County Road 155
 Burr, TX

SITE PLAN
 04/22/2021

BIG CREEK
 DESIGNS
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