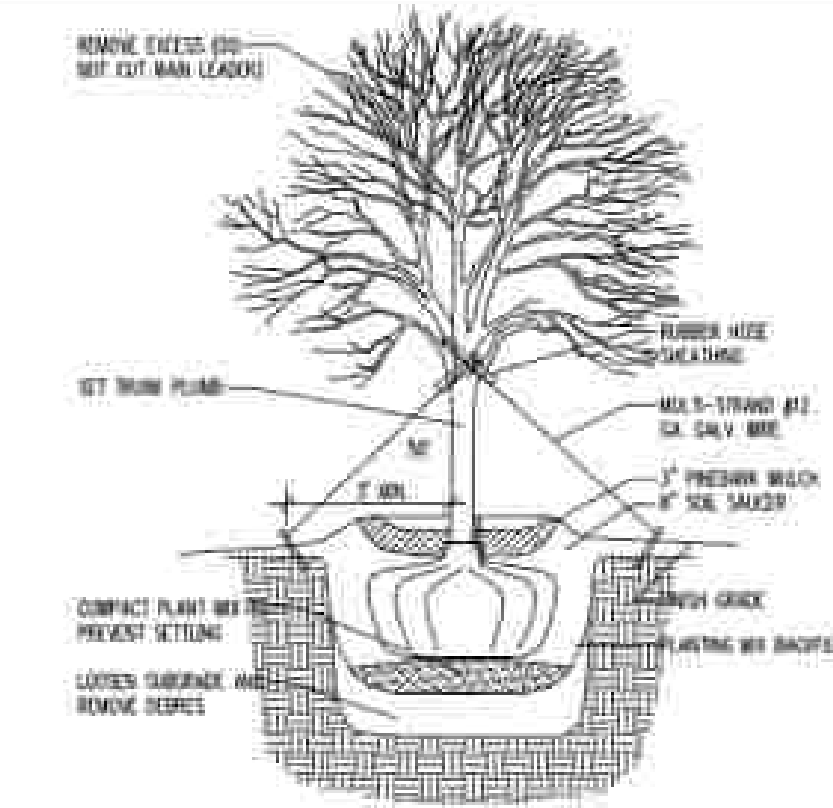


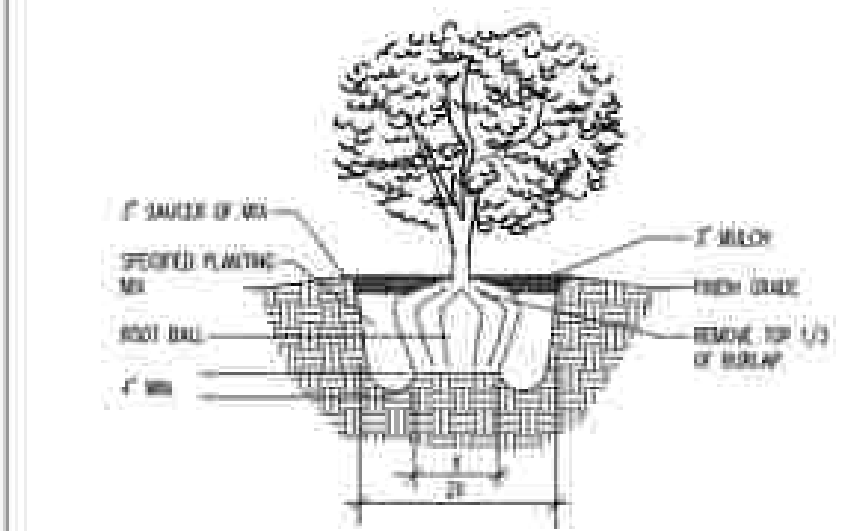
**SITE NOTE:**

- ALL DRAWINGS PRESENTED HERE REFERENCES THE 2015 IRC & 012 IBC BUILDING CODES W/ CITY OF HOUSTON AMENDMENTS.
- FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 18" ABOVE THE TOP OF THE NEAREST SANITARY MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION & PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
- ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0' CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
- BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, & TO VERIFY ALL UTILITY LOCATIONS, EASEMENTS, BUILDING BLOCK FACE, & SETBACK LINES PRIOR TO CONSTRUCTION.
- PLUMBER OR CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 PVC (OR EQ.) INSIDE PROPERTY, & CONCRETE PIPING IN THE R.O.W. OR EASEMENT. SEE PLAN FOR SIZES.
- PLUMBER TO DETERMINE LOCATION OF WATER METER, & CONTACT LOCAL AUTHORITY TO CONNECT. WATER PIPE & METER SIZES TO CONFORM WITH 2000 U.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SEE PLAN FOR SIZE. ABOVE GRADE "ELBOWS" ALLOWED FOR WATER & GAS LINES ENTERING THE BUILDING PROPERTY (ONLY)
- ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FOR SOURCE POLE TRANSFORMER TO GARAGE FOR:
  - (A) ELECTRIC SERVICE
  - (B) COMMUNICATION SERVICE
  - (C) ENTERTAINMENT SERVICE, AT SAME LOCATION.
 PROVIDE CONDUIT IN SLAB, PRIOR TO POUR TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING. PROPER FOR THESE THREE ELECTRICAL ITEMS.
- ALL DRAINAGE & RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE & RUNOFF RE NOT ALLOWED TO BE DIRECTED ONTO AN ADJACENT PROPERTY. SEE SWALE DETAIL. DRAW PIPING TO BE SCH. 40 PVC (OR EQ) WHEN AREA DRAINS.
- PROVIDE ONE QUALIFIED TREE PER 5000 SQ.FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
- THIS PANEL IS USED AS A GUIDE FOR THE DRAFTING F THE REQUIRED COMMON AGREEMENT LETTER. REQUIRED COMMON AREA AGREEMENT TAKES PRECEDENCE.
- ALL WATER, SANITARY SEWER, STORM, ELECTRICAL PIPING, & PAVING LOCATED IN THE COMMON AREA ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE CAN BE LOCATED IN THE SAME DITCH PROVIDED ALL LINES ARE SLEEVED THE ENTIRE RUN, OR MAINTAIN A MIN. 36" SPACING BETWEEN ALL LINES.
- ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
- PROVIDE A MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE WITH MINIMUM 18" BETWEEN A/C PADS, & A 30" MINIMUM SERVICE AREA.
- ALL FENCES ALONG BOUNDARY, AGAINST AN ADJACENT PROPERTY TO BE MIN. 6' WOOD FENCE. ANY FENCE SHOWN AGAINST THE R.O.W. TO BE METAL & CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6' MIN. METAL FENCE IS 25% OR LESS OBSCURE (3/4" BAR OR TUBS PLACED 4 TO 5 INCHES ON CENTER), OTHERWISE PLACE FENCE A MIN. OF 2' AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W.

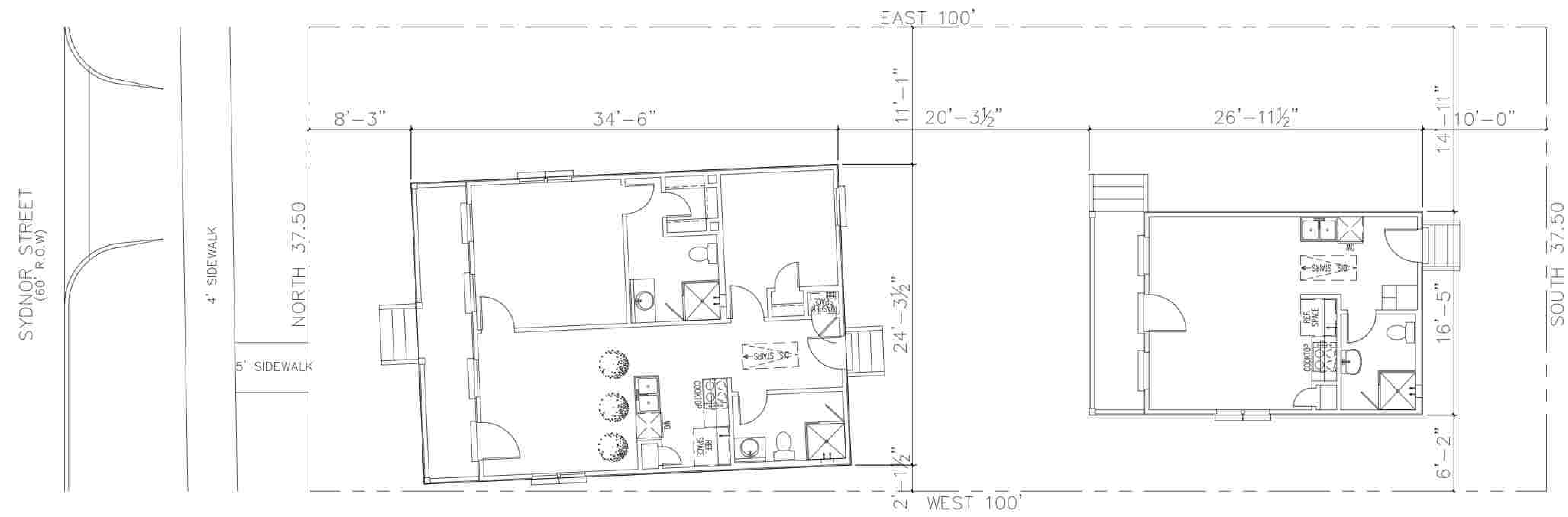


TREES:  
COMMON NAME: LIVE OAK  
BOTANICAL NAME: QUERCUS VIRGINIANA  
SIZE: 2" CALIPER  
QUANTITY: 2

GROUND COVER:  
COMMON NAME: SHORE JUNIPER  
BOTANICAL NAME: JUNIPERUS CONFERTA  
SIZE: 5 GALLON  
QUANTITY:



LANDSCAPING A TREE DETAIL SCALE: NONE B SHRUB DETAIL SCALE: NONE



**NOTES:**

- ALL JOINT SHALL CONFORM TO CITY OF HOUSTON 02752 STANDARD SPECIFICATION. DRIVEWAY SHALL BE A MINIMUM 6" THICK FOR SINGLE FAMILY USE AND MINIMUM 7" THICK FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ECT.)
- DRIVEWAYS & SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE & INCLUDE 5-1/2 SACKS OF CEMENT PER CUBIC YARDS OF CONCRETE.
- REINFORCED CONCRETE PIPE CULVERTS & CONCRETE VALLEY GUTTER GRADES SHALL BE SET BY CITY ENGINEER. PROFILE SHOWING THE PROPOSED & EXISTING DITCH FLOWLINE WILL BE REQUIRED WHERE CONCRETE VALLEY GUTTERS ARE TO BE CONSTRUCTED IN LIEU OF CULVERTS.
- CULVER SIZE WILL BE APPROVED BY CITY ENGINEER WITH 24" DIA. MIN.
- SPACING OF TYPE "D" OR "D-1" INLETS SHALL BE DETERMINED BY CITY ENGINEER. (SEE DRAWINGS) NO. 02632-07 FOR TYPE "D" OR DRAWING NO. 02832-08 FOR TYPE "D-1"
- DRIVEWAY MAY BE CONCRETE, ASPHALT OR ANY OTHER MATERIAL WHICH WILL NOT PERMIT WIND OR WATERBORNE EROSION.
- A3-FOOT CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED THROUGH THE PROPOSED DRIVEWAY WHERE THE CITY ENGINEER DETERMINES THE INSTALLATION OF DITCH CULVERTS TO BE IMPRACTICAL. DEPTH THE VALLEY GUTTER SECTION WILL BE CONSTRUCTION OF 5-1/2" SACK CEMENT PER CUBIC YARD OF CONCRETE.
- MAXIMUM SPACING FOR EXPANSION JOINTS ALONG SIDEWALKS SHALL BE 36', DRIVEWAY @ 60'

LOT COVERAGE CALCULATIONS	
LOT SIZE	3,750
HOUSE 1& 2 FOOTPRINT	1,284
DRIVEWAY	0
WALKS	40
TOTAL NON-PERVIOUS AREA	1,324
PERVIOUS AREA	35%

PURPOSED SITE PLAN SCALE: 1/4" = 1' - 0"

City of Houston

PROPOSED REMODEL  
**Vintage Homes of Houston**  
1308 Sydnor Street  
Houston, Texas 77026

RESIDENTIAL

APPROVED ATS  
DRAWN ATS  
CHECKED TN  
DATE 04/03/2017  
REL. FOR CONST. 2017 04/03/17

ATS DESIGN INC.  
BRING VALUE THROUGH INTO REALITY  
4605 W. Warmup, 77581  
Houston, Texas 77581  
(281) 686-6268

02/20/2017-122

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