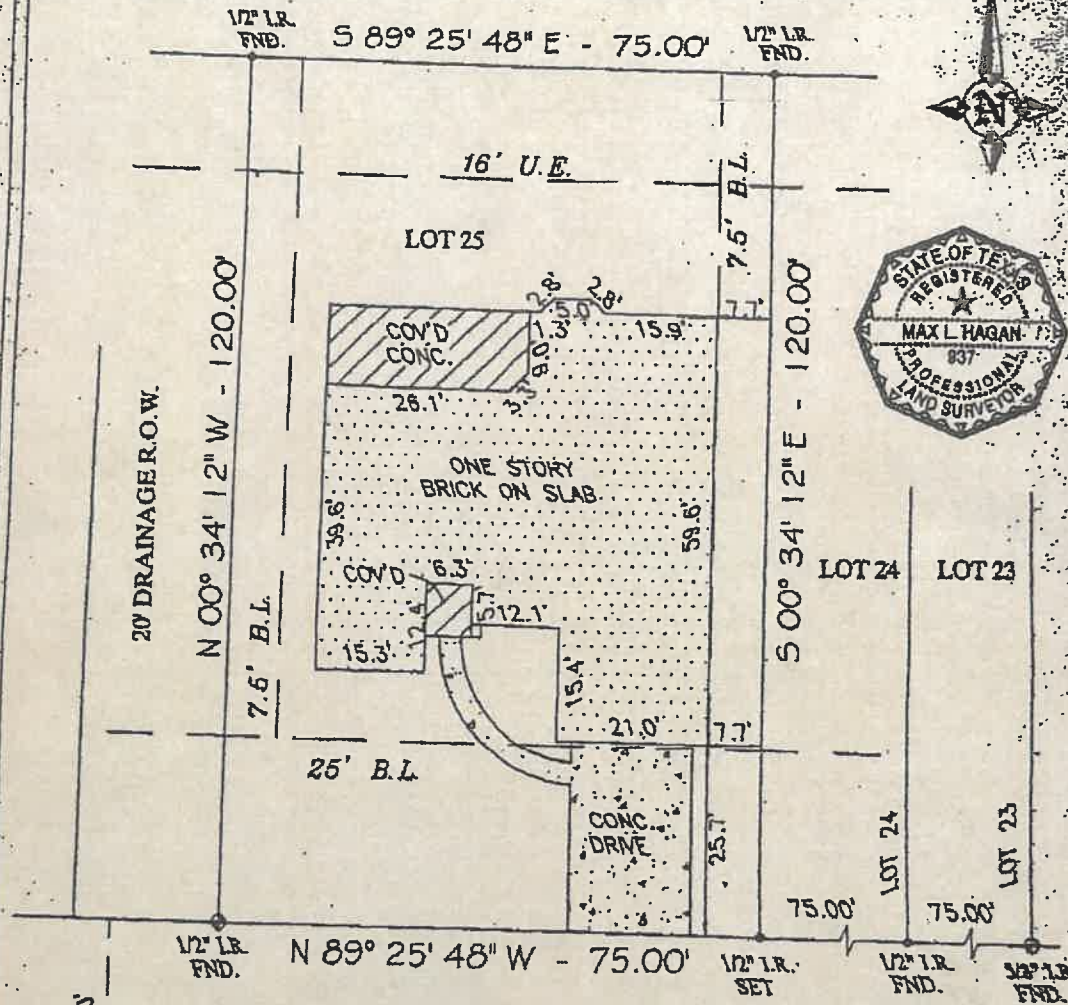


LEGEND

- CM CONTROLLING MONUMENT
- U.E. UTILITY EASEMENT
- A.E. AERIAL EASEMENT
- B.L. BUILDING LINE
- R.O.W. RIGHT-OF-WAY
- I.R. IRON ROD
- I.P. IRON PIPE
- FND. FOUND

**BRAZORIA COUNTY
AUDUBON WOODS SUBDIVISION
LOT 25**

RESERVE C
DETENTION POND RESERVE



WISTERIA STREET
(60' R.O.W.)

Jonathan Barr 6/9/08

Buyers LORI J. KOEPEL *Lori J. Koepsel*

NOTES:
1. THIS TRACT IS SUBJECT TO AN AGREEMENT FOR UNDERGROUND ELECTRIC SERVICE PER C.F. NO. 2004008805, O.R.B.C.

HAGAN SURVEYING

1428 OLD ANGLETON ROAD, CLUTE, TEXAS 77531 409-265-4987 1-800-468-3456

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

This is to certify that I have, this day, made a careful and accurate survey on the ground of the property located at
112 WISTERIA STREET IN THE CITY OF RICHWOOD, TEXAS
Lot 25, of AUDUBON WOODS SUBDIVISION, SECTION FOUR (4), a subdivision in Brazoria County, Texas, according to the map or plat thereof recorded in Volume 24, Page 108 of the Plat Records of BRAZORIA County, Texas

COUNTY NO: 485502 PANEL NO: 0610 SUFFIX: H ZONE: X BASE: N/A MAP REVISED: 6-5-09

I have examined the IAD-70A Plat Hazard Boundary Map in the above described property and I is NOT a designated flood-hazard area. The plat herein is a true, correct and accurate representation of the property as determined by survey. The lines and boundaries of said property being so indicated by the plat, the site, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, and such and distances from property lines are so indicated. There are no encroachments, conflicts, or prohibitions, except as shown.

Scale 1" = 20' GF No: 593837-N Field Works: GKL

Date: 5-22-06 Requested by: SHARI Drawn by: *J. Hagan*

Max L. Hagan
Max L. Hagan, Civil Engineer, RPLS

REGISTERED PROFESSIONAL ENGINEER NO. 00111 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 107

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 4-17-2024

GF No. _____

Name of Affiant(s): Benny Urban, Betty Urban

Address of Affiant: 112 Wisteria St, Richwood, TX 77531

Description of Property: AUDUBON WOODS SEC 4 (A0066 J E GROCE)(RICHWOOD) BLK 1 LOT 25
County Brazoria, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

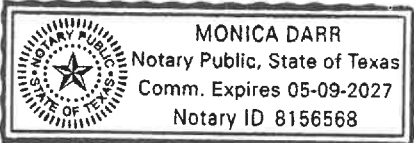
4. To the best of our actual knowledge and belief, since November 18, 2021 there have been no:
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
b. changes in the location of boundary fences or boundary walls;
c. construction projects on immediately adjoining property(ies) which encroach on the Property;
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Benny Urban
Betty Urban



SWORN AND SUBSCRIBED this 17th day of April, 2024
Monica Darr
Notary Public