



SMC HOME SOLUTIONS

7133763302

todd@smchouston.com

https://smchouston.com



RESIDENTIAL INSPECTION

217 Cresta Cove Ct
Montgomery, TX 77356



Inspector

Todd Burford

TREC Professional Home Inspector - License #25353; InterNACHI Certified Home Inspector

7133763302

todd@smchouston.com



Agent

Karley Parker

Keller Williams Memorial Realty

2818810251

karley@homesbycallee.com



PROPERTY INSPECTION REPORT FORM

Kameron Parker <i>Name of Client</i>	04/25/2022 9:00 am <i>Date of Inspection</i>
217 Cresta Cove Ct, Montgomery, TX 77356 <i>Address of Inspected Property</i>	
Todd Burford <i>Name of Inspector</i>	TREC Professional Home Inspector - License #TREC License NACHI Certified Home Inspector
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

In Attendance: Buyer Agent

Occupancy: Vacant

Style: Contemporary, Modern

Temperature (approximate): 75 Fahrenheit (F)

Weather Conditions: Cloudy, Light Rain

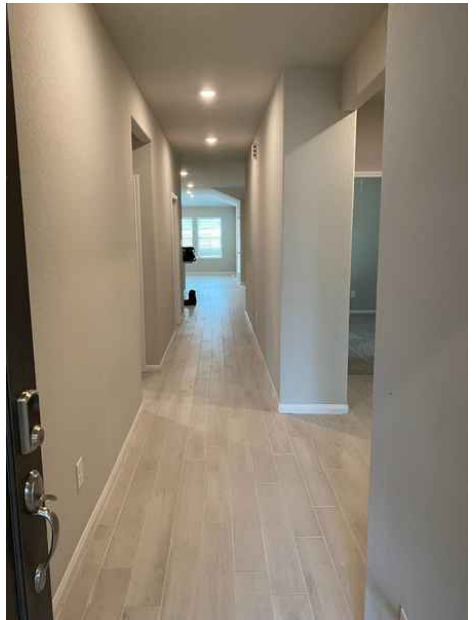
Type of Building: Single Family

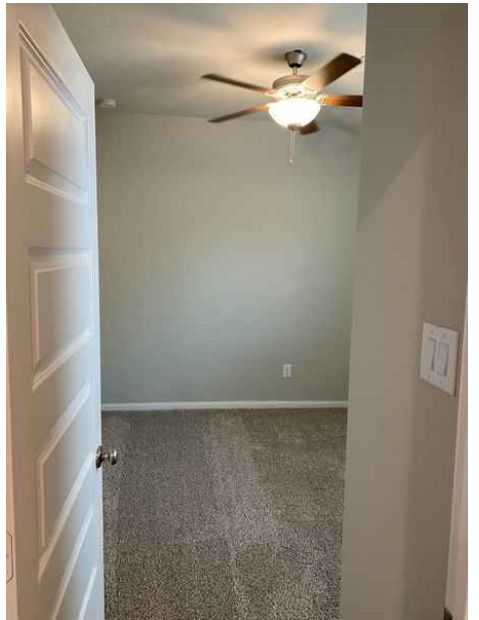
Property Overview:

The property was substantially complete, however the water, gas and HVAC were not yet commissioned. The drainage, plumbing supply and HVAC functionality could not be determined.

These photos are intended to document the exterior conditions and state of the property on the day of inspection.











I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

The foundation performance was adequate, with only minor cosmetic damage at the concrete exterior slab.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



1: Water Overspray

Recommendation

The right side sprinkler system was spraying onto the siding and potentially the sheathing underneath. Redirect spray heads to avoid damage to wall structure.

Recommendation: Contact a qualified structural engineer.



B. Grading and Drainage

Comments:

The home was properly elevated and the ground immediately sloped away from the concrete foundation, however standing water was observed on both sides of the home and in the backyard. Recommend underground drainage to ensure rainwater, or irrigation system water does not pond in the yard and erode the lawn and soil.

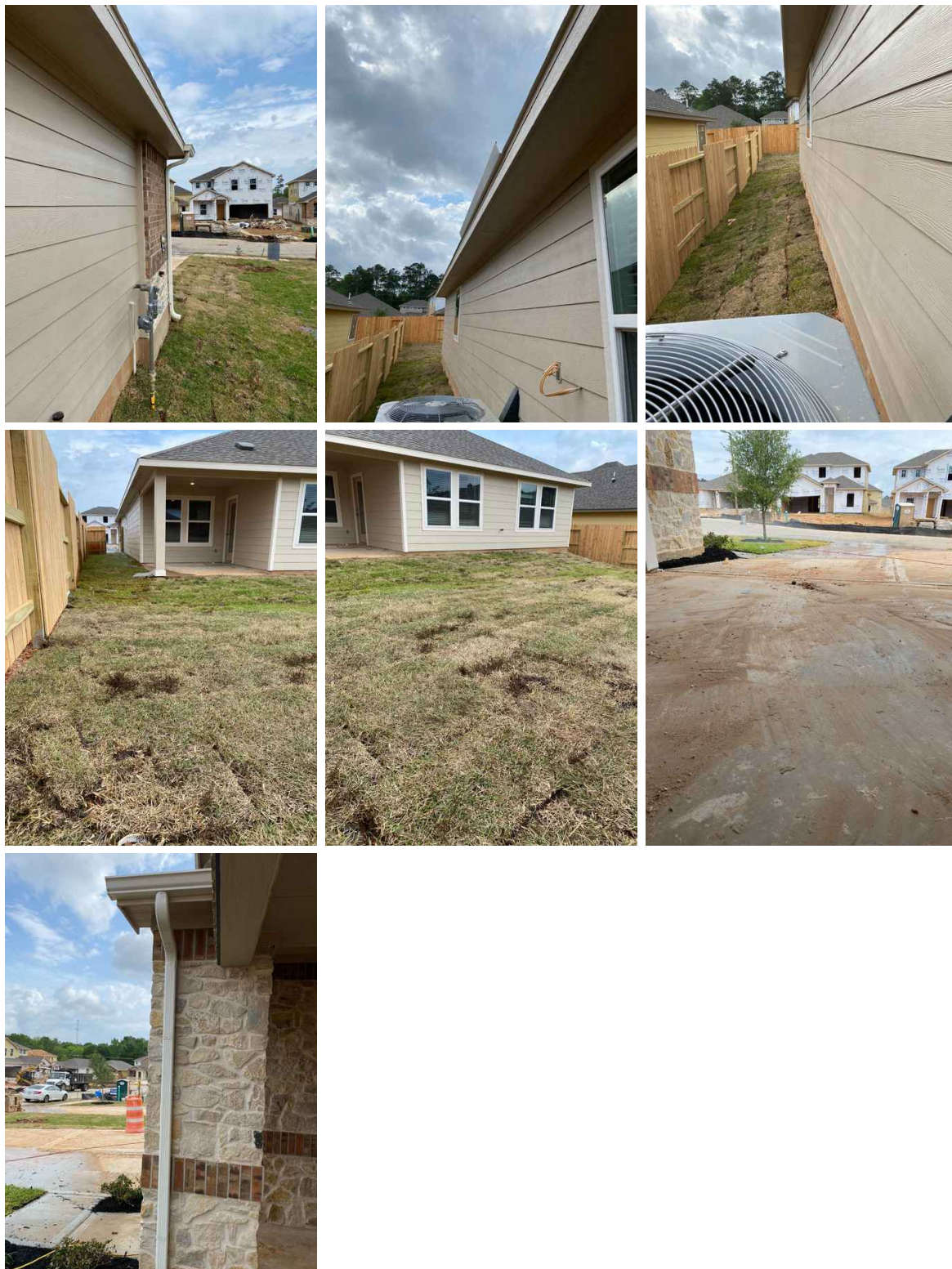
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



1: Additional Gutters Recommended
Maintenance Item

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

Lack of gutters on large roof sections can lead to soil erosion and water damage to building exterior. Recommend adding gutters along the back exterior wall.

Recommendation: Contact a qualified gutter contractor

2: Standing Water

🔴 Recommendation

Standing water observed, which could indicate poor drainage and/or grading. Recommend monitor and/or have landscaper correct.

[Here is a resource](#) on dealing with standing water in your yard.

Recommendation: Contact a qualified landscaping contractor



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



- C. Roof Covering Materials**

Types of Roof Covering: Asphalt

Viewed From: Ground, Ladder, Roof

Comments:

Overall, the roof appeared well installed and leak free. See minor deficiencies/recommendations below.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Garage attic ventilation.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



This is your dryer vent



1: Exposed Nails

🔴 Recommendation

One ridge shingle at the front of the house was buckling upward and loose, exposing the under-layers and nails.

Recommendation: Contact a qualified roofing professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



2: Plumbing Vents

 Maintenance Item

The plumbing vents needed final adjustments and to be cut down to size. They will still be functional as they are not, but the excess height is abnormal for a finished home.

Recommendation: Contact a qualified roofing professional.



D. Roof Structures and Attics

Viewed From: Ground, Ladder, Attic, Roof

Approximate Average Depth of Insulation: 8 Inches

Comments:

The attic foam insulation appeared well installed other than two minor areas noted below. See pictures and thermal images confirming normal temperature profile for an insulated roof deck. No structural issues noted in the garage attic space.

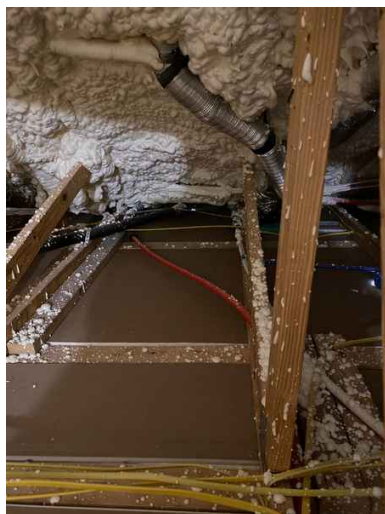
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



This is the continuously running attic ventilation fan to keep moisture down since this is a ventless, conditioned space. It exhausts along the right side wall under the eaves.



1: Damaged Insulation

Recommendation

Minor damage to spray foam insulation in two spots in the attic.

Recommendation: Contact a qualified insulation contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Not sealed at right side wall eaves



right side wall eaves

2: Thin/Soft Sheathing

Recommendation

Roof sheathing appears to be unsecured and “bouncy” between the front door and garage where there is a noticeable ridge. Recommend builder investigate and secure sheathing.

Recommendation: Contact a qualified roofing professional.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

No noticeable broken trusses in the garage attic

3: Eaves Not Finished

🔴 Recommendation

A roof's eaves provide shade and prevent water intrusion into the home. Damaged eave components (soffits, fascia, molding) can lead to moisture intrusion and significant damage to building components.

Recommendation: Contact a qualified general contractor.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



4: Attic Stairs Do Not Open

➔ Recommendation

They appear to be too big for the designed opening. Damage to wall needs repair.

Recommendation: Contact your builder.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



E. Walls (Interior and Exterior)

Comments:

See note about unfinished areas below. Overall, the hardie board siding seemed installed well but is in need of finishing sealant or paint touch up in several areas noted below. The interior walls are in need of a "blue tape walk" with the builder to paint all scuffed areas.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



1: Stone imperfections - Minor

🟡Recommendation

Minor imperfections were observed in the exterior stone. This is only a cosmetic concern.

Recommendation: Recommended DIY Project



Front entryway



Front Entryway Face



Front Left

2: Unfinished Wall Areas

🟡Recommendation

The exterior and interior walls had several areas in need of repainting, sealant, or repairs.

Recommendation: Contact your builder.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Repaint needed



Above garage door

F. Ceilings and Floors

Comments:

No reportable deficiencies were noted in the ceilings. The floorboard trim is still in need of sealant around most of the house.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



1: Flooring - Damaged

🔴Recommendation

Two damaged areas of tiles were noted. Next to the fridge and the master closet.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

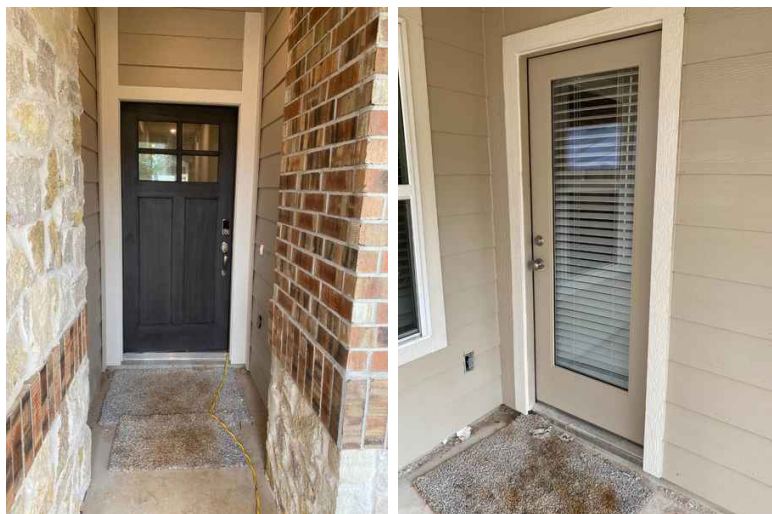
I	NI	NP	D
---	----	----	---



G. Doors (Interior and Exterior)

Comments:

See door deficiencies noted below. All interior doors were operable on the day of inspection.



1: Door Sticks

👉 **Recommendation**

The front door and garage door were both tough to close. After cleaning and further inspection, this may be easily remedied.

Recommendation: Contact your builder.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



2: Non-Fire Resistant Garage Access

🚩Recommendation

The garage door did not self close as it needs to per building and fire codes. The weather stripping was also unsecured at the bottom.

Recommendation: Contact a qualified door repair/installation contractor.



3: Ants

🚩Recommendation

These ants appeared to be travelling back inside of the garage door trim after scavenging in the garage area.

Recommendation: Contact your builder.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



H. Windows

Comments:

See minor window deficiencies noted below.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



1: Unfinished Windows

🔴Recommendation

Right wall window needed cleaning, as it had spray foam insulation debris stuck to it. Same wall had a missing screen.

The rear facing windows appeared to be unfinished and lacking sealant at the top surface, which could allow moisture intrusion.

Recommendation: Contact your builder.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

No deficiencies were noted with the back patio surface. I recommend redirecting the landscape spray headers to avoid over spray on the back patio.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

The electrical service equipment was well installed and no deficiencies were noted. The main/emergency shutoff is on the right side exterior. All breakers are in the garage subpanel.



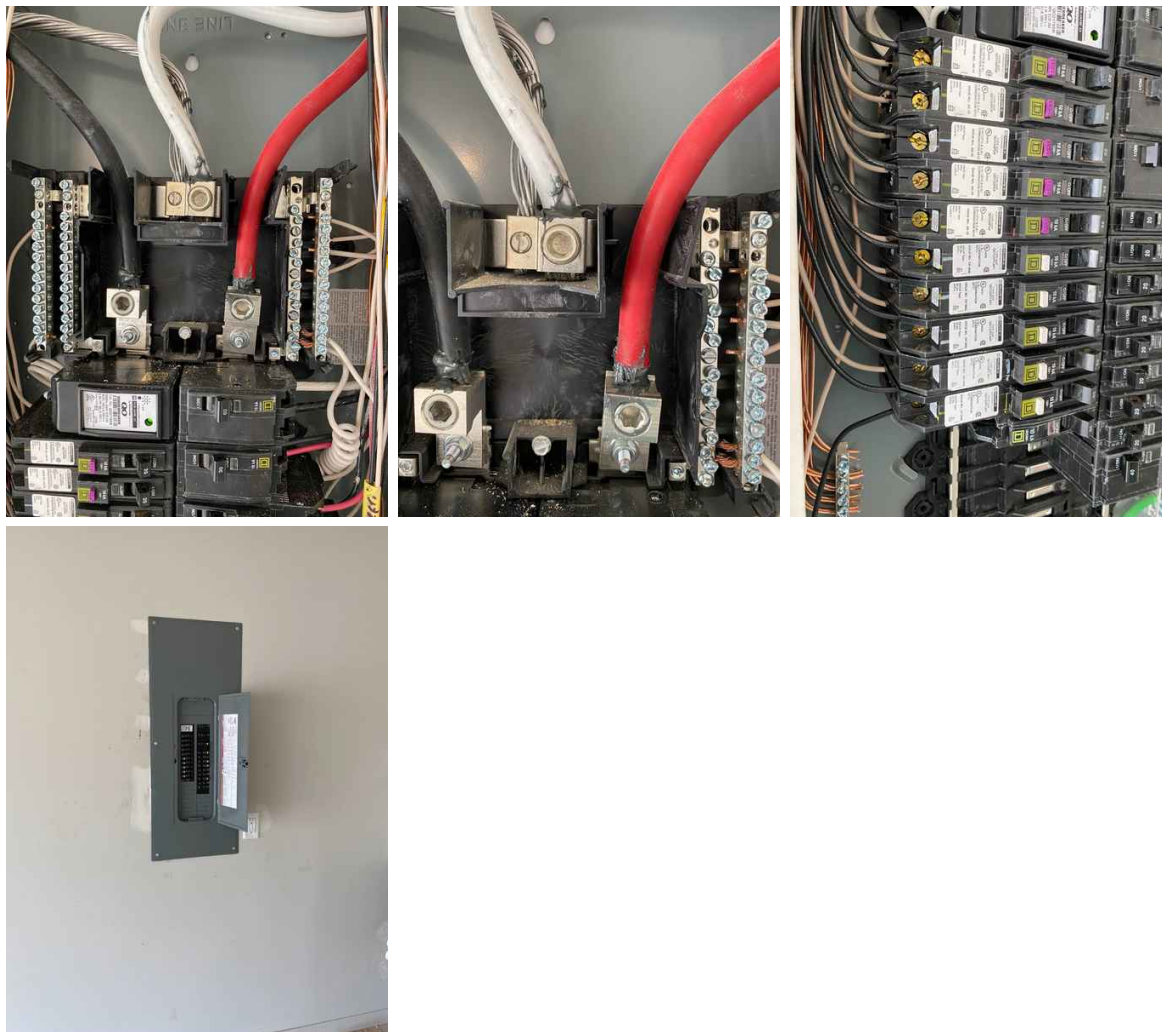
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: NM Copper

Comments:

No improper wiring noted except the lack of power at the front door receptacle.

1: Unfinished Electrical

Recommendation

Several cover plates were missing and outlets were unsecured. But only the front door exterior did not appear to have power on the day of the inspection.

Recommendation: Contact your builder.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



No power



2: Blocked Receptacle

Recommendation

Recommend adjusting either this hot water heater pipe or the location of this outlet.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



C. Other
Comments:

D. Doorbell
Comments:
Doorbell was operable when tested.

E. Smoke and Carbon Monoxide Detectors
Comments:
All alarms were in place at the proper living area locations.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

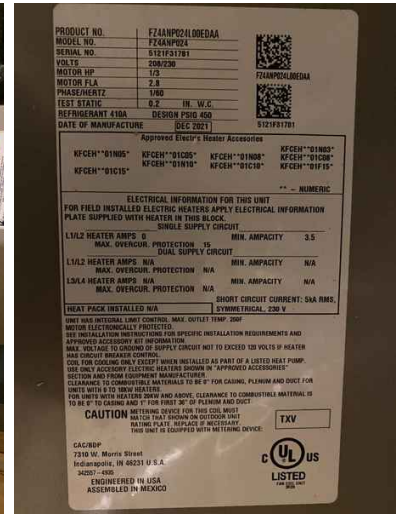
A. Heating Equipment

Type of Systems: Heat Pump

Energy Sources: Electric

Comments:

Carrier multi-speed heat pump is a great, energy efficient system! No reportable deficiencies noted with the attic installation or ducting, but the system was not yet wired so it could not be tested.



HVAC not Electrically Connected:

B. Cooling Equipment

Type of Systems: Heat Pump

Comments:

Your whole home air filter is located in the attic. Do not put filters in the return air grilles, as double filters would limit air flow. Be sure to attain the filter size from the builder.



This is your air filter housing.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

C. Duct Systems, Chases, and Vents

Comments:

No deficiencies noted with the air ducts.



D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, and Fixtures

Location of Water Meter: Exterior



Location of Main Water Supply Valve : Main Level



Static Water Pressure Reading: 0

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Type of Supply Piping Material: PEX-type

Comments:

The water supply function could not be tested, as the whole home water shut off valve was still closed.

B. Drains, Wastes, and Vents

Type of Drain Piping Material: PVC

Comments:

The drainage could not be tested since the whole home water was shut off, but all undersink installations appeared proper.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



C. Water Heating Equipment

Energy Sources: Gas

Capacity: 0 Gallons

Comments:

Unfinished:



D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter: Main Level

Type of Gas Distribution Piping Material: Black Iron

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

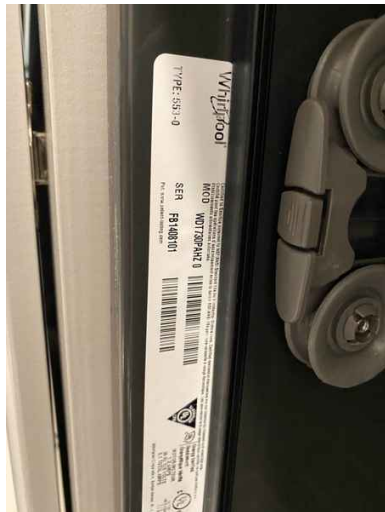
I	NI	NP	D
---	----	----	---

V. APPLIANCES

- A. Dishwashers**

Comments:

Installation appeared proper, but the unit was plugged in and did not have water supply.



- B. Food Waste Disposers**

Comments:

- C. Range Hood and Exhaust Systems**

Comments:

Properly installed but not on yet.



- D. Ranges, Cooktops, and Ovens**

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

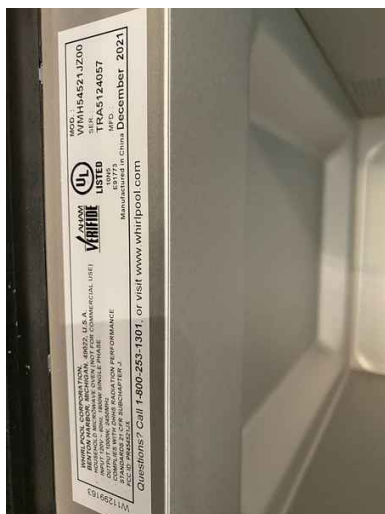
D=Deficient

I NI NP D



E. Microwave Ovens

Comments:



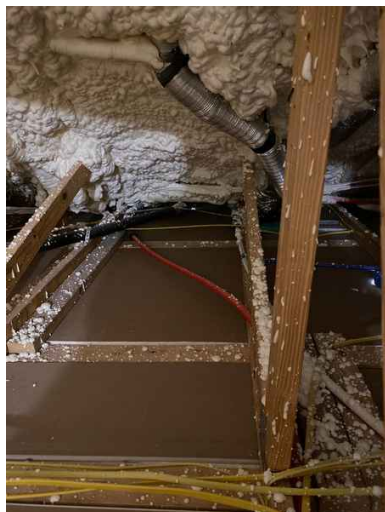
F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

All bathroom and laundry room fans vented properly to the exterior.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



G. Garage Door Operators

Comments:

The garage door functioned properly when tested.



H. Dryer Exhaust Systems

Comments:

Dryer vent properly exhausted to exterior with no screen (screens on dryer vents are fire hazards due to lint build up).

*The dryer vents through the roof, which is unusual but not a deficiency. I recommend a semi-annual or more frequent check of the roof dryer exhaust to ensure lint is not building up. This would limit air flow and increase a potential fire hazard.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
----------	-----------	-----------	----------

