

Certify to all that:
Misty Turco

Owner

5111 E Settlers Bend

Address

Montgomery

TX

City

State

77316

Zip

Has received a Lifetime Transferable on Newly Installed Piers Warranty under the provisions and terms of the original written agreement dated: 06/15/2015

HQ- Dallas Service Center
2821 East Randol Mill Road

Arlington, TX 76011

(214) 637.1444 . Fax (214) 637.0440

See General Conditions

A handwritten signature in black ink, appearing to read "Eric Lawson".

Eric Lawson

COO

07/16/2015

Date

THIS WARRANTY SHALL BE NULL AND VOID IF:

1. Full payment is not made within 30 days of completion of work as specified.
2. An additional story is added to the structure, or changes of a similar scope are made, without the prior written approval of Company, when such changes would affect loads on the foundation.
3. The structure is sited on a fault, or is affected by an earthquake or flood.
4. The foundation is undermined (i.e. soil slumping, eroding, plumbing leaks, creek beds, excavations, etc..)
5. Underground facilities or swimming pools are installed within a horizontal distance from the foundation equal to or less than their depth.
6. The natural eroding of existing structure.
7. Any accidental or intentional damage, fire, flood, windstorm, earthquake or other acts of God.

LIFETIME WARRANTY

It is the intention of the Company to permanently stabilize the settlement of that portion of the foundation covered by this contract. Within one (1) part in two hundred and forty (240) parts for the life of the structure that it supports (1" settlement in 20' horizontal span or 1/4 inch in a 5-foot horizontal span). This warranty applies to ONLY the work performed by COMPANY described as LIFETIME WARRANTY WORK under the terms provisions and conditions of this contract.

TRANSFER OF WARRANTY

In the event of a change in ownership occurs, assignment of this warranty to a new Owner or Owners, must be accomplished no later than thirty (30) days after transfer of title. Assignment will be made in accordance with the warranty and with the procedures in effect at the time of transfer, upon receipt of payment of the transfer fee current at the time of transfer. So long as the provisions of this paragraph are met, there is no limit to the number of transfers that can be made. **UNLESS ASSIGNMENT IS PROPERLY MADE WITHIN (30) DAYS AFTER TRANSFER OF TITLE, THIS WARRANTY IS NULL AND VOID.**

To transfer the warranty, a warranty transfer form, a current passing (within the last year) plumbing test and a check for \$100 (or the current transfer fee) mailed to the address listed below.



Austin | Dallas | Fort Worth | Houston | San Antonio
2821 East Randol Mill Road Arlington, TX 76011 || 1.877.840.9993 |
www.permapiers.com

May 26, 2015

Perma Pier Foundation Repair Company
2821 E. Randol Mill Road
Arlington, Texas 76011

Re: Foundation Repair Plan – Permit Review Letter
The residence at 5111 E. Settlers Bend, Montgomery, Texas
Perma Pier Job # 0615B-10007

As requested by Perma Pier Foundation Repair Company, I have reviewed the repair proposal dated May 26, 2015 provided for the above referenced property. The data indicates the structure has experienced movements that exceed generally accepted guidelines and therefore requires mechanical repairs as shown in the attached drawing. The plan of repair shows at least 78 cable anchored concrete pilings should be installed at the locations indicated. The pier locations and spacing indicated in the plan of repair are found to be in general compliance with the 2012 International Residential Code. If the strength of the foundation system is found to be insufficient to support the spacing of the pilings shown on the attached sketch, then additional pilings may be required to adequately support the structure. The structure should be lifted and stabilized in as near original position as possible. Complete leveling of this structure should not be anticipated.

After the house has been stabilized, the yard should be carefully regraded to assure positive drainage away from the house at all points.

If you have any questions concerning these findings, please do not hesitate to call.

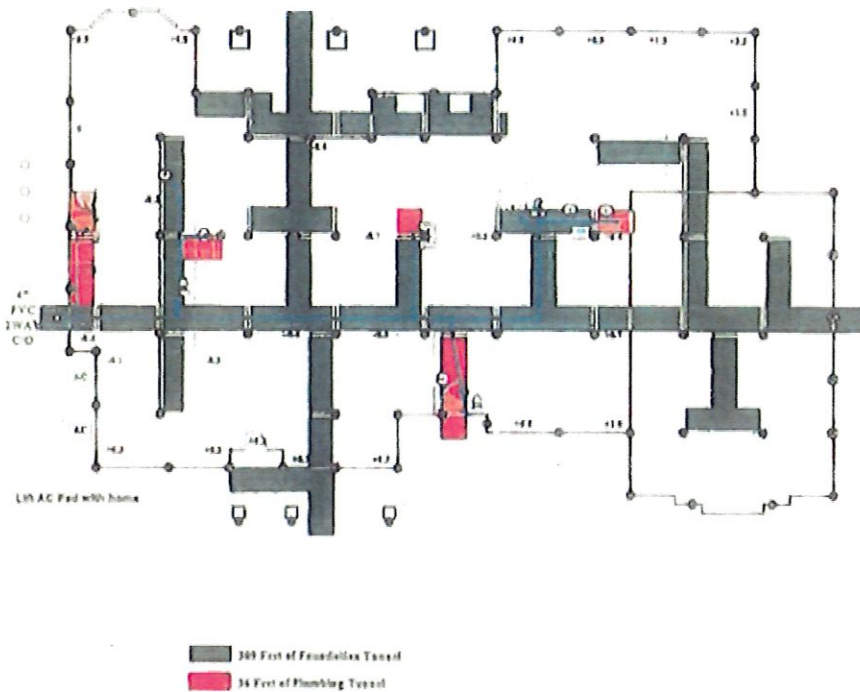
Very truly yours,

S. H. Prather, P.E.





5111 E. Settlers Bend
Montgomery, Texas 77319
Perma Pier Job # 0615B-10007



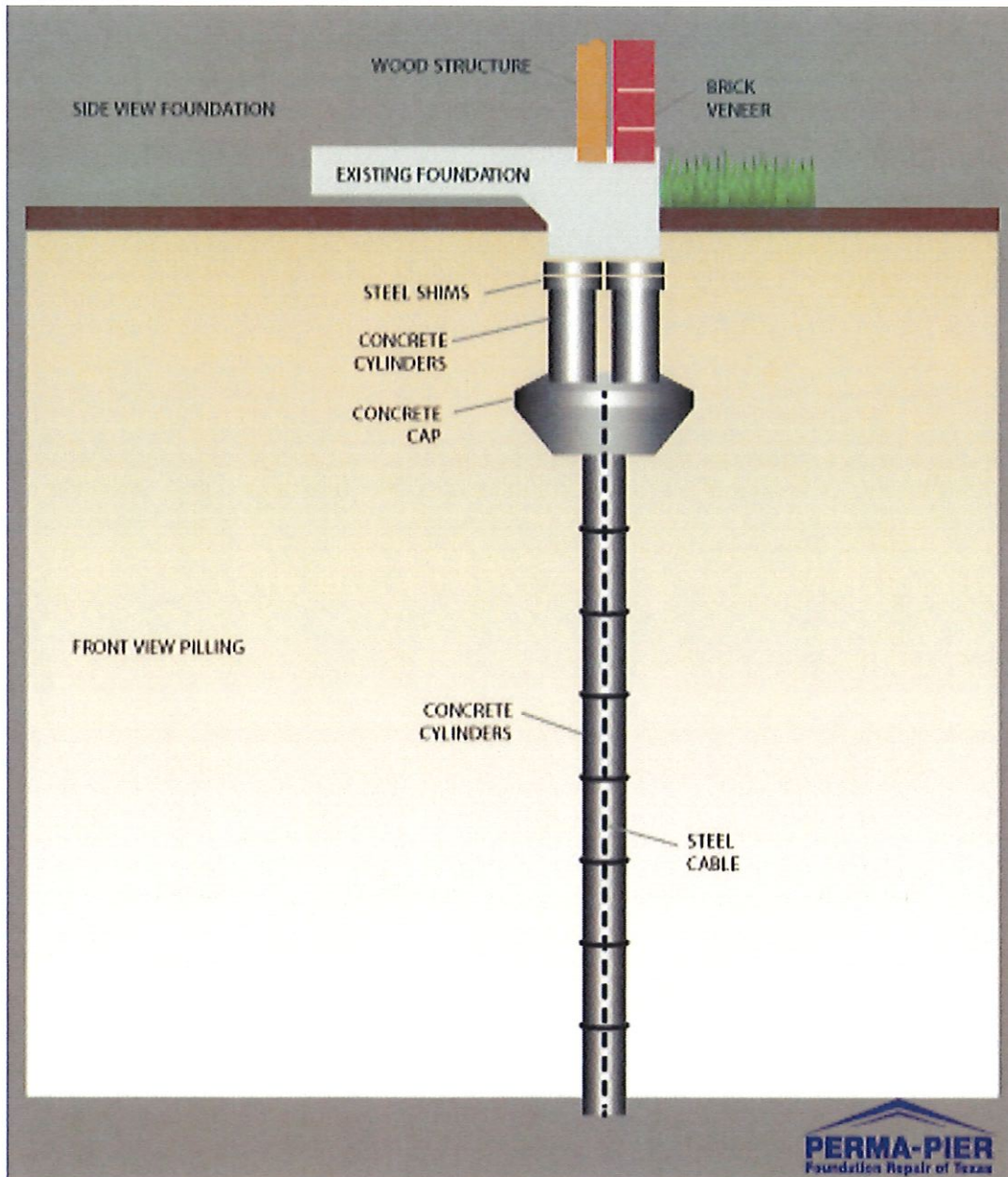
LEGEND

- PRESSED PILING
- ⊗ PRESSED PILING W/BREAKOUT
- EXISTING PILING
- ▨ POTENTIAL AREA AFFECTED BY NEW PILINGS
- JOIST + SEAL PLATE
- ===== SUPPORTING BEAMS

Prather Engineering Consultants, Inc.
1570 Fox Lane
Burlson, Texas 76028
(817) 447-8450

Texas Registered Engineering Firm F-1429

- NOTES UNLESS OTHERWISE SPECIFIED**
- 1) Exterior piling spacing should not exceed 6 feet center to center on two story homes and 7 feet center to center on one story homes.
 - 2) Piling must be installed to refusal. Refusal is reached when the existing foundation experiences uplift due to the driving force exerted on the piling.
 - 3) Elevation readings shall be taken before and after the work is completed.
 - 4) Elevations shall be adjusted for floor covering variations.
 - 5) Per depth log shall be maintained for all locations.



July 13, 2015

Perma Pier Foundation Repair Company
2821 E. Randol Mill Road
Arlington, Texas 76011

Perma Pier Job # 0615B-10007

RE: 5111 E. Settlers Bend, Montgomery, Texas

As requested by Perma Pier Foundation Repair, I have reviewed the repair proposal and the installation data received from Perma Pier Foundation Repair regarding the corrections made to the above referenced property. Perma Pier Foundation Repair corrected the repaired portion of the foundation using 78 cable anchored concrete pilings at the above referenced location for our review. Based on the field data provided to us by Perma Pier Foundation Repair, the piling locations and spacings represented are found to be in general compliance with the 2012 International Residential Code, and generally in agreement with Perma Pier Foundation Repair's proposal.

In our opinion, the piling depths and the pile driving forces as recorded by Perma Pier Foundation Repair are generally appropriate for this type of structure located in the area where the work was performed. The repair work performed at the subject location is believed to have been acceptably completed based on the information provided by Perma Pier Foundation Repair, and in accordance with good industry practice for the specified foundation repair work. The repairs performed on this location are expected to minimize the foundation settlement observed prior to the repair work. It should, however, be noted that partial repairs modify the basic design of the foundation and differential movements may occur. Partial repairs are a generally accepted industry practice, but the possibility of future movement must be recognized. Non-supported areas are not covered against foundation movements by the contractor's warranty or the repair plan.

In my opinion, the future performance of the foundation system at this location should function generally as intended, provided the proper soil moisture is maintained and there is not a loss in the load bearing capacity of the soil. Soils near the structure should be graded such that there is positive drainage away from the foundation. A drainage system can be installed to prevent water from ponding around the foundation if necessary. A foundation maintenance program is recommended, which can be found at www.foundationperformance.org.

If you have any questions concerning these findings, please do not hesitate to call.

Very truly yours,

S. H. Prather, P.E.



2821 E. Randol Mill Rd
Arlington, TX 76011

Phone: 214.637.1444
Fax: 214.637.0440

Tech: Jesse Kwan Date: 2/10/15 Job#

Requested By: Perma-Pier

Customer Name: Misty Turco
Address: 5111 E. Settlers Bend

Type of Test: Both
City: Montgomery

ZIP Code: 77316

Phone#: 936-448-7757

Domestic Water Pressure Test

PSI at Start of test: 64 Location of Test Gauge: Hose bib
PSI at End of test: 64 Total PSI Lost: 0 Length of test: 15 Min. Pass/Fail

For reference to this test Domestic Water Pressure Test is defined as: All water piping extending from the water meter, yard line and fixtures throughout the home. The test is performed by installing a gauge onto a hose bib utilizing the supplied city pressure and turning off the water at the meter. If a leak is indicated it could be a fixture drip, leak in the yard line, leak in the sprinkler system or a leak under the slab. If the system leaks we recommend a leak location test be performed to identify where the leak is in the domestic water system.

Sewer Hydrostatic Test

Type of Cleanout: 4" Single Thread Material Type: PVC Size of Cleanout: 4"
Amount of Loss: 0 Length of test: 30 Min. Pass/Fail

Cleanout Location: left side of House

For reference to this test Sewer Hydrostatic Test is defined as: All Sewer Piping extending from the cleanouts to under the Perimeter Beams of the Foundation of the Building. The test is performed by raising the cleanout to slab level, inserting a test ball into the sewer system and filling the sewer with water to slab level. If a leak is indicated we would recommend a leak location test be performed to identify where the leak/leaks are in the sewer system. Leak tests are accurate in most but not all cases. Before going through the expense of performing the leak locate have the sewer tested again. If you use Perma Pier Plumbing to perform the leak locate and we identify there is no leak we will not charge you for the additional testing.

Recommendations/Notes:

Customer Signature: _____

Tech:  _____



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Transfer of Warranty

Date of Transfer: _____

Project Address: _____

Previous Owner: _____

New Owner Printed: _____

New Owner Signature: _____ Date Signed: _____

Ship to Address (if different than Project Address):

Questions Directed To: _____ Phone/Email: _____

In the event of a change in ownership occurs, assignment of this warranty to a new Owner or Owners, must be accomplished no later than thirty (30) days after transfer of title. Assignment will be made in accordance with the warranty and with the procedures in effect at the time of transfer, upon receipt of payment of the transfer fee (\$100) current at the time of transfer. **Perma-Pier must also have a copy of a passing (within the last year) plumbing test on both the fresh water and sewer systems of the property.** So long as the provisions of this paragraph are met, there is no limit to the number of transfers that can be made. **UNLESS ASSIGNMENT IS PROPERLY MADE WITHIN (30) DAYS AFTER TRANSFER OF TITLE, THIS WARRANTY IS NULL AND VOID.*

****For Office Use Only**

Processing Employee Signature _____ Date _____

**2821 East Randol Mill Road Arlington, TX 76011
Phone 1-877-840-9993 Fax 214-637-0440
www.permapiers.com**



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RECOMMENDED WATERING MAINTENANCE PROGRAM

During the rainy season, soil expansion occurs and during the dry-summer months or periods of little to no rainfall, soil shrinkage occurs. Due to drastic changes in Texas weather, soil tends to swell and shrink often causing your home to move up and down. To stop seasonal damage, a controlled watering program must be followed that will prevent excessive changes in the moisture content of the soil near the home.

The major factors influencing soil movement that can cause distress to the foundations are large individual trees, thickets or other vegetation that withdraw large amounts of moisture from the soil. The area where the roots are located is drier than adjacent areas. These pockets of dry soil have a much higher potential for swelling than do the less dry areas. Planting flower beds or shrubs next to the foundation and keeping these areas flooded will increase soil moisture content and result in soil expansion. Shade trees should be planted a distance equal to the mature height of the trees from the foundation. (Horticulturists report that one large tree can remove up to 200 gallons of water from the soil every day). If planted too close, the roots penetrate beneath the foundation and withdraw moisture from the soil creating soil shrinkage, often resulting in drainage problems. If the structure is built on expansive soils and the lot is not graded to drain rainfall runoff away from the structure, water collects and causes distress to the structure due to swelling of the soil from excessive moisture content.

Maintenance Procedures:

1. Landscaping should be done on all sides of the foundation. Make sure you have a positive grade away from the foundation to assure proper drainage. If water is not properly draining away, consider installing a surface drain or French drain, depending on the severity of the problem.
2. During hot, dry weather, the foundation needs much more water to maintain stability. During cold, damp weather, less water is needed.
3. A soaker hose should be placed on each side of the foundation, no farther than 12" from the edge of the foundation. This will allow for an even distribution of water to soak into the soil. (Do not place the soaker hose against the foundation. If soil has dried and cracked, water may travel along the cracks and accumulate at the bottom of the grade beam. If too much water collects under the foundation, the soil may become too wet and lose its load bearing capacity; therefore, causing your house to sink into the ground or the soil may swell under moderate amounts of water and cause that area to heave.)
4. During hot or dry months, proper watering will keep the soil from separating or pulling back from the foundation. We recommend watering daily these months to keep the soil under the foundation at a consistent moisture rate. **Remember, the goal of a watering program is to maintain a constant level of moisture in the soil near and under the house.**

2821 East Randol Mill Road Arlington, TX 76011

Phone 1-877-840-9993 Fax 214-637-0440

www.permapiers.com