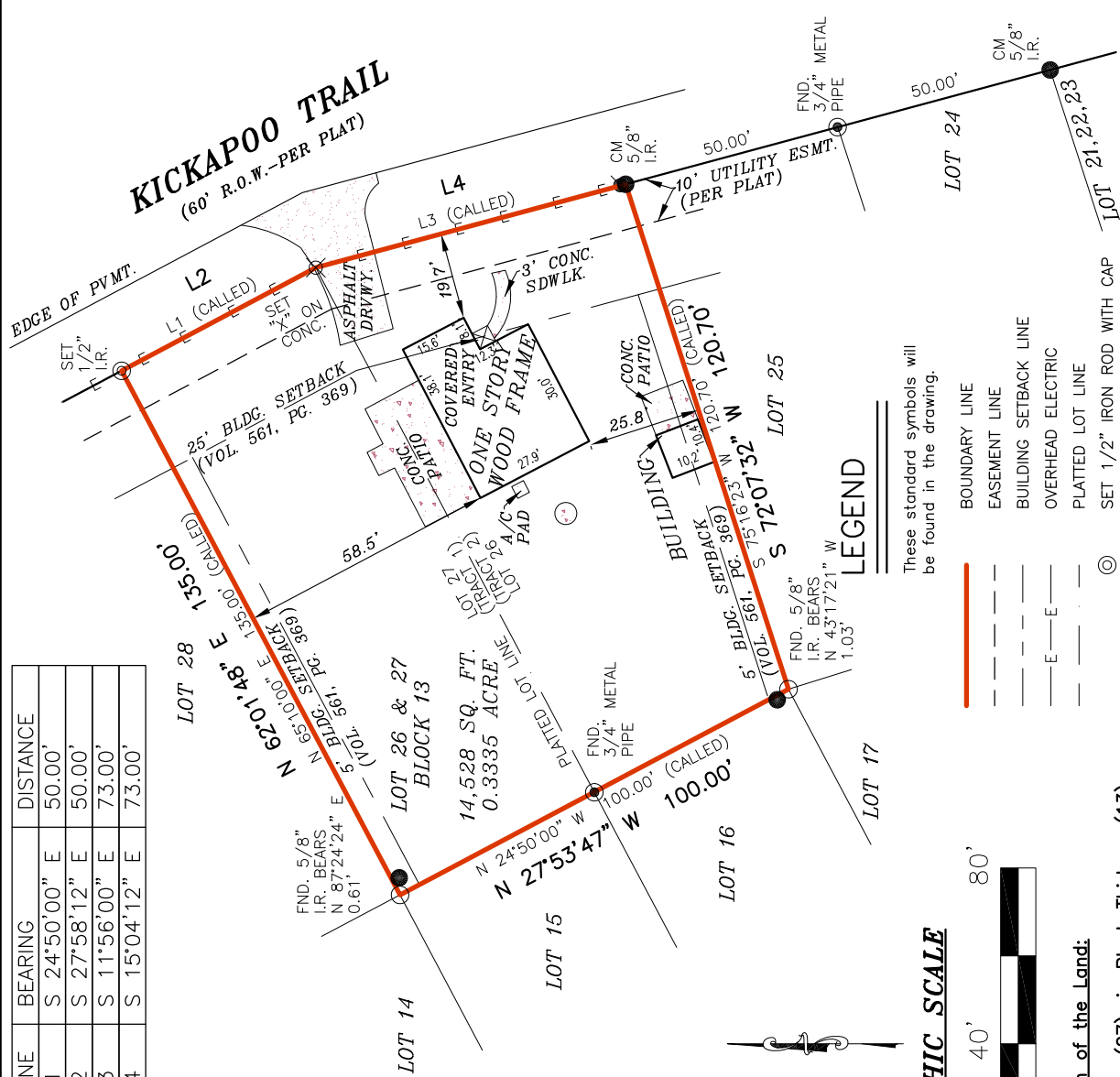
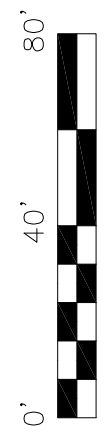


LINE	BEARING	DISTANCE
L1	S 24°50'00" E	50.00'
L2	S 27°58'12" E	50.00'
L3	S 11°56'00" E	73.00'
L4	S 15°04'12" E	73.00'

**KICKAPOO TRAIL**  
(60' R.O.W. - PER PLAT)



**GRAPHIC SCALE**



**Legal Description of the Land:**

**Tract 1:**  
 Lot Twenty-seven (27), in Block Thirteen (13), of ARROWHEAD LAKES SUBDIVISION, SECTION TWO (2), a subdivision in Montgomery County, Texas, according to the map or plat thereof recorded in Volume 7, Page 59, Map Records of Montgomery County, Texas.

**Tract 2:**  
 BEING Lot Twenty-Six (26), in Block Thirteen (13), Section Five (5) of ARROWHEAD LAKES, a Subdivision in the Samuel Lindley Survey, A-23 and G. W. Lonis Survey, A-313, Montgomery County, Texas, as per Map and Plat of said Subdivision recorded in Volume 7, Page 117 of the Map Records of Montgomery County, Texas.

**FLOOD INFORMATION**  
 FIRM: 48339C PANEL: 0250 G  
 REV. DATE: 08/18/2014  
 ZONE: "X"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS, THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

I, RODRIC R. REESE, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

and that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon, and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.

Borrower/Owner: GREGORY R. WILLIAMS AND DENA J. WILLIAMS  
 Address: 302 KICKAPOO TRAIL, WILLIS, TX 77378 GF No. 2202556

**Legal Description of the Land:**  
 SEE ABOVE...

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN: VOLUME 7, PAGE 59, MAP AND/OR PLAT RECORDS, MONTGOMERY COUNTY, TEXAS VOLUME 7, PAGE 117, MAP AND/OR PLAT RECORDS, MONTGOMERY COUNTY, TEXAS VOLUME 561, PAGE 369, VOLUME 565, PAGE 611, CLERK'S FILE NOS. 8447484, 2010022783, 2014125024, 20150688031, 2018077068, 2018118783. REAL PROPERTY, MONTGOMERY COUNTY, TEXAS



PROPERTY PHOTOGRAPH:

**Overland Consortium Inc.**  
**Surveyors**

Tel: 281-940-8869 Fax: 281-207-6476

999 E. BASSE ROAD, SUITE 180 BOX 521, SAN ANTONIO, TEXAS 78212

**LEGEND**

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- - - EASEMENT LINE
- - - BUILDING SETBACK LINE
- - - OVERHEAD ELECTRIC
- - - PLATTED LOT LINE
- SET 1/2" IRON ROD WITH CAP
- PROPERTY CORNER
- FOUND IRON ROD
- ⊗ SET "X" ON CONCRETE
- ⊙ FOUND METAL PIPE
- ⊙ POWER POLE
- CM CONTROL MONUMENT

**SURVEYOR'S NOTE(S):**  
 THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A, CONDITION II SURVEY.

THE SETBACKS AND EASEMENTS SHOWN ON THIS DRAWING ARE THE BEST INTERPRETATION OF THE SURVEYORS BASED ON THE INFORMATION AVAILABLE TO US AT THE TIME OF THE DRAWING.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY GF NO. 2202556 ISSUED ON 08/01/22.

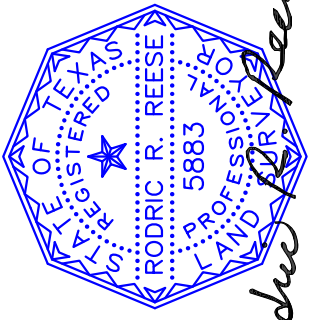
BASIS OF BEARINGS, TEXAS CENTRAL NAD 83.

NO RECORDED BUILDING LINES FOUND. FUTURE DEVELOPMENTS SHOULD REFER TO JURISDICTIONAL AGENCIES FOR REQUIREMENTS.

EASEMENT AS RECORDED IN CLERK'S FILE NO 8618236, MONTGOMERY COUNTY, TEXAS.

**LAND TITLE SURVEY**

JOB NO.:	NO.	REVISION	DATE
2208035929			08/04/22
DRAWN BY:	MM		
APPROVED BY:	RRR		



*Rodric R. Reese*

FIRM REGISTRATION NO. 10190700  
 THIS SURVEY IS CONTRACTED TO RODRIC R REESE, RPLS  
 PHONE NUMBER 713-647-1315

RODRIC R. REESE, R.P.L.S.  
 Registered Professional Land Surveyor  
 Registration No. 5883

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